

# PROPOSED SITE MODIFICATIONS

Amherst Development Park  
 6000 - 6040 N.Bailey Ave, Amherst, NY  
 BDC Property # 1723  
 SITE DEVELOPMENT DRAWINGS

## INDEX OF DRAWINGS

DWG. #	DRAWING NAME	REVISION	DATE
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C3.00	DEMOLITION & EROSION CONTROL PLAN WEST	10	02.05.2025
C3.01	DEMOLITION & EROSION CONTROL PLAN EAST	10	02.05.2025
C3.10	DEMOLITION & EROSION CONTROL PLAN DETAILS	6	08.30.2024
C4.0	OVERALL SITE PLAN	10	02.05.2025
C4.01	FIRE TRUCK TURNING PLAN		
C4.10	DETAILED SITE PLAN WEST	10	02.05.2025
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C5.21	DRAINAGE DETAILS	10	02.05.2025
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C6.01	UTILITY PLAN EAST	10	02.05.2025
C6.10	UTILITY DETAILS	7	12.03.2024
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C8.0	SITE LIGHTING PLAN	10	02.05.2025
C8.10	LIGHTING DETAILS	10	02.05.2025

## OWNER/DEVELOPER:

NAME: BENDERSON DEVELOPMENT COMPANY, LLC  
 ADDRESS: 570 DELAWARE AVENUE, BUFFALO, NY 14202  
 CONTACT: DAVID ZUPPELLI  
 PHONE: 716 - 878 - 9683

**BENDERSON DEVELOPMENT COMPANY, LLC**  
 570 Delaware Ave.  
 Buffalo, New York 14202

## SURVEYOR

NAME: COSTICH ENGINEERING  
 ADDRESS: 217 LAKE AVE ROCHESTER NY 14608  
 CONTACT: DAN HICKOK  
 PHONE: 585-485-3020

## UTILITIES:

**NATURAL GAS**  
 NAME/TITLE: WILLIAM SCHNEIDER  
 COMPANY/DEPT: NATURAL FUEL GAS  
 ADDRESS: -  
 PHONE: 716 - 696 - 6460

**TELEPHONE COMPANY**  
 NAME/TITLE: JOHN HECKMAN  
 COMPANY/DEPT: VERIZON  
 ADDRESS: -  
 PHONE: 716 - 840 - 8603

**ELECTRIC**  
 NAME/TITLE: -  
 COMPANY/DEPT: NATIONAL GRID  
 ADDRESS: -  
 PHONE: -

**DIG SAFELY NEW YORK**  
 PHONE: 1 - 800 - 962 - 7962 OR (811)

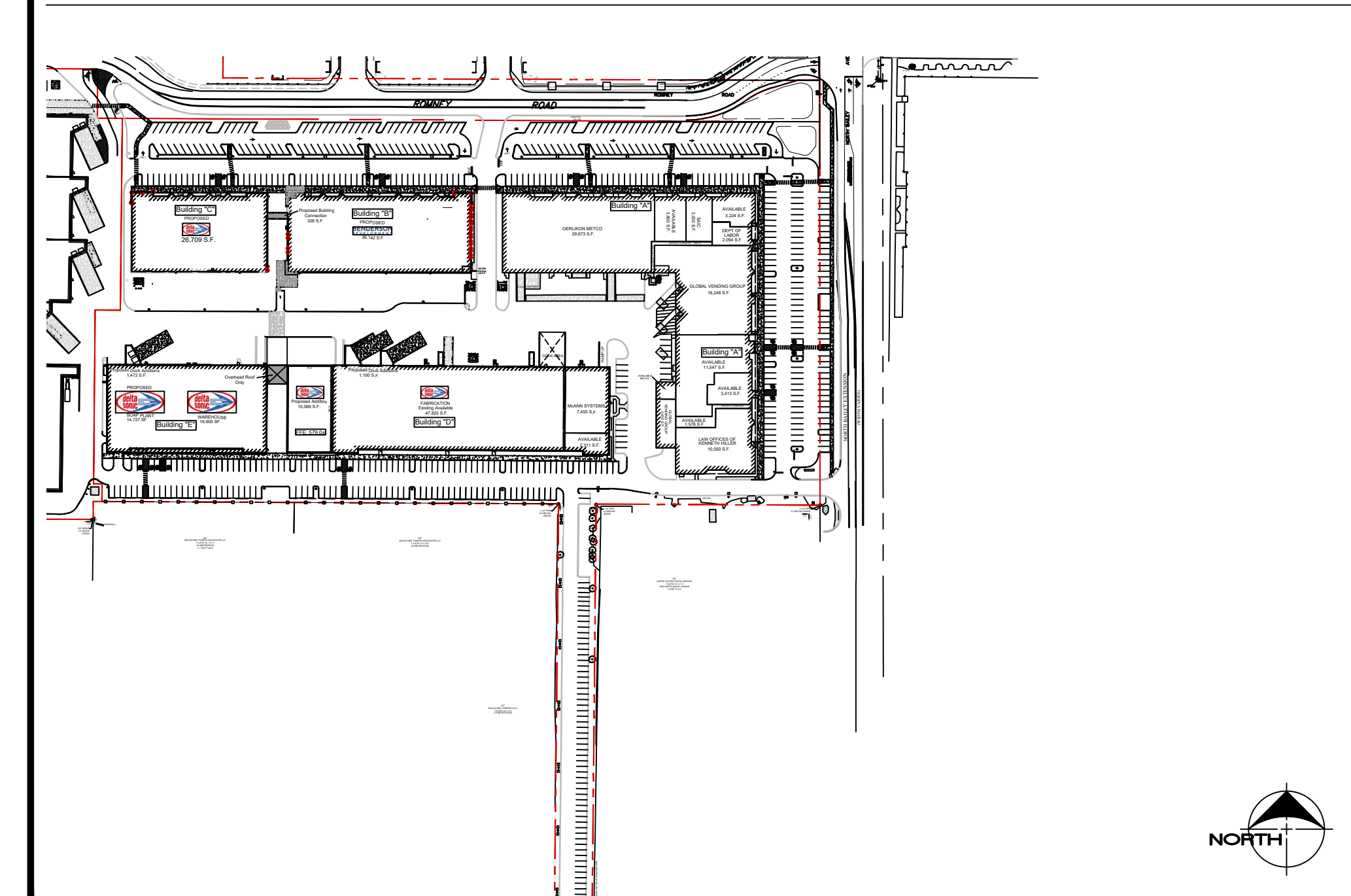
## AGENCIES:

**ENGINEERING DEPARTMENT**  
 NAME/TITLE: JEFF BURROUGHS  
 COMPANY/DEPT: TOWN OF AMHERST, NY - ENGINEERING DPT  
 ADDRESS: 1100 NORTH FOREST RD, WILLIAMSVILLE, NY  
 PHONE: 716 - 631 - 7154 EX 7418

**BUILDING & PLUMBING DEPARTMENT**  
 NAME/TITLE: MARK BERKE  
 COMPANY/DEPT: TOWN OF AMHERST, NY - BUILDING DPT  
 ADDRESS: 5583 MAIN STREET, WILLIAMSVILLE, NY 14221  
 PHONE: 716 - 631 - 7080

**PLANNING DEPARTMENT**  
 NAME/TITLE: DAN HOWARD  
 COMPANY/DEPT: TOWN OF AMHERST, NY - PLANNING DPT  
 ADDRESS: 5583 MAIN STREET, WILLIAMSVILLE, NY 14221  
 PHONE: 716 - 631 - 7051

SITE LOCATION MAP 1:200



REGIONAL LOCATION MAP NTS



OFFICIAL TOWN USE ONLY

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
2	05.08.2024	DZ	Site Plan Update
3	06.12.2024	DZ	Site Updates
4	07.31.2024	DZ	Site Updates
5	08.12.2024	DZ	Site Updates
6	08.30.2024	DZ	Town Comments
7	12.03.2024	DZ	Town Comments
8	12.11.2024	DZ	Updated Sidewalk
10	02.05.2025	DZ	Town Comments

**SPECIAL INFORMATION:**  
 ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

**NOTICE**  
 UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: #1723  
 AREA: -

**Amherst Development Park**  
 6000 - 6040 North Bailey Ave  
 Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

**JAMES ALLEN RUMSEY**  
 ARCHITECT  
 PREPARED FOR  
**BENDERSON DEVELOPMENT**  
 570 DELAWARE AVE., BUFFALO, NY 14202  
 (716) 886-0211

SEAL



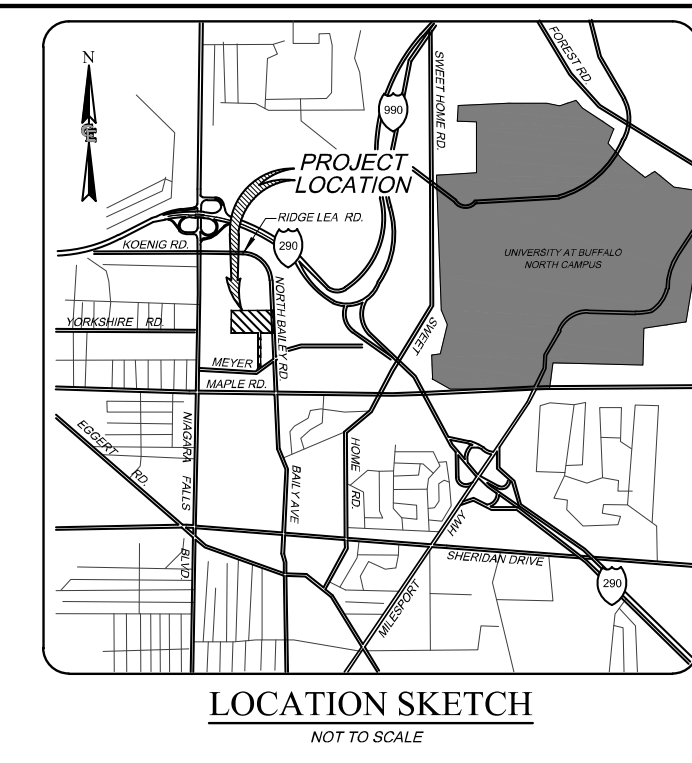
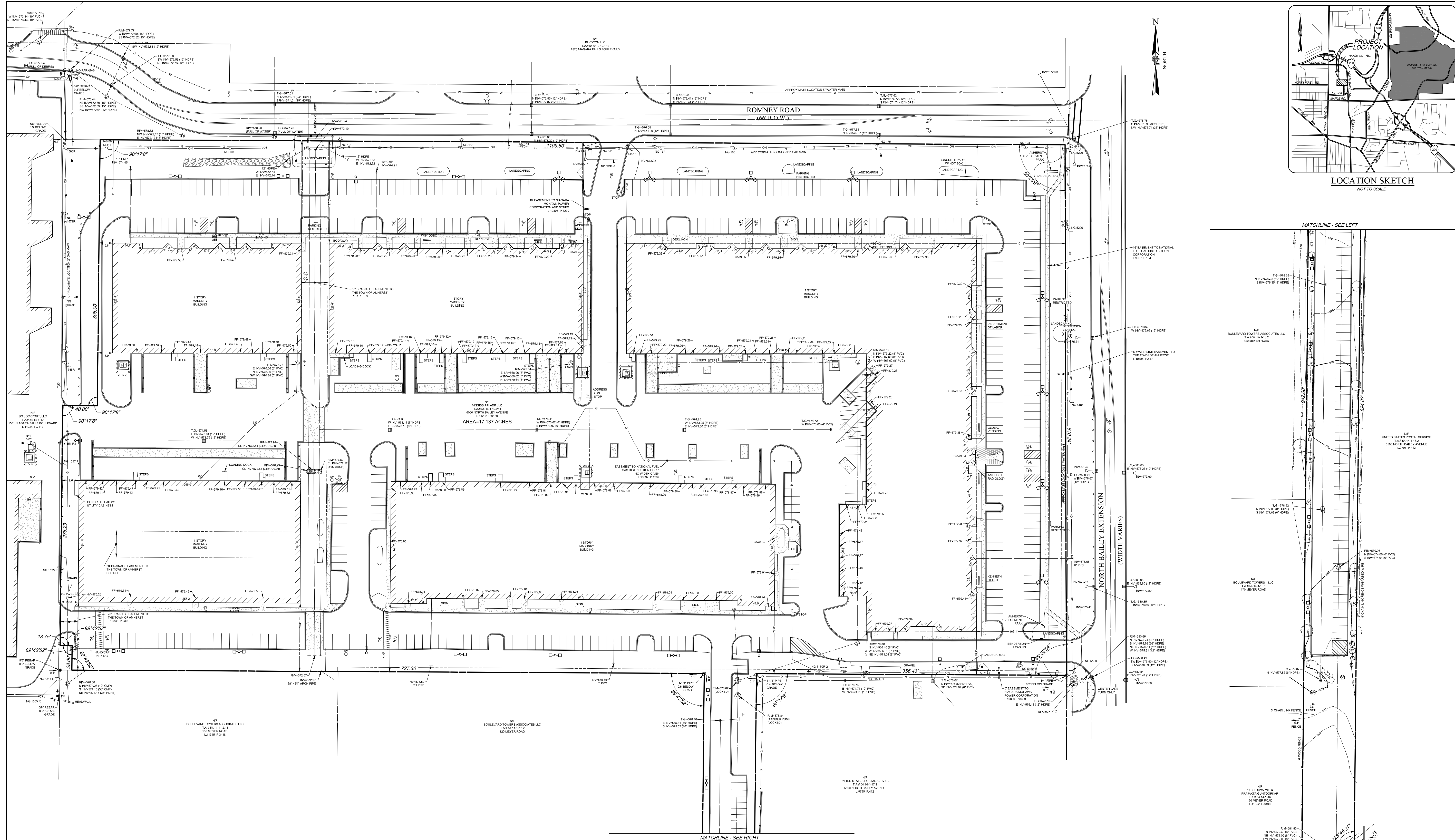
TITLE:

**COVER SHEET**

SCALE: NTS  
 DRAWN BY: DMZ  
 CHECKED BY: MAO  
 DATE: 11.16.2023

DRAWING NO. **C1.0**





**LINE LEGEND**

[Symbol]	SECTION/PARCEL BOUNDARY
[Symbol]	MIN. BUILDING SETBACK
[Symbol]	CENTER LINE
[Symbol]	EXIST. EASEMENT LINE
[Symbol]	EXIST. RIGHT-OF-WAY LINE
[Symbol]	EXIST. EDGE OF PAVEMENT
[Symbol]	EXISTING WATER MAIN, VALVE & HYDRANT
[Symbol]	EXISTING SANITARY SEWER & MANHOLE
[Symbol]	EXISTING DRAINAGE SEWER, RELL INLET, INLET MANHOLE, MANHOLE & END SECTION
[Symbol]	EXISTING OVERHEAD UTILITIES
[Symbol]	EXISTING UNDERGROUND UTILITIES
[Symbol]	EXISTING GAS
[Symbol]	EXISTING ELECTRIC
[Symbol]	EXISTING GUARD RAIL
[Symbol]	TREE/HEDGE/EDGE OF WOODS
[Symbol]	EXISTING SWALE
[Symbol]	BARBED WIRE STOCKADE/CHAIN LINKED FENCE
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING SPOT ELEVATION @ X
[Symbol]	CONCRETE PAD/CONCRETE SIDEWALK

**SYMBOL LEGEND**

[Symbol]	DRAINAGE MANHOLE
[Symbol]	ELECTRIC MANHOLE
[Symbol]	ELECTRIC METER
[Symbol]	TELEPHONE MANHOLE
[Symbol]	TELEPHONE PEDESTAL
[Symbol]	PHONE BOOTH
[Symbol]	PEDESTRIAN POLE
[Symbol]	TRAFFIC CONTROL CABINET
[Symbol]	LAMP POST
[Symbol]	UTILITY POLE WITH LIGHT
[Symbol]	FLAG POLE
[Symbol]	MALIBU
[Symbol]	BOLLARD
[Symbol]	POST
[Symbol]	SNON
[Symbol]	SNON
[Symbol]	SNON
[Symbol]	SNON
[Symbol]	TURNING ARROW
[Symbol]	HANDICAP
[Symbol]	STOP BAR
[Symbol]	TREE DECIDUOUS
[Symbol]	TELEPHONE PULL BOX
[Symbol]	TRAFFIC PULL BOX
[Symbol]	TRANSFORMER

**EASEMENT NOTES**  
T.A.# S4.14-1-12.211

- EASEMENT MADE BY BOULEVARD POWER CO. TO NEW YORK TELEPHONE COMPANY RECORDED OCTOBER 30, 1969 IN LIBER 7327 OF DEEDS, PAGE 541. (NOT PLOTTABLE)
- EASEMENT MADE BY AMHST DEVELOPMENT CORPORATION OF NEW YORK TO NAGARA MANHAWK POWER CORPORATION RECORDED SEPTEMBER 11, 1967 IN LIBER 7392 OF DEEDS, PAGE 474. (DOES NOT AFFECT PREMISES)
- RIGHT OF WAY MADE BY AMHST DEVELOPMENT CORPORATION OF NEW YORK TO BOULEVARD POWER CORPORATION RECORDED SEPTEMBER 29, 1967 IN LIBER 7399 OF DEEDS, PAGE 59. (NOT PLOTTABLE)
- EASEMENT FROM NAGARA BOULEVARD TOWERS, INC TO NAGARA MANHAWK POWER CORPORATION AND NEW YORK TELEPHONE CO. RECORDED ON AUGUST 29, 1968 IN LIBER 7506 OF DEEDS, PAGE 903. (NOT PLOTTABLE)
- EASEMENT RESERVED BY BOULEVARD TOWERS CO. CONTAINED IN DEED RECORDED ON JULY 28, 1968 AT LIBER 6965 OF DEEDS, PAGE 528.

**REFERENCES**

- THE DEEDS AS SHOWN ON FILE AT THE ERIE COUNTY CLERKS OFFICE.
- ALATNSPS LAND TITLE SURVEY PREPARED FOR DOR - PROJECT SAGEBROOK, PREPARED BY BOCK & CLARK, HAVING PROJECT NO. 20150438-04, DATED 10/20/14.
- ALATNSPS LAND TITLE SURVEY 80045660 NORTH BAILEY AVENUE, PREPARED BY TVGA CONSULTANTS, HAVING JOB NO. 2009.0090.00, DATED 01/20/06.
- MAP ENTITLED "1723/256 AMHERST DEVELOPMENT - EXISTING FEATURES", PREPARED BY COSTICH ENGINEERING, D.P.C., HAVING DRAWING NO. 8084V110, DATED 01/20/11.
- MAP ENTITLED "1723/256 AMHERST DEVELOPMENT - LAND TRANSFER PLAN", PREPARED BY COSTICH ENGINEERING, D.P.C., HAVING DRAWING NO. 8084V120, DATED 04/14/2012.
- MAP ENTITLED "1723/256 AMHERST DEVELOPMENT - LAND TRANSFER PLAN FROM T.A.# S4.14-1-12.211 TO T.A.# S4.14-1-12.211", PREPARED BY COSTICH ENGINEERING, D.P.C., HAVING DRAWING NO. 8084V125, DATED 08/02/22.

**UTILITY INFORMATION**  
UTILITY INFORMATION PER UPPO DESIGN TICKET # 04201-000-825-00 DATED APRIL 29, 2021

1. CHARTER COMMUNICATIONS BUFILED	311-675-7893 X2	NO CONFLICT
2. ERIE COUNTY WATER AUTHORITY	716-655-2077	UTILITIES PLOTTED
3. LIGHTNER FIBER TECHNOLOGIES	888-622-0511 X2	NO RESPONSE
4. NATIONAL FUEL GAS - TONAWANDA	716-655-7431	UTILITIES PLOTTED
5. NATIONAL GRID - WEST - ELECTRIC	315-428-4319	NO CONFLICT
6. SUNOCO PIPELINE LP	715-686-7079	NO RESPONSE
7. TOWN OF AMHERST	716-653-7413	UTILITIES PLOTTED
8. VERIZON / BUFILED	315-697-2515	UTILITIES PLOTTED

**SURVEY NOTES**

- TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 04/20/21 HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH NYSDOT CORAS NETWORK REFERENCED TO THE FOLLOWING MONUMENT:  
HAMBURG CORNER STATION  
4-ATITUDE: 424-322.88328 (N)  
4-CORNER: 078-564-27338 (W)  
4-ELLIP HEIGHT: 212.464 METERS  
NAD 83 (CORRS)  
NAVD 88 (CORRS)

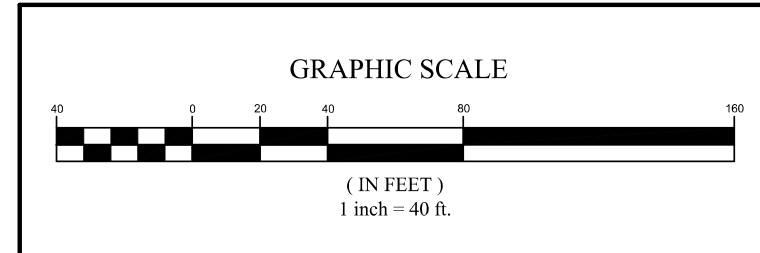
**SITE DATA**

T.A.# S4.14-1-12.211	1. EXISTING ZONING: RD - RESEARCH AND DEVELOPMENT DISTRICT
MIN. LOT AREA (SF)	1 ACRE
MIN. LOT COVERAGE	NONE REQUIRED
MIN. LOT WIDTH (FT)	35
MIN. FRONT YARD SETBACK (FT)	65 FEET
MIN. SIDE YARD SETBACK (FT)	0 TO 10 FEET FOR BUILDINGS UP TO 30 FEET IN HEIGHT; 25 FEET FOR BUILDINGS GREATER THAN 30 FEET IN HEIGHT; PLUS 3 FEET FOR EACH 1 FOOT OF HEIGHT OVER 35 FEET
MIN. REAR YARD SETBACK (FT)	15 FEET FOR BUILDINGS UP TO 30 FEET IN HEIGHT; PLUS 3 FEET FOR EACH 1 FOOT OF HEIGHT OVER 35 FEET

**CERTIFICATION**  
WE, COSTICH ENGINEERING, D.P.C., HEREBY CERTIFY TO:  
*David T. Nichol*  
Date: 8/18/2022

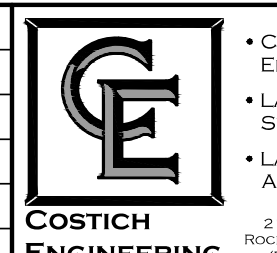


EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT GUARANTEED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF OR CLOSE BY PARCELS TO OR AROUND THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IF IN THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE MANHOLE UTILITY OWNERS IN WRITING TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES, THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



NO.	DATE	REVISION

COPYRIGHT © 2022 COSTICH ENGINEERING, D.P.C.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS AUTHORIZED BY THE ENGINEER, LAND SURVEYOR OR ARCHITECT, TO REPRODUCE OR TRANSMIT IN ANY MANNER OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF COSTICH ENGINEERING, D.P.C.



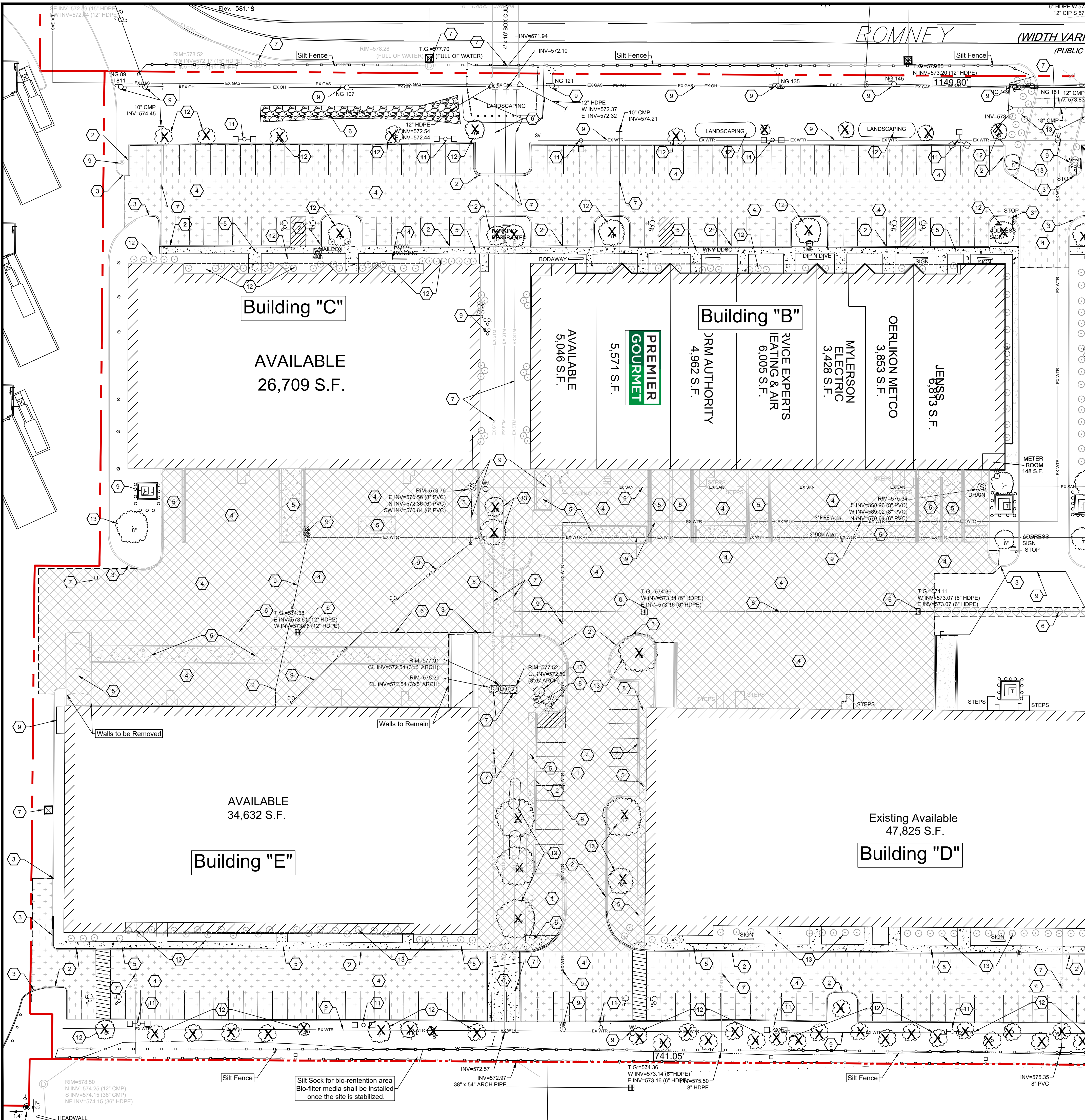
**COSTICH ENGINEERING**  
217 LARK AVENUE  
ROCHESTER, NY 14608  
(585) 405-2020

PROJECT ENGINEER: M.O.R. DORR  
DRAWN BY: G.M.S.  
BOUNDARY: G.M.S.  
TYPED BY: G.L.R.  
DATE: 8/16/2022  
SCALE: 1"=40'

PROJECT NO.: 1723/256 AMHERST DEVELOPMENT  
TITLE OF PROJECT: EXISTING FEATURES  
LOCATION OF PROJECT: 541 FERRY RD, 54141-3231  
TOWN OF AMHERST, COUNTY OF ERIE, STATE OF NEW YORK  
CLIENT: AMHERST DEVELOPMENT CO., INC. 700 W. ROOSE  
570 WEST LARK AVENUE  
BRIARCLIFF, NEW YORK, 14300

VA310  
SHEET 1 OF 1





- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
  2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
  3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
  4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
  5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
  6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
  7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
  8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
  9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
  10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
  11. CONCRETE SIDEWALK SEALERS: REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.
  - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SEALURE WITH PIRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISAPPEARED.
  - 11.2. EXPOSED AGGREGATE STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SEALURE AS SOON AS CONCRETE HAS CURED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (1) COAT OF CHEMMASTERS - POLYUREAL EZ.
  12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
  14. CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT. REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE. A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTORS CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.

**DEMOLITION LEGEND:**

- Property Line
- Existing Electric
- Existing Gas
- Existing Water
- Existing Overhead Utility
- Existing Sanitary
- Existing Storm
- Existing Telecoms
- Saw Cut Line
- Silt Fence/Sock
- Inlet Protection
- Tree Removal
- Existing area to be removed. Subbase to be recycled, reused to regrade area.
- Existing Asphalt Pavement to be Removed. Sub-base to be recycled, and reused to regrade area.

- DEMOLITION NOTES: #**
1. Existing Area to be Cleared.
  2. Existing Curb to be removed.
  3. Limits of Curb Removal.
  4. Existing Asphalt Pavement to be removed.
  5. Existing Concrete Sidewalk/ Pavement/ Ramps to be removed.
  6. Existing Storm Drainage/CB to be removed.
  7. Existing Storm Drainage/CB to remain and be protected during Construction.
  8. Existing Utility Structure to be removed.
  9. Existing Utility Structure to remain and be protected during Construction.
  10. Existing Pylon Sign to be removed.
  11. Existing Light Pole Base to be Relocated
  12. Existing Landscaping to be Removed
  13. Existing Landscaping to remain and be protected during construction.
  14. Existing Bollard/Signage to be removed.

**Project Disturbance**  
 Sub-Surface Disturbance: 4.03 Acres  
 Surface Disturbance: 3.26 Acres  
 Total Disturbance: 7.29 Acres.

**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
2	05.08.2024	DZ	Site Plan Update
4	07.31.2024	DZ	Site Updates
5	08.12.2024	DZ	Site Updates
6	08.30.2024	DZ	Town Comments
7	12.03.2024	DZ	Town Comments
10	02.05.2025	DZ	Town Comments

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**811**  
 Know what's below.  
 Call before you dig.

PROPERTY NUMBER: #1723  
 AREA:

**Amherst Development Park**  
 6000 - 6040 North Bailey Ave  
 Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
 ARCHITECT  
 PREPARED FOR  
**BENDERSON DEVELOPMENT**  
 570 DELAWARE AVE., BUFFALO, NY 14202  
 (716) 886-0211

SEAL

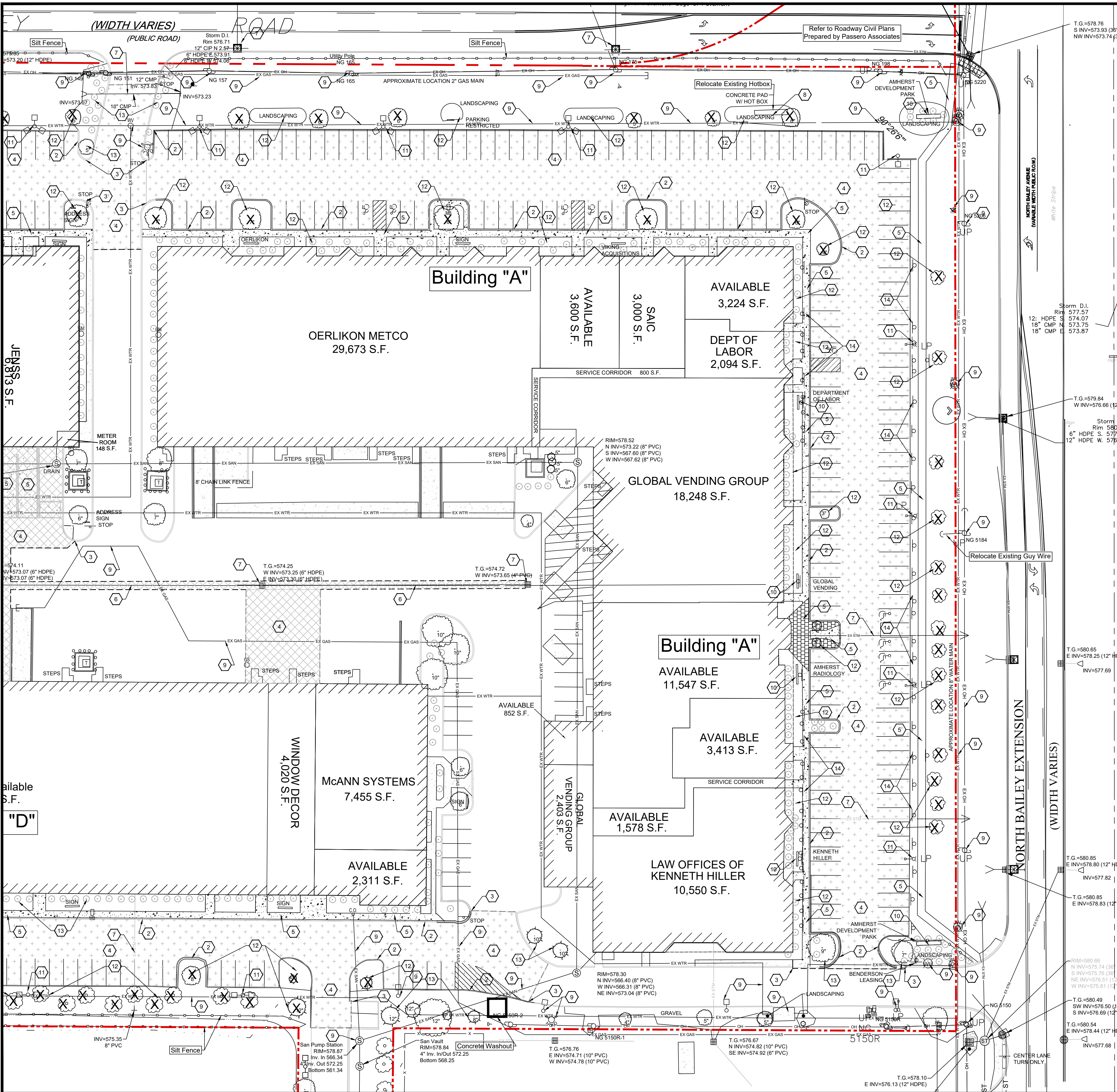
TITLE: **Demolition and Erosion Control Plan (West)**

SCALE: 1:30  
 DRAWN BY: DMZ  
 CHECKED BY: MAO  
 DATE: 08.16.2023

DRAWING NO. **C3.00**

OFFICIAL TOWN USE ONLY





GENERAL NOTES:  
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 11. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE THRESH)  
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 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.  
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.  
 14. CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADIES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT. REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE. A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTORS CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.

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Project Disturbance  
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**DRAWING REVISIONS:**

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10	02.05.2025	DZ	Town Comments

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PROPERTY NUMBER: #1723 AREA: -

**811**  
 Know what's below.  
 Call before you dig.

**Amherst Development Park**  
 6000 - 6040 North Bailey Ave  
 Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
 ARCHITECT  
 PREPARED FOR

**BENDERSON DEVELOPMENT**  
 570 DELAWARE AVE., BUFFALO, NY 14202  
 (716) 886-0211

SEAL

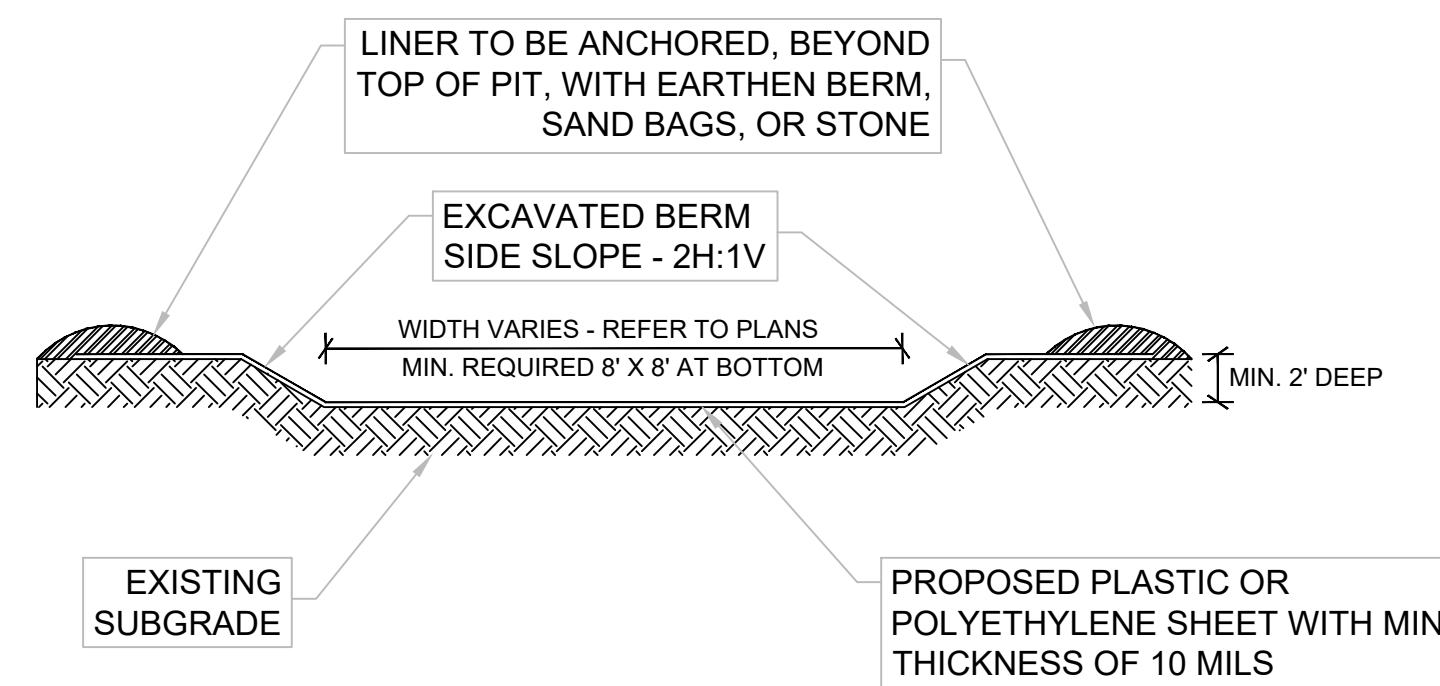
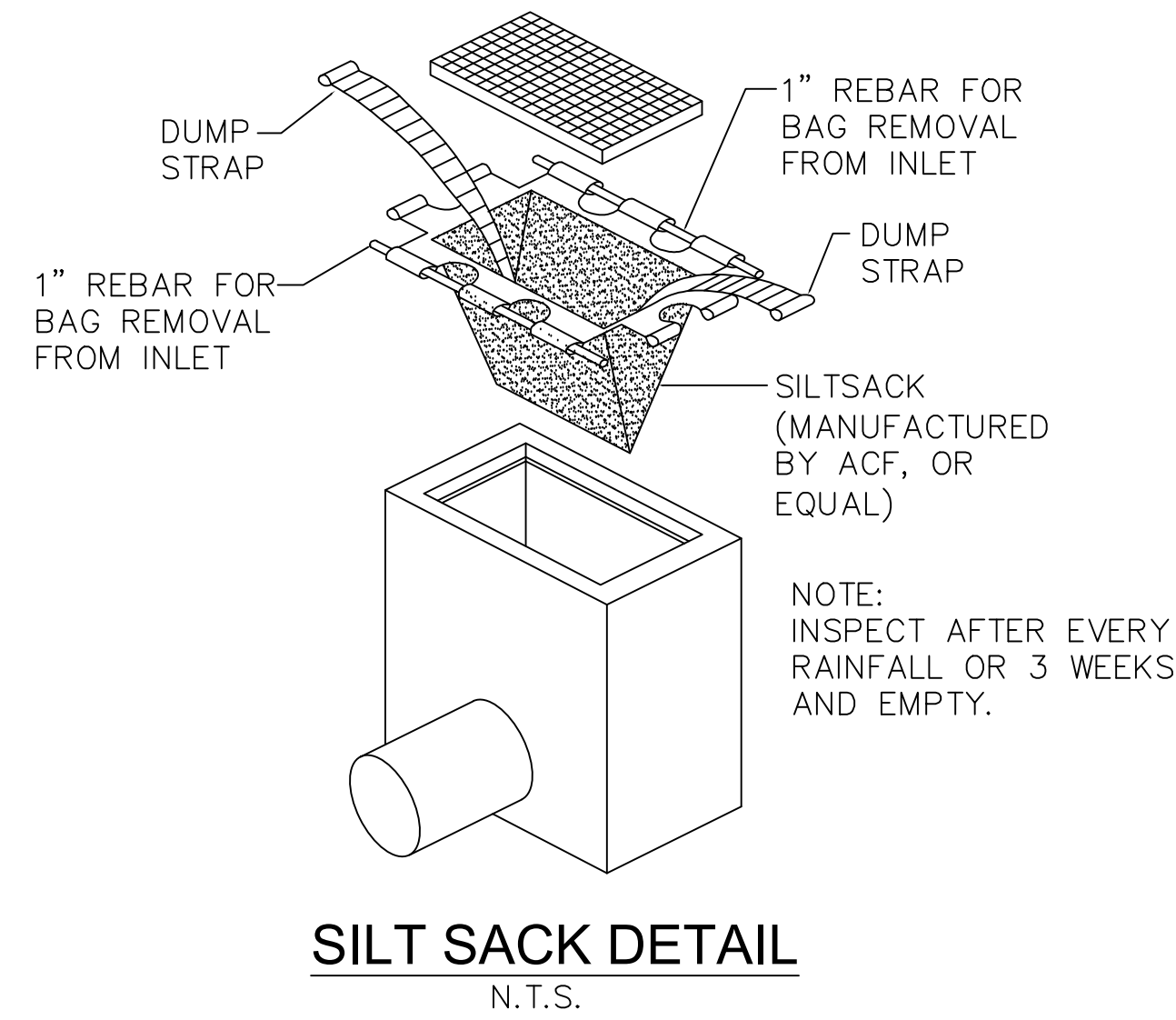
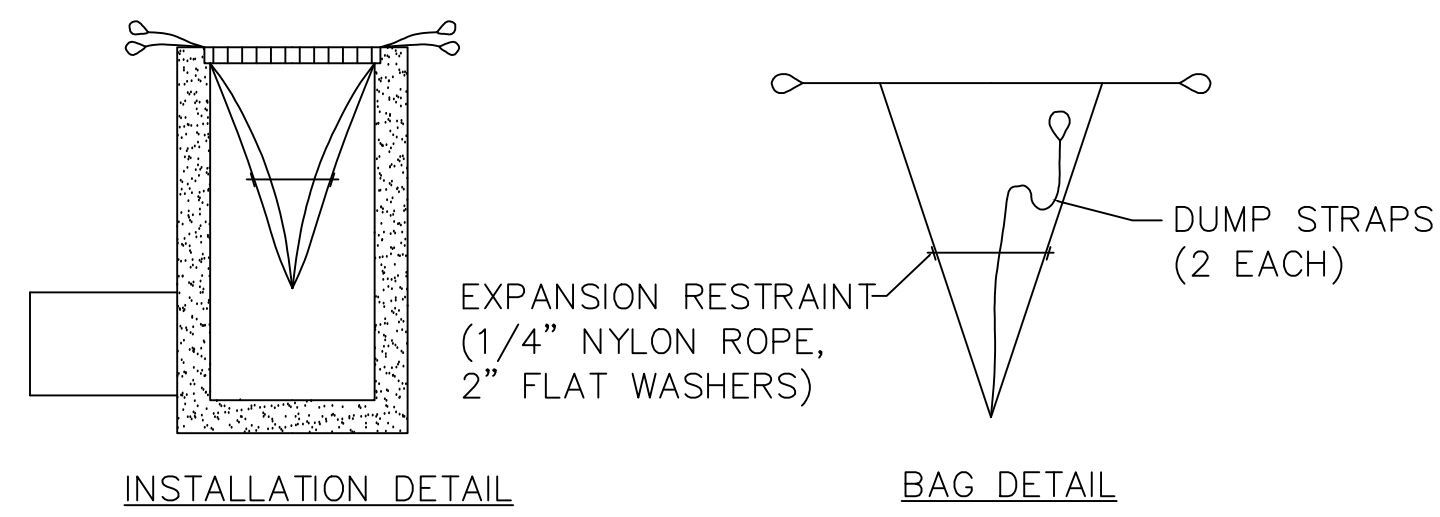
REGISTERED ARCHITECT  
 JAMES ALLEN RUMSEY  
 STATE OF NEW YORK

TITLE: **Demolition and Erosion Control Plan (East)**

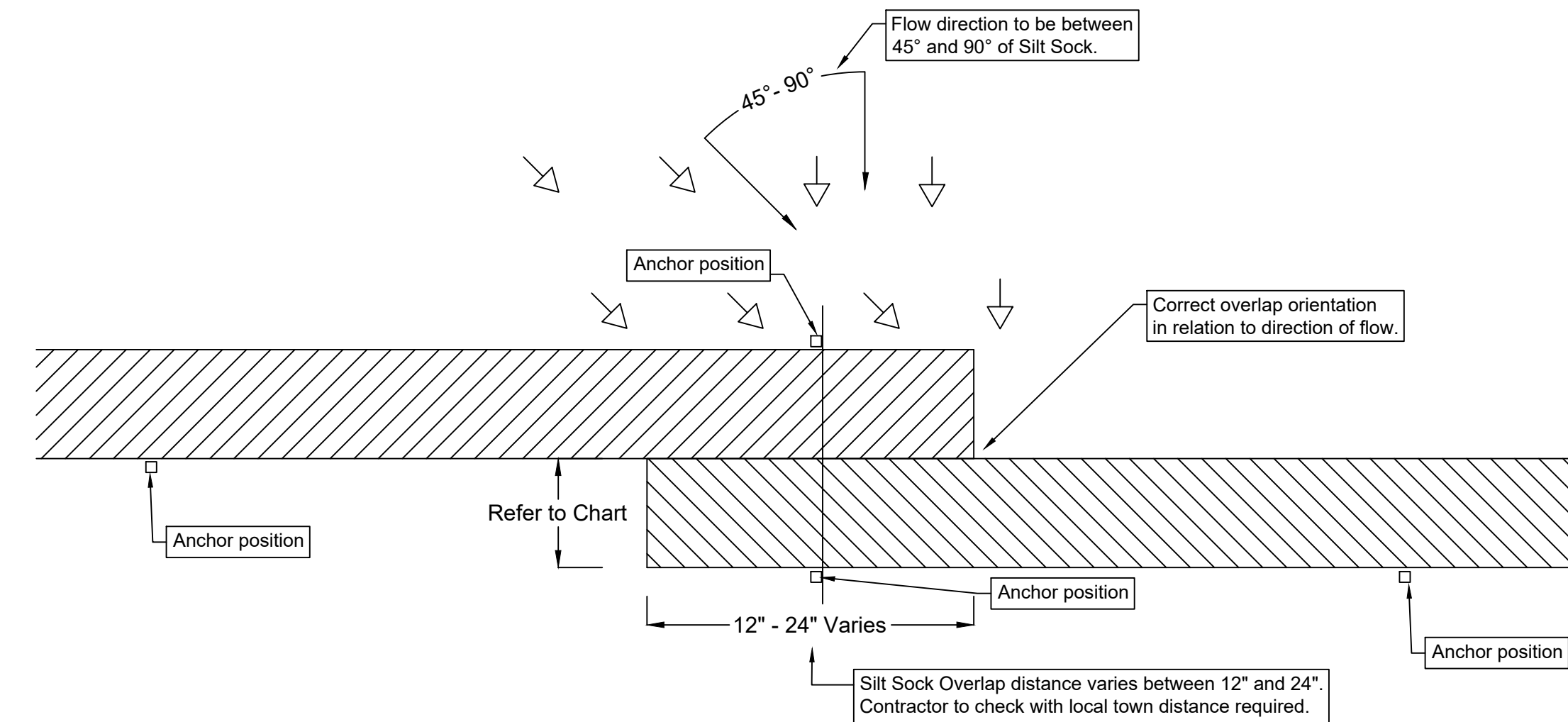
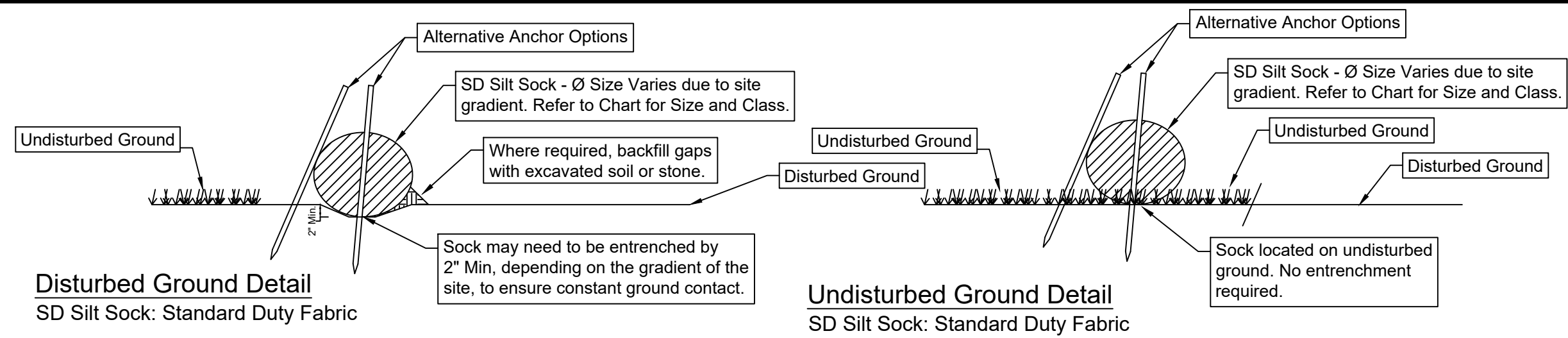
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 DRAWN BY: DMZ  
 CHECKED BY: MAO  
 DATE: 08.16.2023

DRAWING NO. **C3.01**

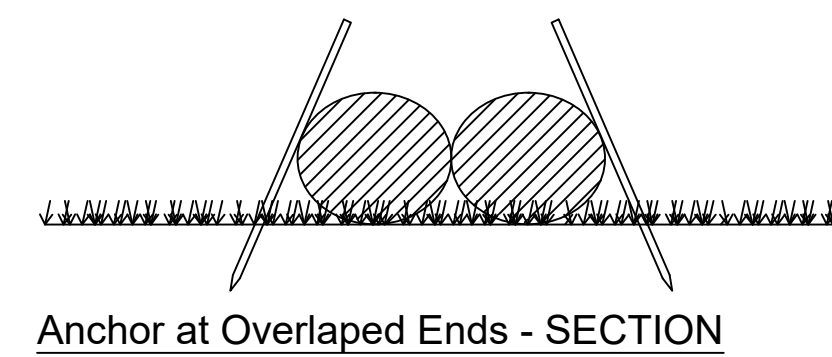




NOTES:  
1. CONSTRUCT TO 2016 NYSDEC BLUE BOOK DESIGN CRITERIA



1) Anchors required at the overlap section are to stay outside the Silt Sock and not pierce through the material. See alternative anchor positions in details above.



**Size & Class Chart**

Gradient	Diameter		
	8"	12"	18"
0 - 2%	30	55	75
2.1 - 5%	25	40	55
5.1 - 10%	15	30	40
10.1 - 33%	10	15	20
> 33%	5	10	15

**SD SILT SOCK DETAIL**  
SD Silt Sock: Standard Duty Fabric

**Notes:**

- Do not use sock below the normal watermark or perpendicular to flow in river and where the maximum incline is greater than 50%.
- Contractors should be aware of federal, state and local laws, rules regulations or permit requirements for the use of Silt Socks on site.
- Sock should be positioned on the outline of the area to be protected, but must be installed between 45° to 90° from directions of flow.
- Sock may be required to be entrenched a minimum of 2" on disturbed ground to ensure constant ground contact.
- All gaps and ruts must be backfilled with soil or sock material.
- Sock overlap should be in the direction of the flow. Overlap amount will be between 12" and 24". Contractor to check with local town for requirements.
- If sediment collects to 1/2 the height of the sock, then a second sock may be stacked immediately up slope of the original instead of removing the sediment.
- Sock joint is where two sock sections meet on a level grade, overlap and adjoining ends, tightening the ends together, and anchoring through each end. Where two sections meet on un-level ground, j-hook higher elevated end, anchor, and begin new section just below. Back fill any gaps.
- Sock should be inspected and repaired as needed.
- If ruts begin under the sock they should be backfilled with soil and compacted so that the ground and sock have continuous contact.
- If sock rolls out of place, the sock should be repositioned and secured with additional anchors.
- Tears in the Sock fabric may be repaired by wrapping a new piece of fabric over the sock and securing, or by place a second sock immediately up slope with the required overlap beyond deformation.
- A section of sock should be replaced whenever it has weakened to such an extent that the efficiency is reduced or diminished. Weakening can occur because the natural mesh fabric breaks down over time of from being moved/dragged on site.
- Sock should be replaced when sediment has built up and has been removed three times.
- All sediment in disturbed area next to sock must be removed and correctly disposed of before the sock can be removed.
- When removing, cut sock open and spread the filler material around. The netting should be removed from site.
- Sock should be installed before works commence on site.

**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS
6	08.30.2024	DZ	Town Comments

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PROPERTY NUMBER: #1723  
AREA: -

**Amherst Development Park**  
6000 - 6040 North Bailey Ave  
Amherst, NY 14226

**PROPOSED  
SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR  
**BENDERSON  
DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL



TITLE: **Demolition and Erosion Control Details**

SCALE: NTS  
DRAWN BY: DMZ  
CHECKED BY: MAO  
DATE: 08.16.2023

**C3.10**

OFFICIAL TOWN USE ONLY



TOWN OF AMHERST, NY ZONING ANALYSIS

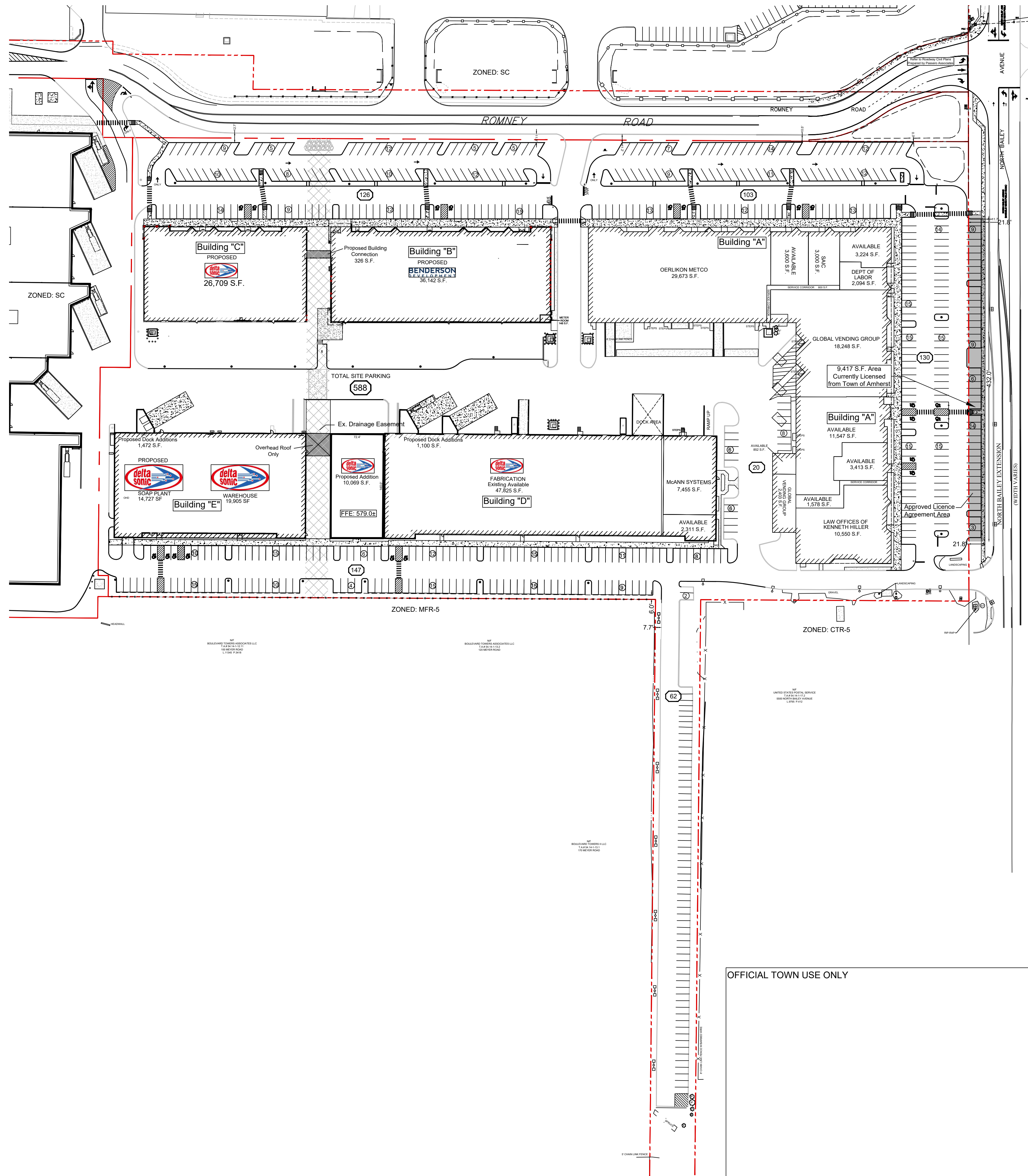
ZONED (RD)	REQUIRED	PROVIDED
	R-D	R-D
MIN LOT AREA	1 AC	17.14 AC
MAX. BUILDING HEIGHT	65'	<30'
BUILDING SETBACKS:		
FRONT YARD	40'	102.3'
SIDE YARD	15'	16.7'
REAR YARD	15'	48.4'
PARKING / ROAD/AUX SETBACKS:		
FRONT - ROMNEY ROAD	25'	0.3'
FRONT - N BAILEY	25'	*0'
REAR YARD	10'	6.0'

- \* Setback variance previously granted along North Bailey Road
- License Agreement along North Bailey has been previously granted
- Romney Road Pavement/Parking Setback - 14.5'
- N. Bailey Pavement/Parking Setback - 11.7'

PROPOSED PARKING ANALYSIS

USE	CODE	S.F. USAGE	REQUIRED	PROVIDED
WAREHOUSE	1 / 1000 S.F.	180,573 SF	181 Spaces	
RETAIL/OFFICE	1 / 200 S.F.	75,495 SF	378 Spaces	
<b>TOTAL</b>		<b>256,068 SF</b>	<b>559 Spaces</b>	<b>588 Spaces</b>
STALL SIZE			9' X 19'	9' X 19'

\*Refer alternative parking study for site required parking



DRAWING REVISIONS:

No.	DATE	BY	REMARKS
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2	05.08.2024	DZ	Site Plan Update
4	07.31.2024	DZ	Site Updates
5	08.12.2024	DZ	Site Updates
6	11.15.2024	DZ	Site Updates
7	12.03.2024	DZ	Town Comments
8	12.11.2024	DZ	Updated Sidewalk
10	02.05.2025	DZ	Town Comments

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PROPERTY NUMBER: #1723  
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Amherst, NY 14226

**PROPOSED  
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CONSULTANT

JAMES ALLEN RUMSEY  
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**BENDERSON  
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570 DELAWARE AVE., BUFFALO, NY 14202  
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SEAL



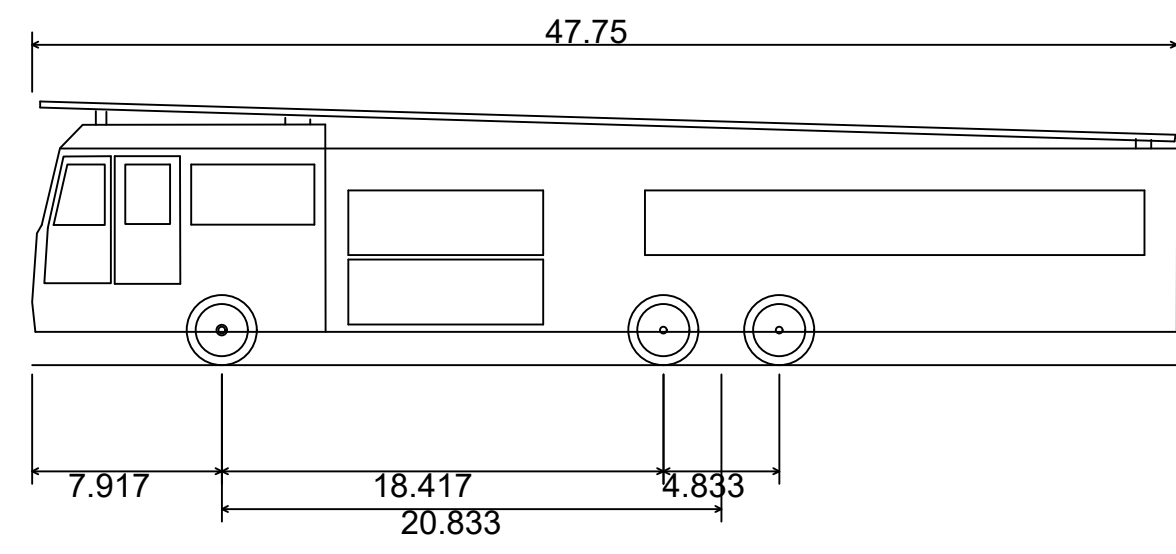
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**Overall  
Site Plan**

SCALE:  
1:70  
DRAWN BY: DMZ  
CHECKED BY: MAO  
DATE: 11.06.2023

DRAWING NO.  
**C4.0**

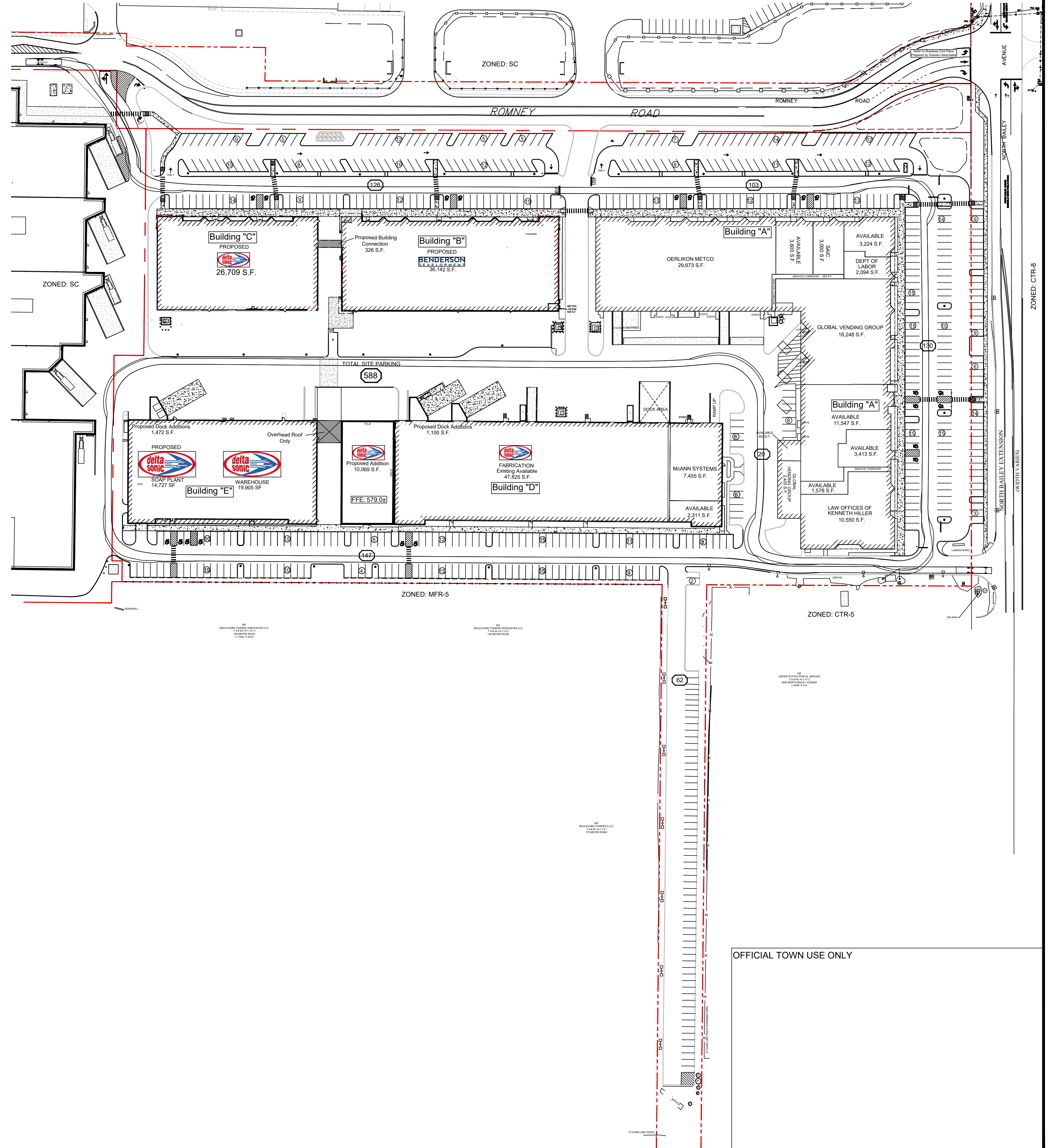
OFFICIAL TOWN USE ONLY





E-ONE HP95 Mid Mount  
 Overall Length  
 Overall Width  
 Overall Body Height  
 Min Body Ground Clearance  
 Track Width  
 Lock-to-lock time  
 Max Wheel Angle

47.750ft  
 8.333ft  
 11.000ft  
 1.393ft  
 8.333ft  
 6.00s  
 45.00°



DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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SEAL

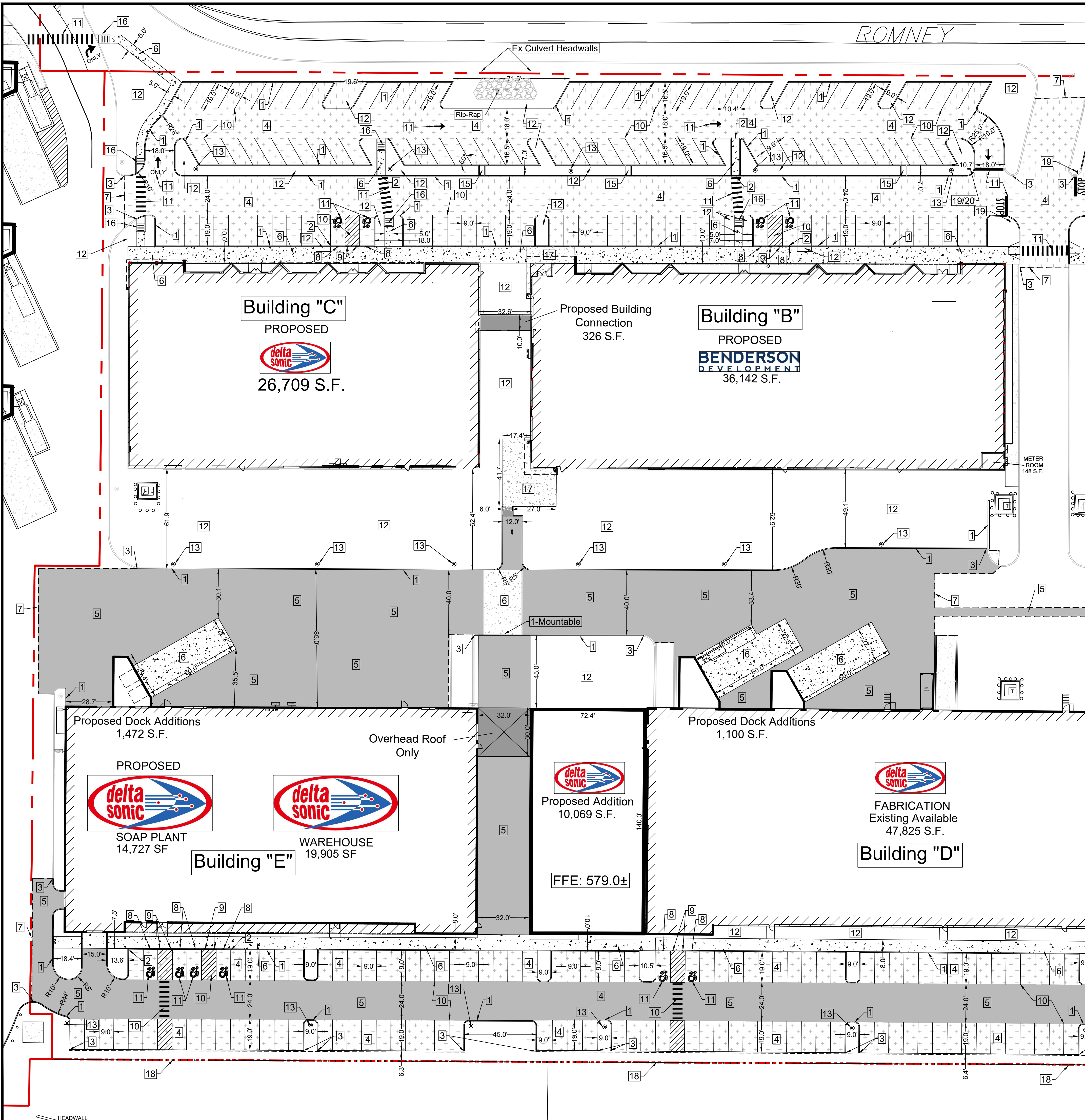
TITLE:  
**Fire Truck  
 Turning Plan**

SCALE:  
 1:70  
 DRAWN BY: DMZ  
 CHECKED BY: MAO  
 DATE: 08.30.2024

DRAWING NO.  
**C4.01**

OFFICIAL TOWN USE ONLY





ROMNEY

- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
  2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
  3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
  4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
  5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
  6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
  7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
  8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
  9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
  10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
  11. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES)
  - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILICURE WITHIN 24 HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
  - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SILICURE AS SOON AS CONCRETE HAS CURED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (1) COAT OF CHEMMASTERS - POLYSEAL EZ.
  12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
  13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.
  14. CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT. REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE, A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTORS CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.

**SITE LEGEND:**

- Property line
- 6" Curb (typ.)
- Proposed sign & pole
- Proposed Concrete Sidewalk
- Proposed Standard Duty Pavement (Refer to General Note#14)
- Proposed Heavy Duty Pavement

\* All curb radii are 3ft unless noted.  
\* Refer to General Notes, Construction Details and Architectural Plans for Concrete Sealer information.

- SITE NOTES:**
1. Proposed 6" concrete Curb.
  2. Proposed Flush Concrete Curb.
  3. Match into Existing Curb or runoff over 2'.
  4. Proposed Standard Duty Pavement.
  5. Proposed Heavy Duty Pavement.
  6. Proposed Concrete Pavement/Sidewalk.
  7. Match into Existing Pavement.
  8. Proposed "Handicapped Parking Only" sign.
  9. Proposed "No Parking" sign.
  10. 4" Yellow Pavement Stripe (at 2' c-c in no parking zones).
  11. Proposed White Pavement symbol (stop bar, directional arrows, accessibility symbol, text)
  12. Proposed Landscape Area.
  13. Proposed Light Pole Base
  14. Proposed Mill and Overlay Asphalt Pavement
  15. Proposed 3' Wide Curb Opening
  16. Proposed Curb Return Ramp
  17. Proposed Paver Sidewalk/Patio
  18. Proposed Board on Board Fence
  19. Proposed STOP Sign
  20. Proposed Do Not Enter Sign

NB: All curb Radii to be 3' unless otherwise noted.

**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
2	05.08.2024	DZ	Site Plan Update
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CONSULTANT

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ARCHITECT  
PREPARED FOR  
**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL

TITLE:  
**Detailed Site Plan (West)**

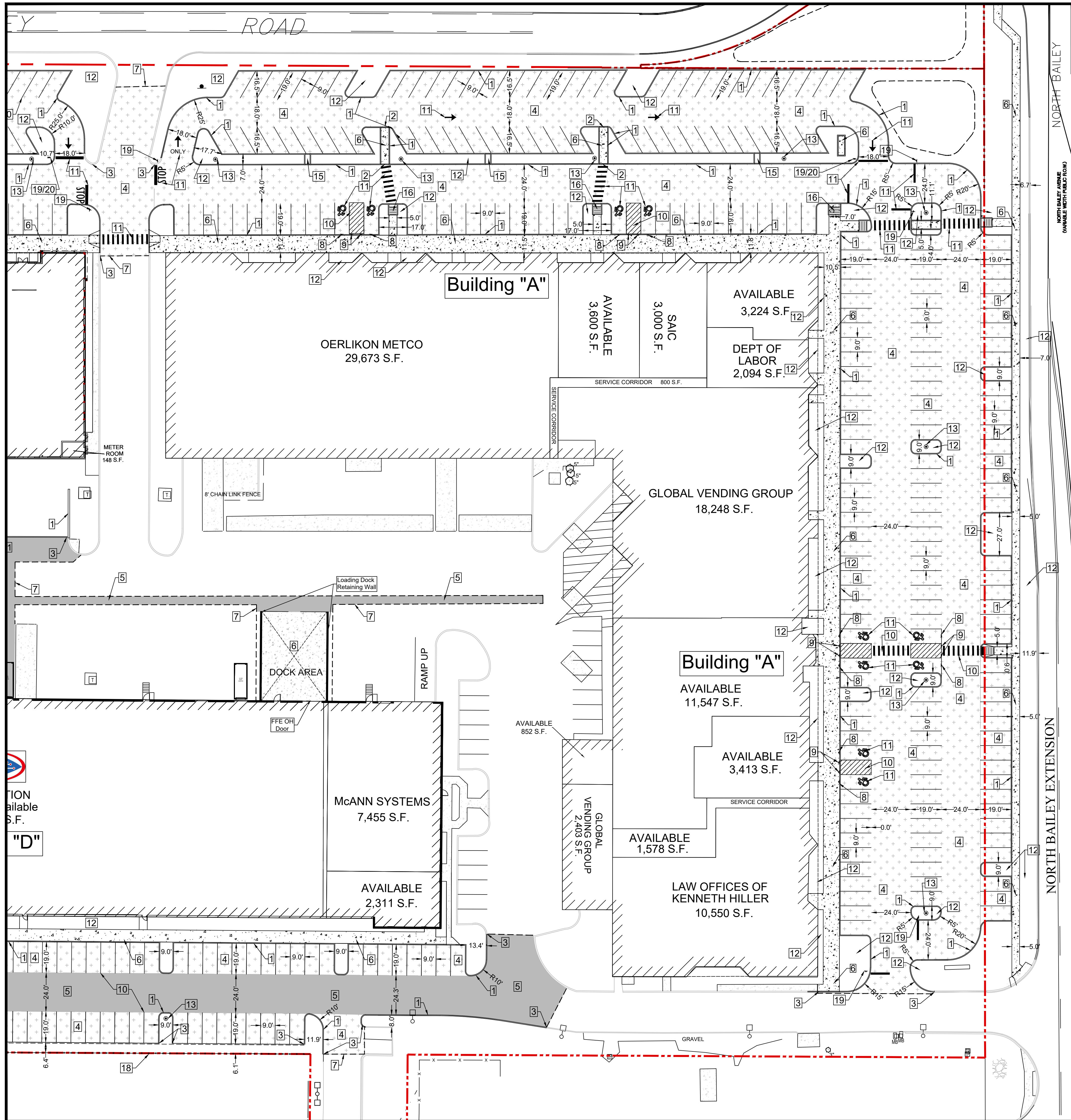
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DRAWN BY: DMZ  
CHECKED BY: MAO  
DATE: 08.16.2023

DRAWING NO.  
**C4.10**

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- CONCRETE SIDEWALK SEALERS: REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.
- GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILICURE WITHIN 90 DAYS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISAPPEARED.
- EXPOSED AGGREGATES/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SILICURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (1) COAT CHEMMASTERS - POLYSEAL E2.
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**SITE LEGEND:**

- Property line
- 6" Curb (typ.)
- Proposed sign & pole
- Proposed Concrete Sidewalk
- Proposed Standard Duty Pavement (Refer to General Note#14)
- Proposed Heavy Duty Pavement

\* All curb radii are 3ft unless noted.  
 \* Refer to General Notes, Construction Details and Architectural Plans for Concrete Sealer information.

- SITE NOTES:**
- Proposed 6" concrete Curb.
  - Proposed Flush Concrete Curb.
  - Match into Existing Curb or runoff over 2'.
  - Proposed Standard Duty Pavement.
  - Proposed Heavy Duty Pavement.
  - Proposed Concrete Pavement/Sidewalk.
  - Match into Existing Pavement.
  - Proposed "Handicapped Parking Only" sign.
  - Proposed "No Parking" sign.
  - 4" Yellow Pavement Stripe (at 2' c-c in no parking zones).
  - Proposed White Pavement symbol (stop bar, directional arrows, accessibility symbol, text)
  - Proposed Landscape Area.
  - Proposed Light Pole Base
  - Proposed Mill and Overlay Asphalt Pavement
  - Proposed 3' Wide Curb Opening
  - Proposed Curb Return Ramp
  - Proposed Paver Sidewalk/Patio
  - Proposed Board on Board Sign
  - Proposed STOP Sign
  - Proposed Do Not Enter Sign

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**PROPOSED SITE MODIFICATIONS**

CONSULTANT

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 PREPARED FOR

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SEAL

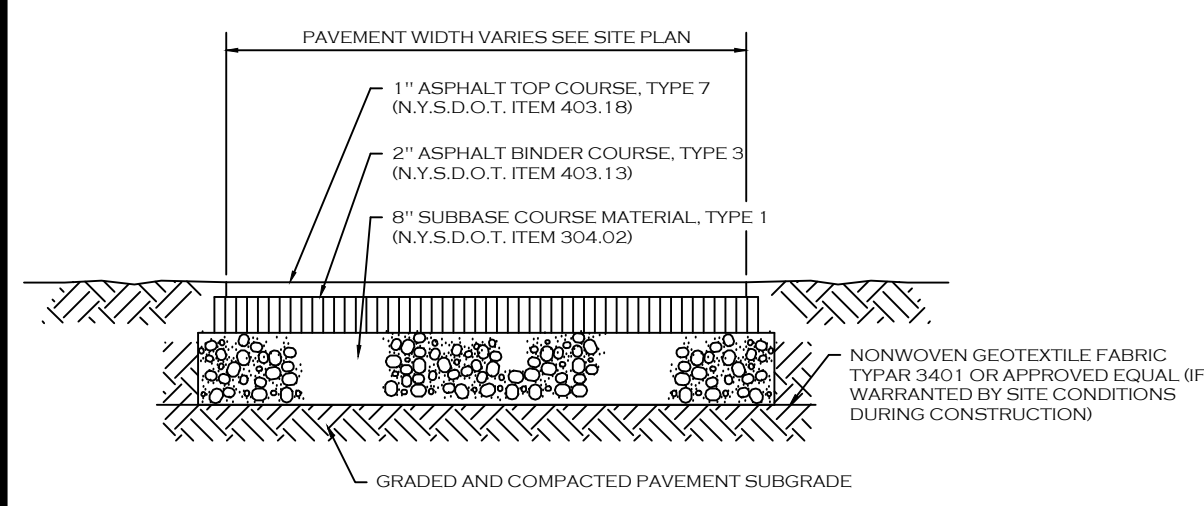
OFFICIAL TOWN USE ONLY

TITLE: **Detailed Site Plan (East)**

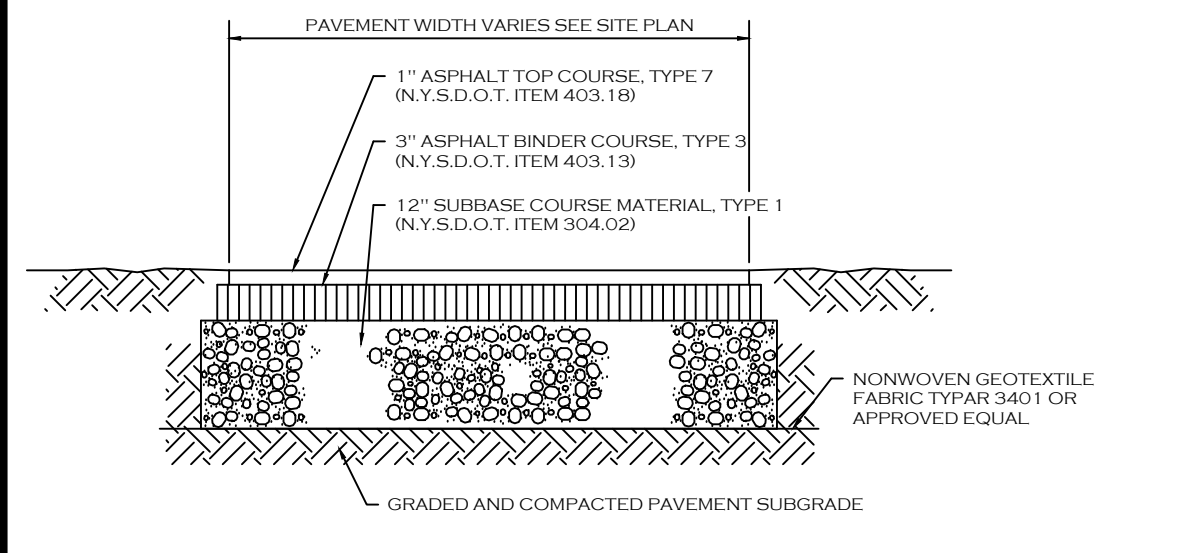
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 CHECKED BY: MAO  
 DATE: 08.16.2023

**C4.11**

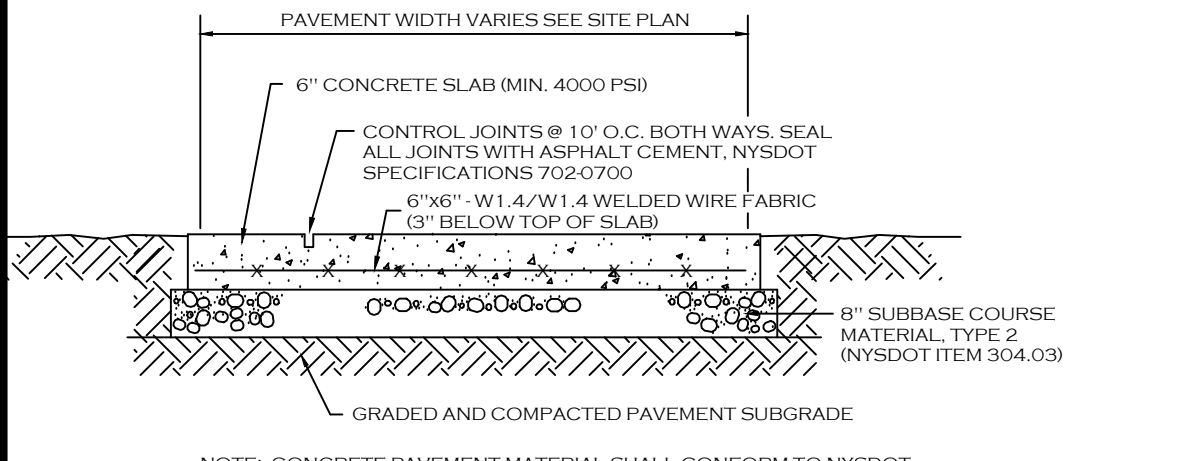




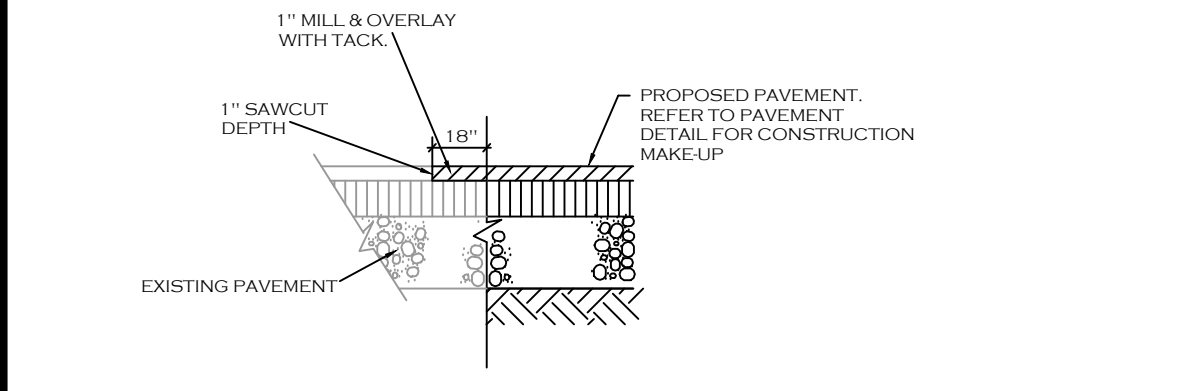
**STANDARD DUTY ASPHALT SECTION**



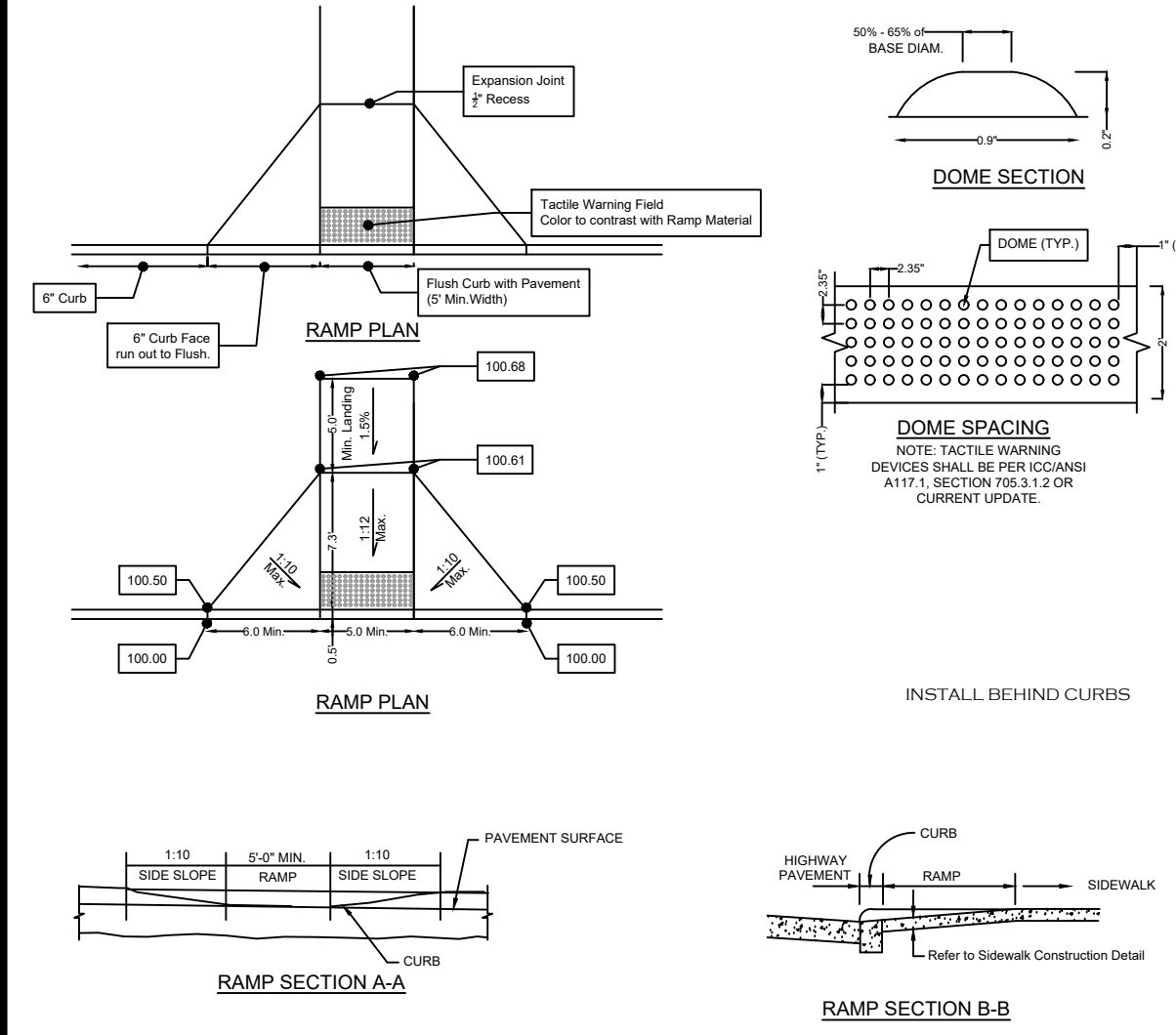
**HEAVY DUTY ASPHALT SECTION**



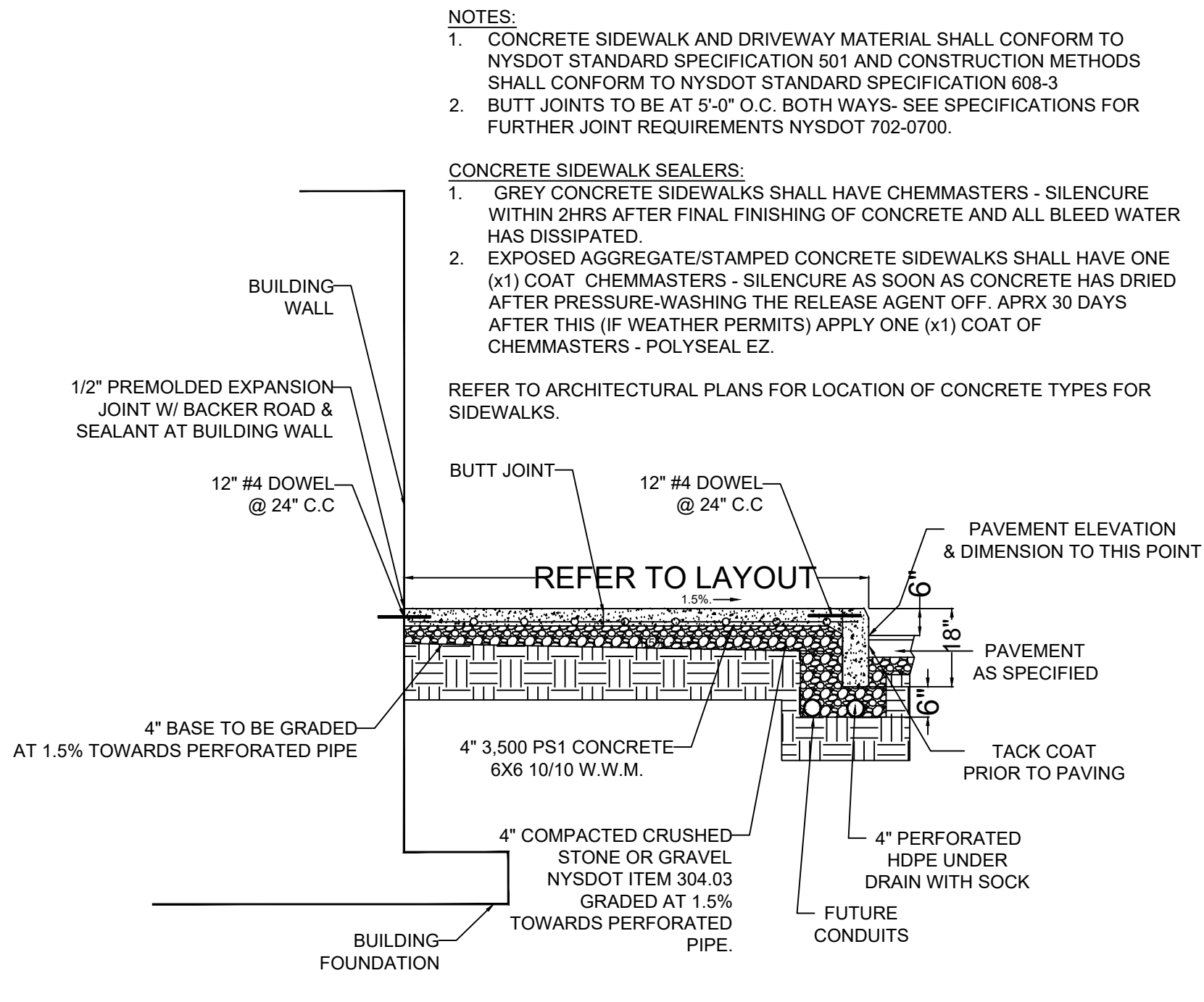
**CONCRETE PAVEMENT (INC DUMPSTER)**



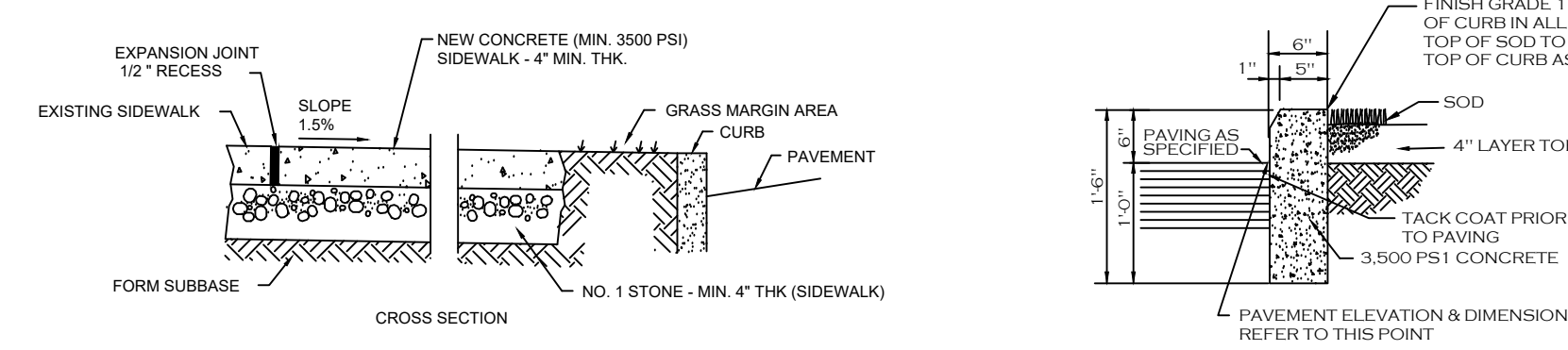
**PAVEMENT TRANSITION DETAIL (ASPHALT PAVEMENT)**



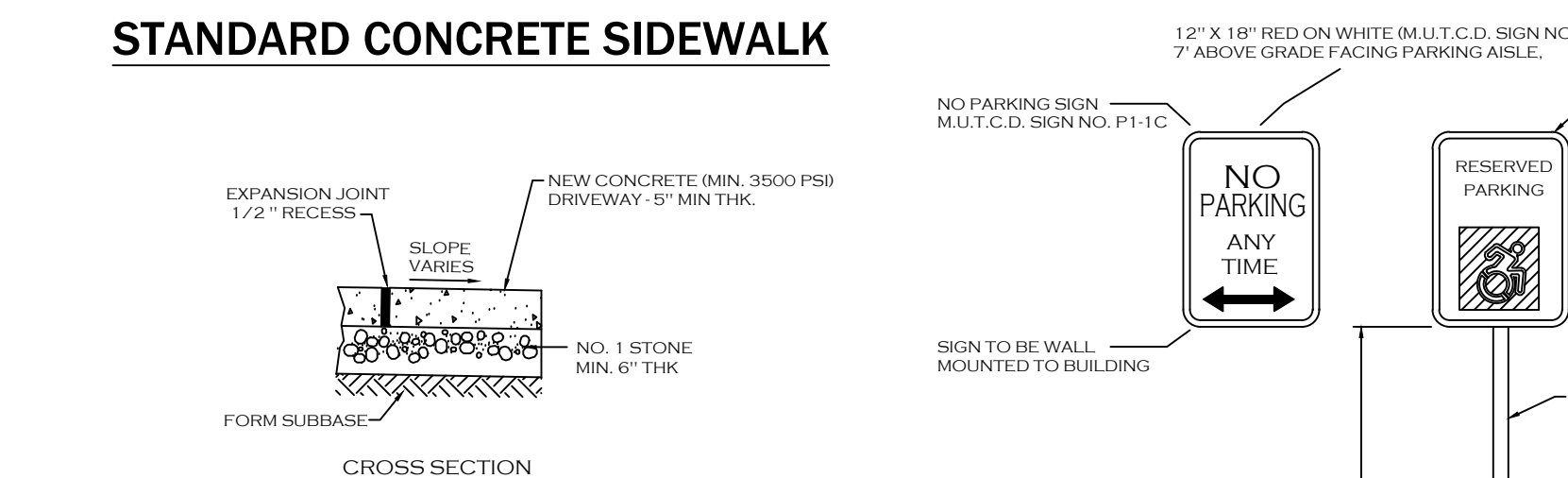
**SIDEWALK CURB RAMP DETAIL**



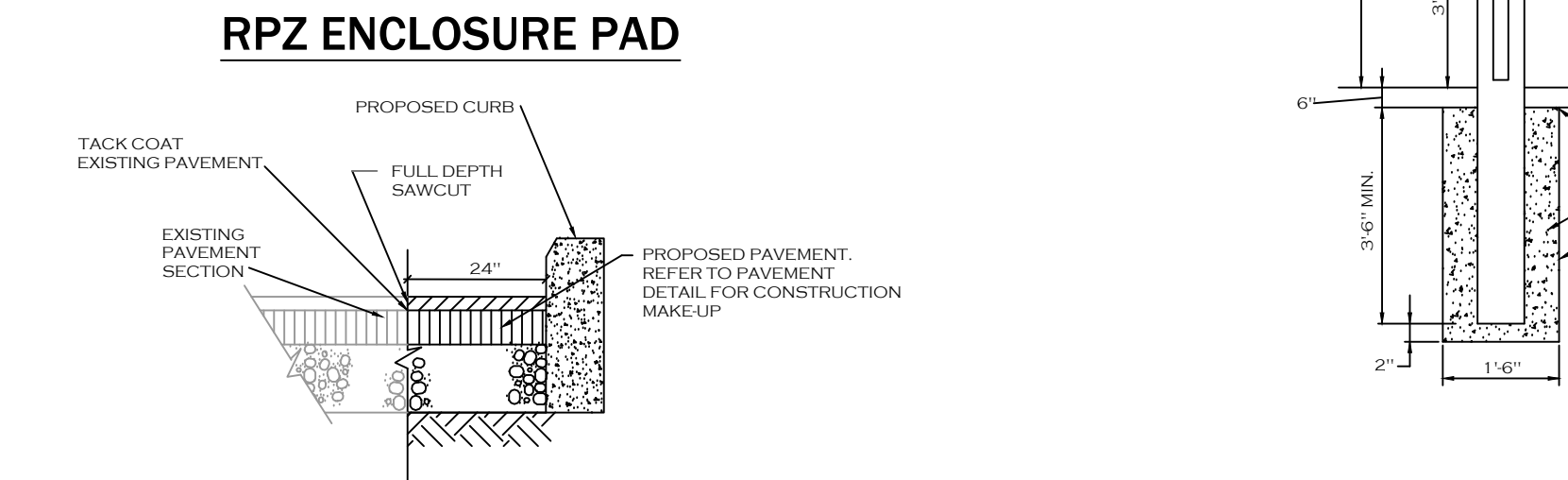
**BUILDING SIDEWALK DETAIL**



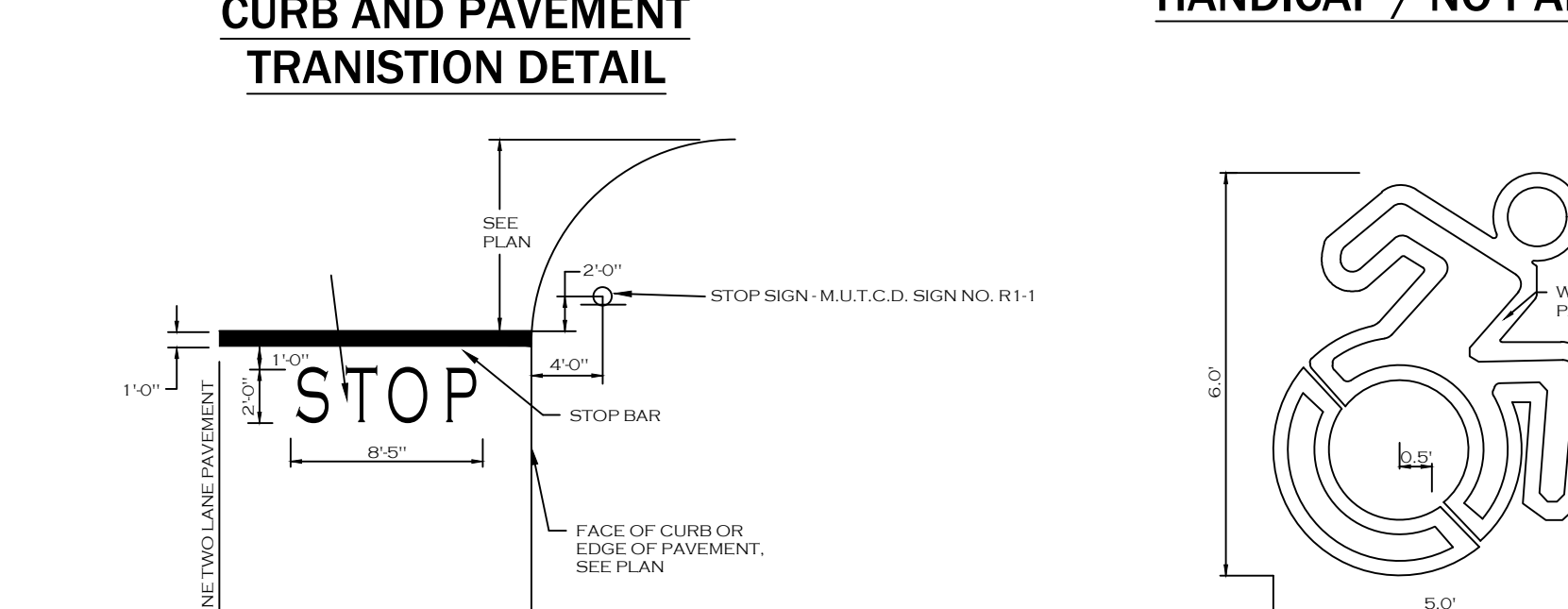
**TYPE "A" CONCRETE CURB**



**STANDARD CONCRETE SIDEWALK**



**RPZ ENCLOSURE PAD**



**CURB AND PAVEMENT TRANSITION DETAIL**



**STOP BAR DETAIL**

**NOTES:**  
 1. CONCRETE SIDEWALK AND DRIVEWAY MATERIAL SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 608-3  
 2. BUTT JOINTS TO BE AT 5'-0" O.C. BOTH WAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYS DOT 702-0700.

**CONCRETE SIDEWALK SEALERS:**  
 1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED  
 2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SILENCE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (1) COAT OF CHEMMASTERS - POLYSEAL EZ.

REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES FOR SIDEWALKS.

1/2" PREMOLDED EXPANSION JOINT W/ BACKER ROAD & SEALANT AT BUILDING WALL

12" #4 DOWEL @ 24" C.C.

BUTT JOINT

12" #4 DOWEL @ 24" C.C.

PAVEMENT ELEVATION & DIMENSION TO THIS POINT

REFER TO LAYOUT

PAVEMENT AS SPECIFIED

4" BASE TO BE GRADED AT 1.5% TOWARDS PERFORATED PIPE

4" 3,500 PS1 CONCRETE 6X6 10/10 W.W.M.

4" COMPACTED CRUSHED STONE OR GRAVEL NYS DOT ITEM 304.03 GRADED AT 1.5% TOWARDS PERFORATED PIPE.

4" PERFORATED HDPE UNDER DRAIN WITH SOCK

TACK COAT PRIOR TO PAVING

4" PERFORATED HDPE UNDER DRAIN WITH SOCK

FUTURE CONDUITS

**CONTRACTOR TO VERIFY WITH OWNER ON CURB DETAIL**

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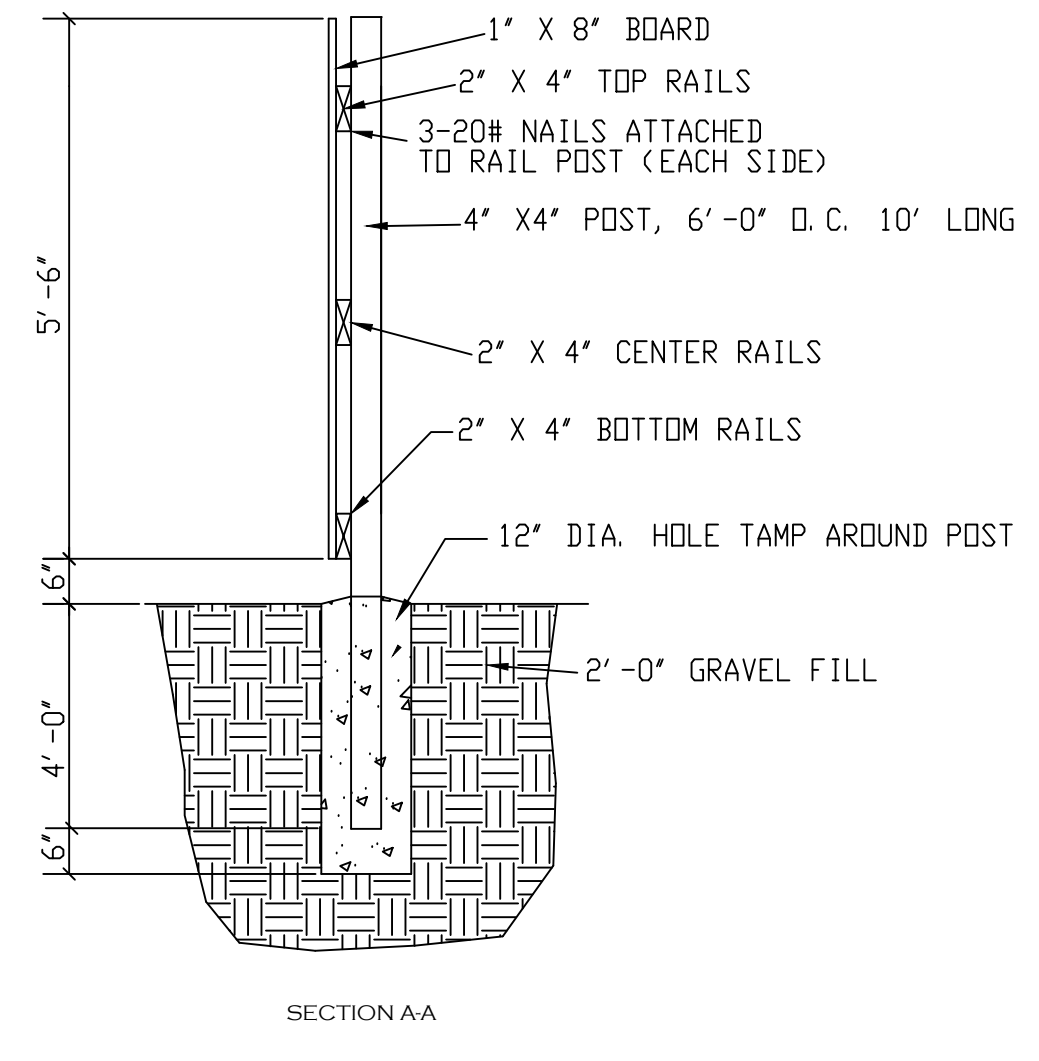
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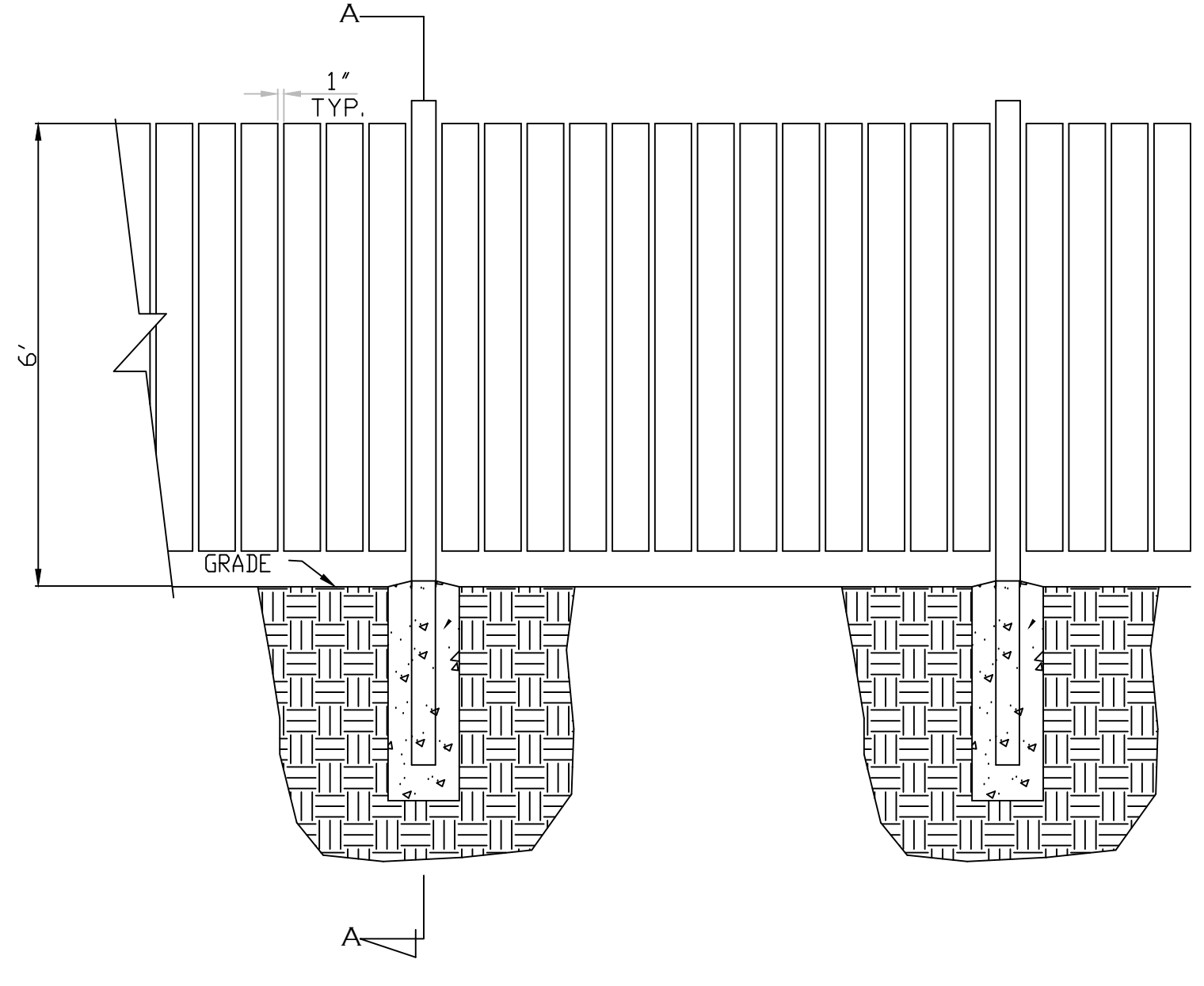
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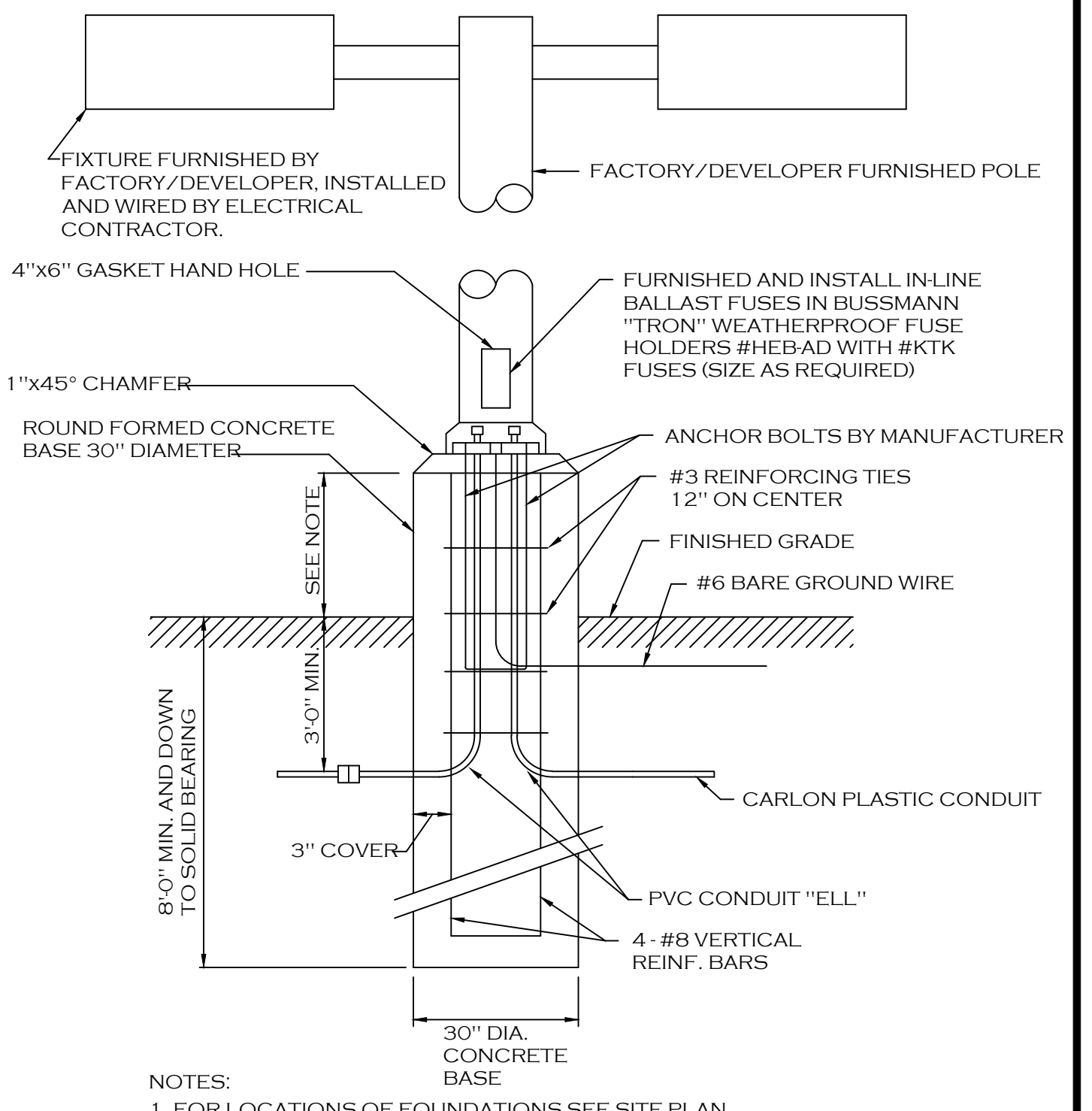
**NOTES:**  
 1. (1.5% SIDEWALK GRADES ARE FOR REPRESENTATION ONLY. REFER TO LAYOUT FOR PROPOSED GRADES.



**SECTION AA**

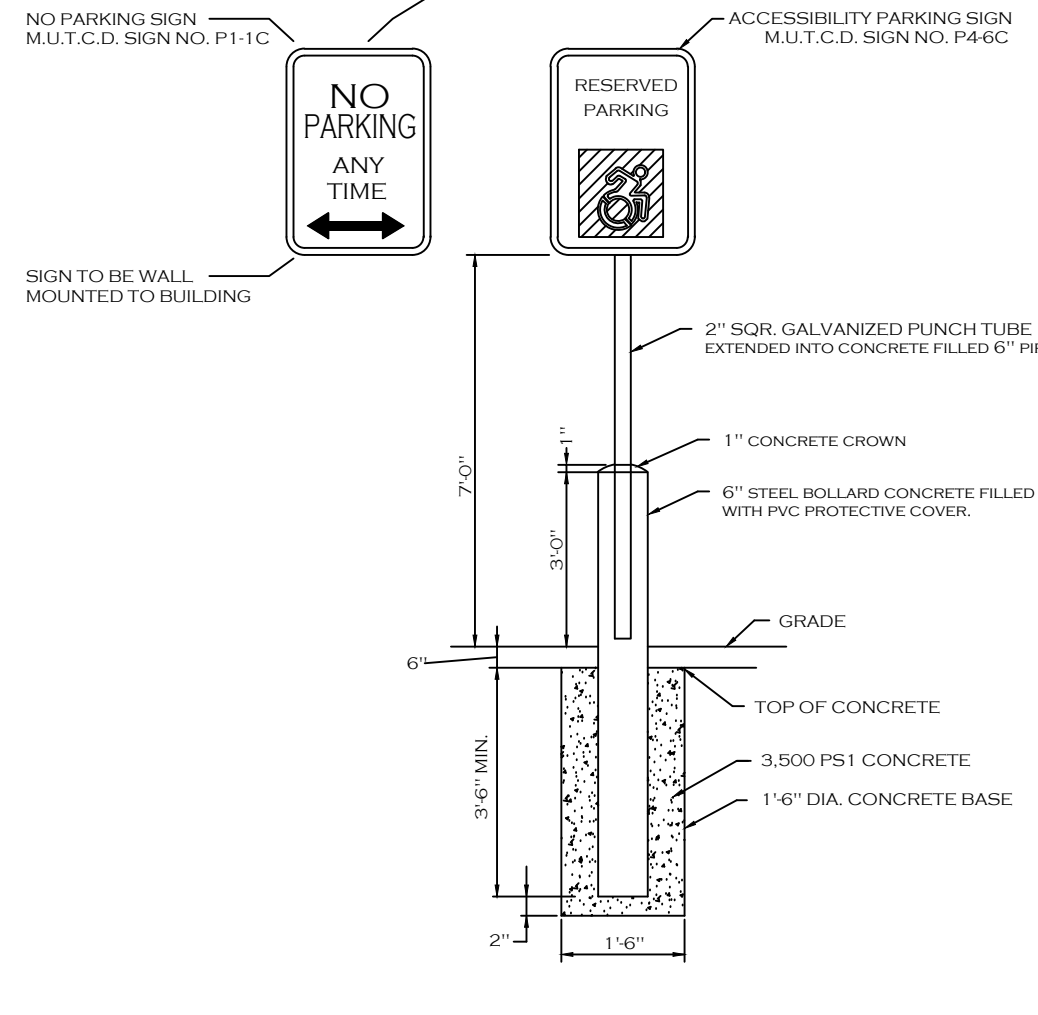


**6FT BOARD ON BOARD FENCE DETAIL**

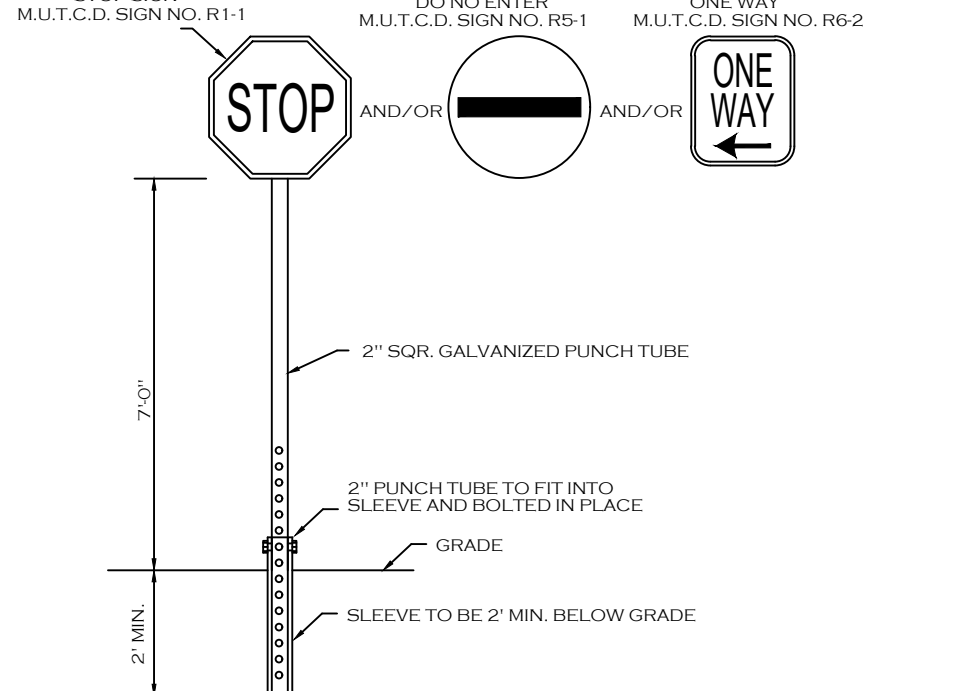


**NOTES:**  
 1. FOR LOCATIONS OF FOUNDATIONS SEE SITE PLAN  
 2. FOR LIGHT FIXTURE ORDERING INFORMATION SEE SITE LIGHTING PLAN  
 3. LIGHT POLE BASE EXPOSURE ABOVE GRADE SHALL BE:  
 IN CURBED ISLANDS: 6" ABOVE TOP OF CURB ELEVATION  
 IN PAVEMENT: 30" ABOVE GRADE  
 IN NON-CURBED GRASS AREAS: 6" ABOVE GRADE

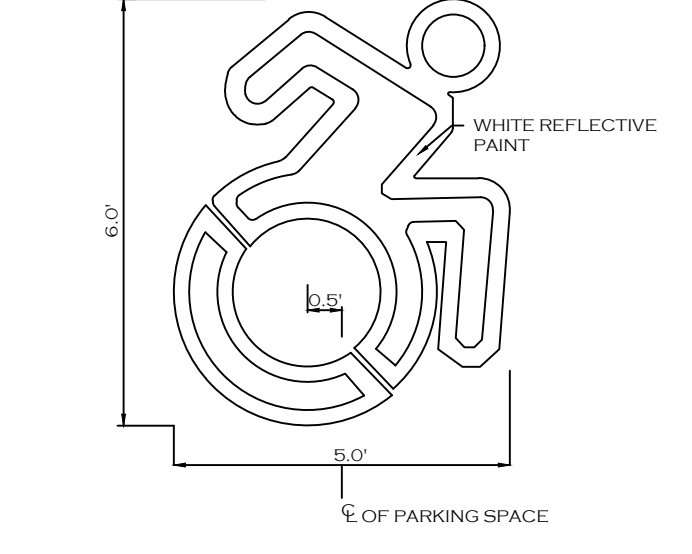
**LIGHT POLE FOUNDATION**



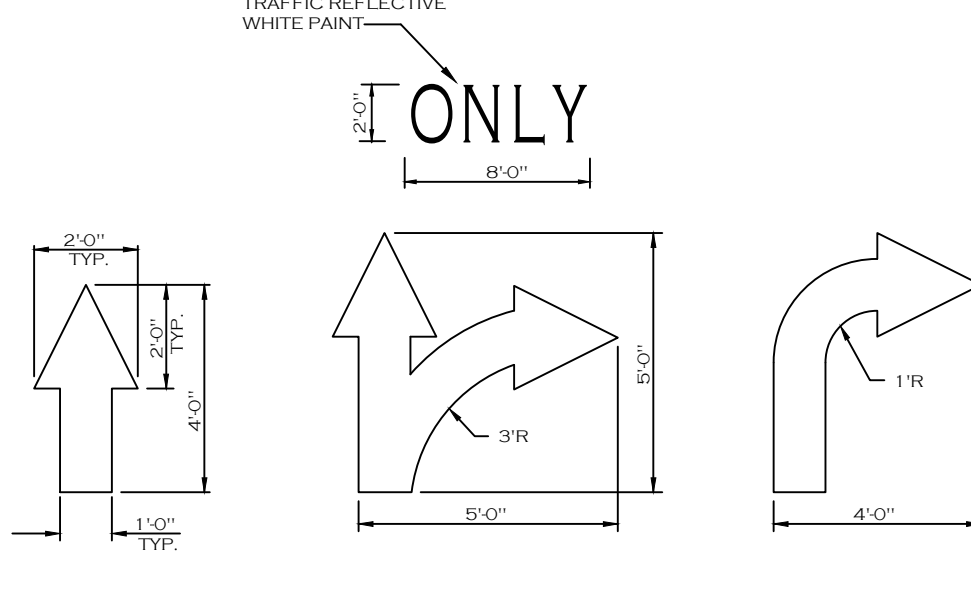
**HANDICAP / NO PARKING SIGNS**



**"STOP" / "NO ENTRY" / "ONE WAY" SIGNS**



**INTERNATIONAL ACCESSIBILITY SYMBOL**



**PAINTED TRAFFIC ARROWS**

**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
7	12.03.2024	DZ	Town Comments
10	02.05.2025	DZ	Town Comments

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PROPERTY NUMBER: #1723  
 AREA:

**Amherst Development Park**  
 6000 - 6040 North Bailey Ave  
 Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

**CONSULTANT**

**JAMES ALLEN RUMSEY**  
 ARCHITECT  
 PREPARED FOR  
**BENDERSON DEVELOPMENT**  
 570 DELAWARE AVE., BUFFALO, NY 14202  
 (716) 886-0211

**SEAL**



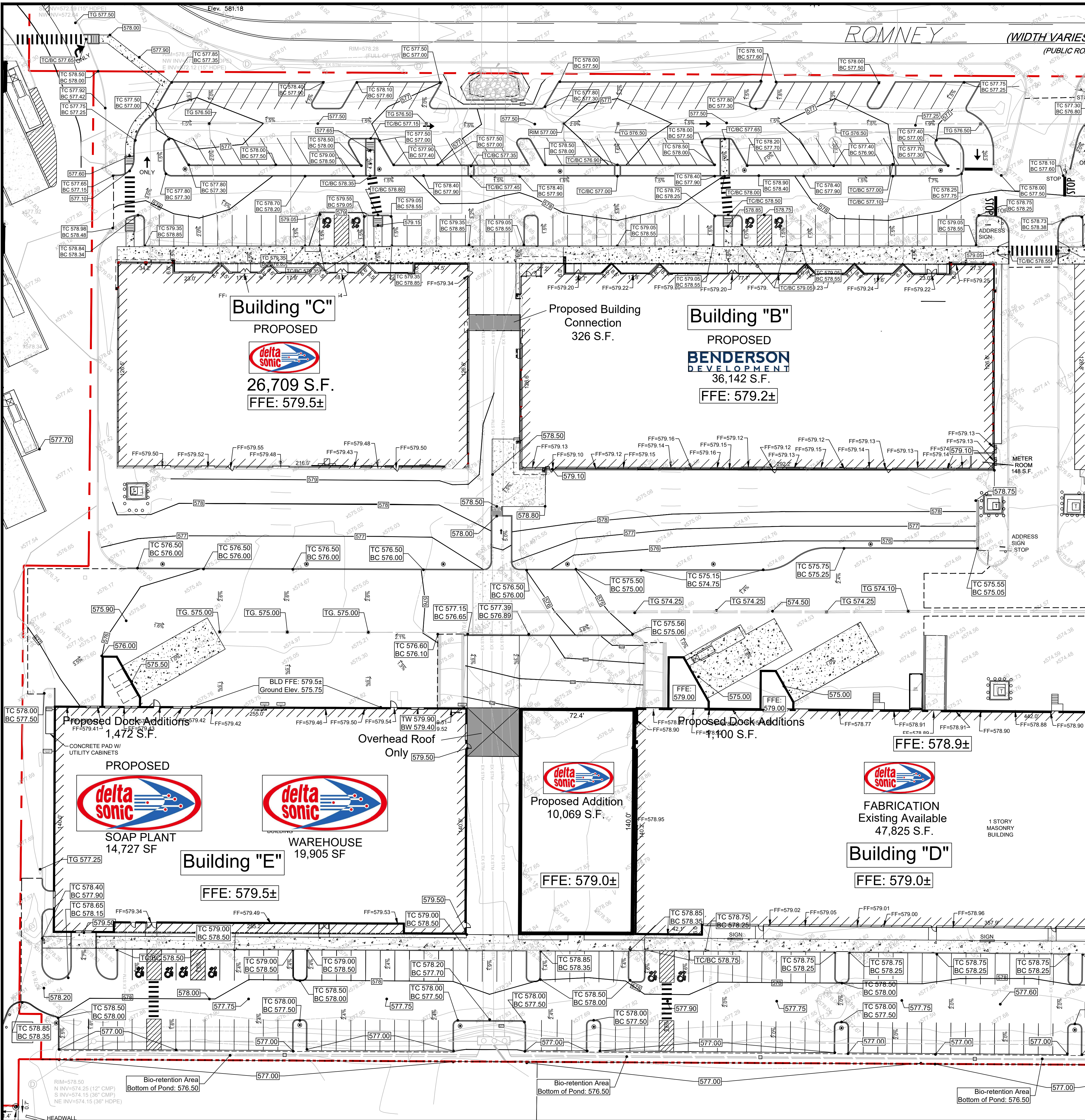
TITLE: **Construction Details**

SCALE: NTS  
 DRAWN BY: DMZ  
 CHECKED BY: MAO  
 DATE: 08.16.2023

DRAWING NO. **C4.20**

OFFICIAL TOWN USE ONLY





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  - WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
  - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
  - CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
  - CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
  - CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
  - BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
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**GRADING LEGEND:**

- Property Line
- 6" Curb (typ.)
- Catch Basin - Top of Grade
- Proposed Contour Line
- Slope Direction

DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
2	05.08.2024	DZ	Site Plan Update
4	07.31.2024	DZ	Site Updates
5	08.12.2024	DZ	Site Updates
7	12.03.2024	DZ	Town Comments
8	12.11.2024	DZ	Updated Sidewalk
10	02.05.2025	DZ	Town Comments

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 AREA:

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 Amherst, NY 14226

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CONSULTANT

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 ARCHITECT  
 PREPARED FOR  
**BENDERSON DEVELOPMENT**  
 570 DELAWARE AVE., BUFFALO, NY 14202  
 (716) 886-0211

SEAL

OFFICIAL TOWN USE ONLY

TITLE:  
**Grading Plan (West)**

SCALE:  
 1:30

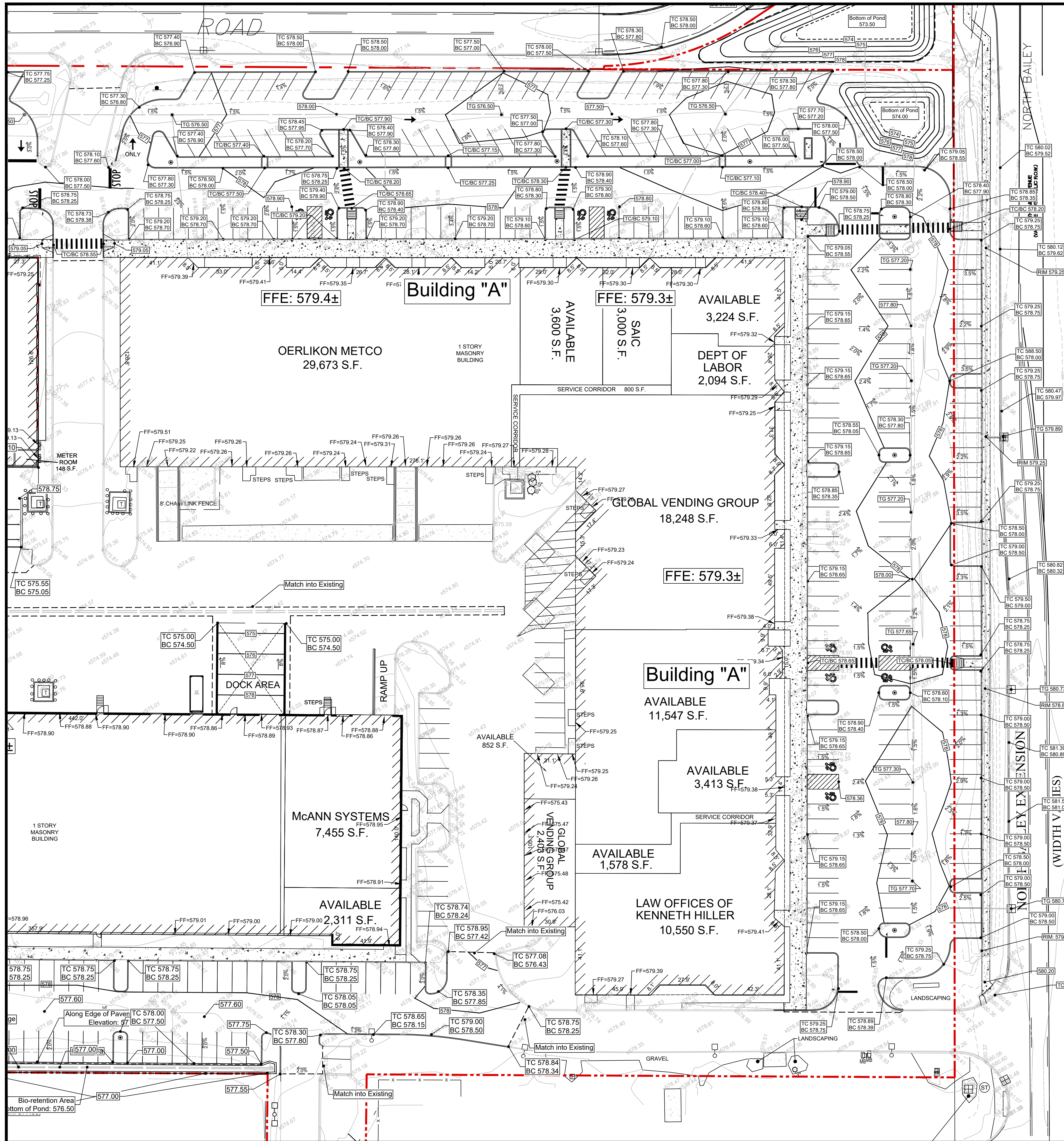
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 DMZ

CHECKED BY:  
 MAO

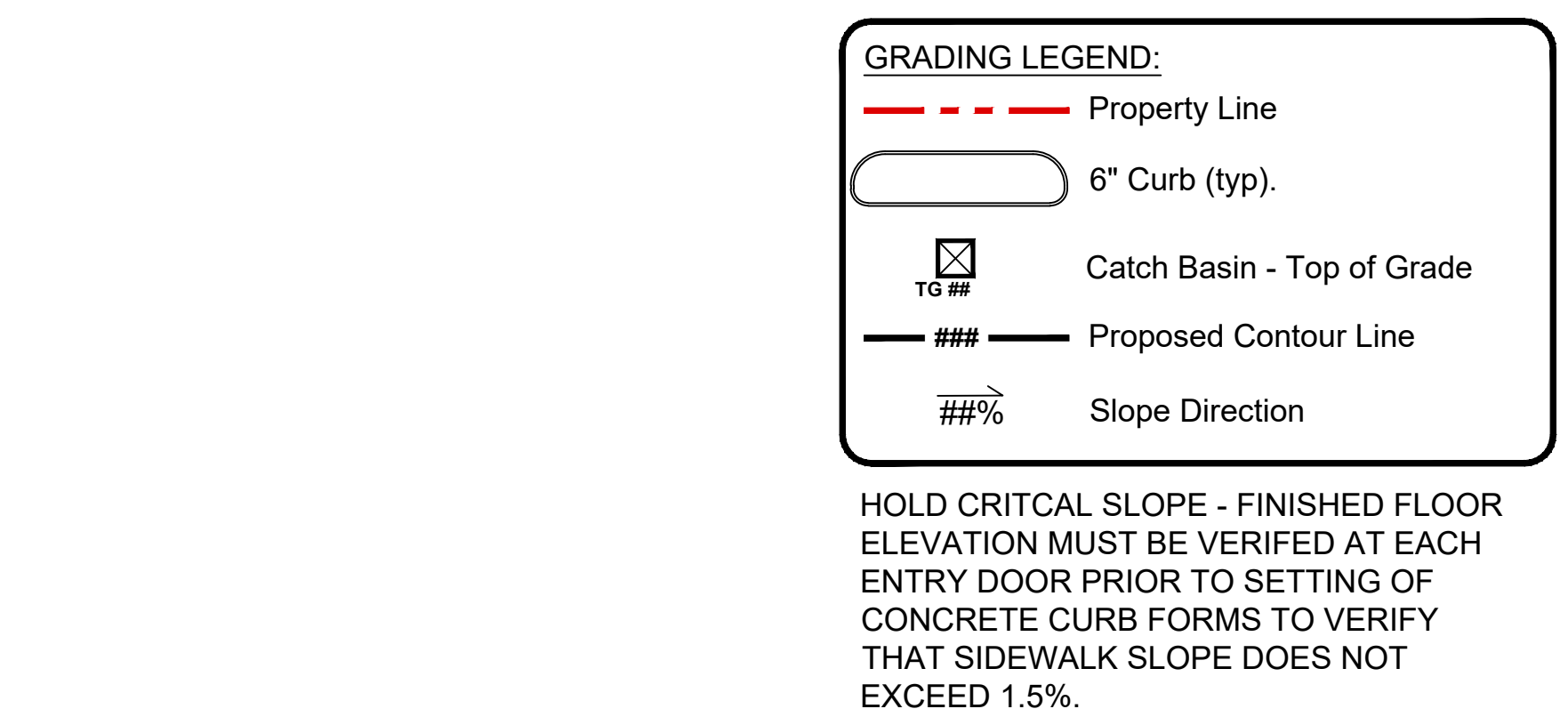
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 11.08.2023

DRAWING NO.  
**C5.00**





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  - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILICURE WITHIN 24HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
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Hold Critical Slope - Finished Floor Elevation Must be Verified at Each Entry Door Prior to Setting of Concrete Curb Forms to Verify that Sidewalk Slope Does Not Exceed 1.5%.

DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
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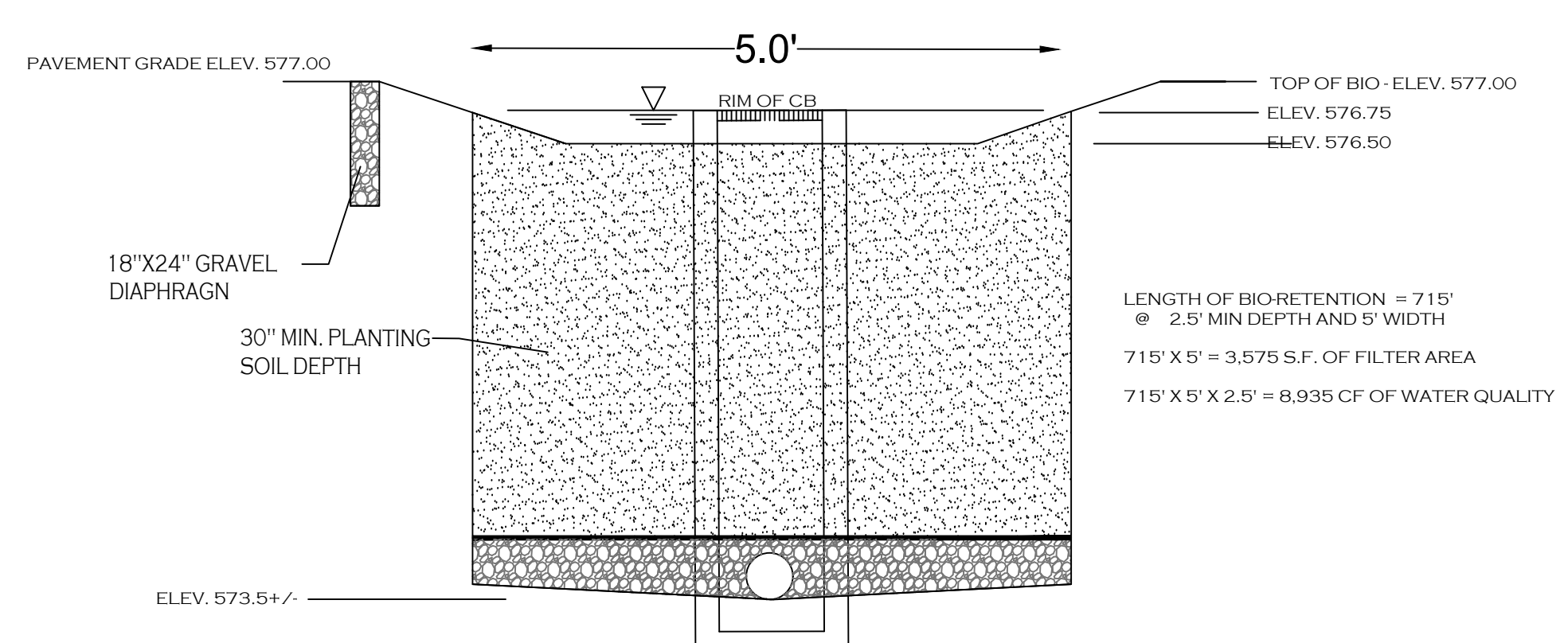
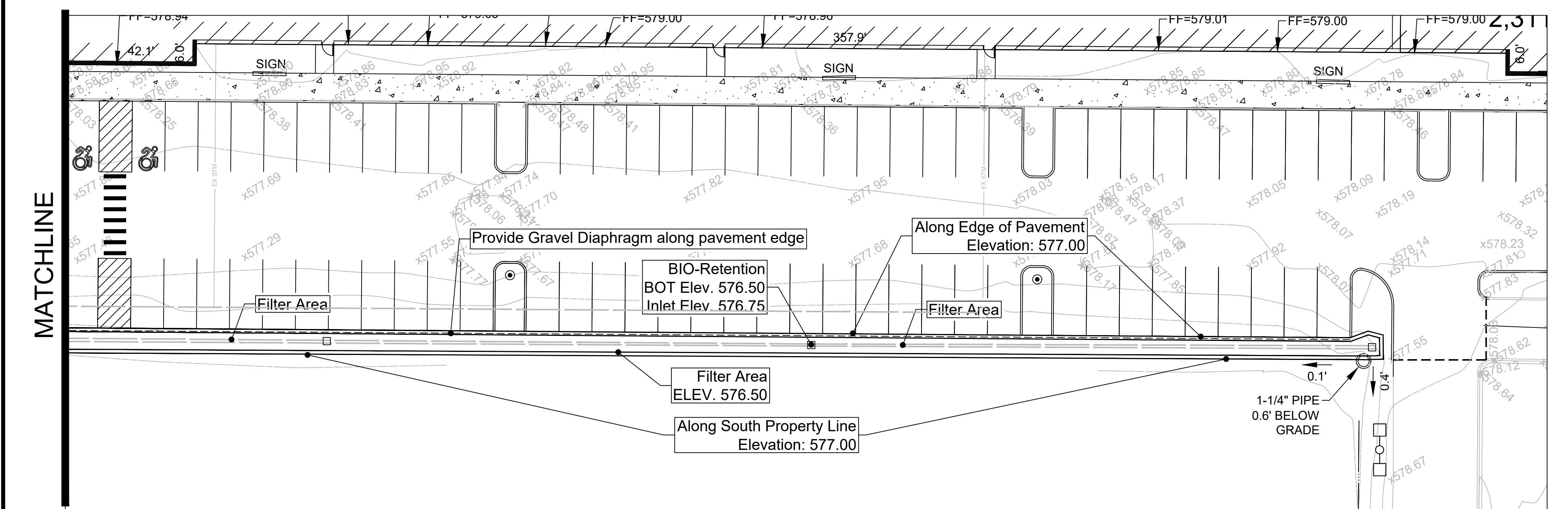
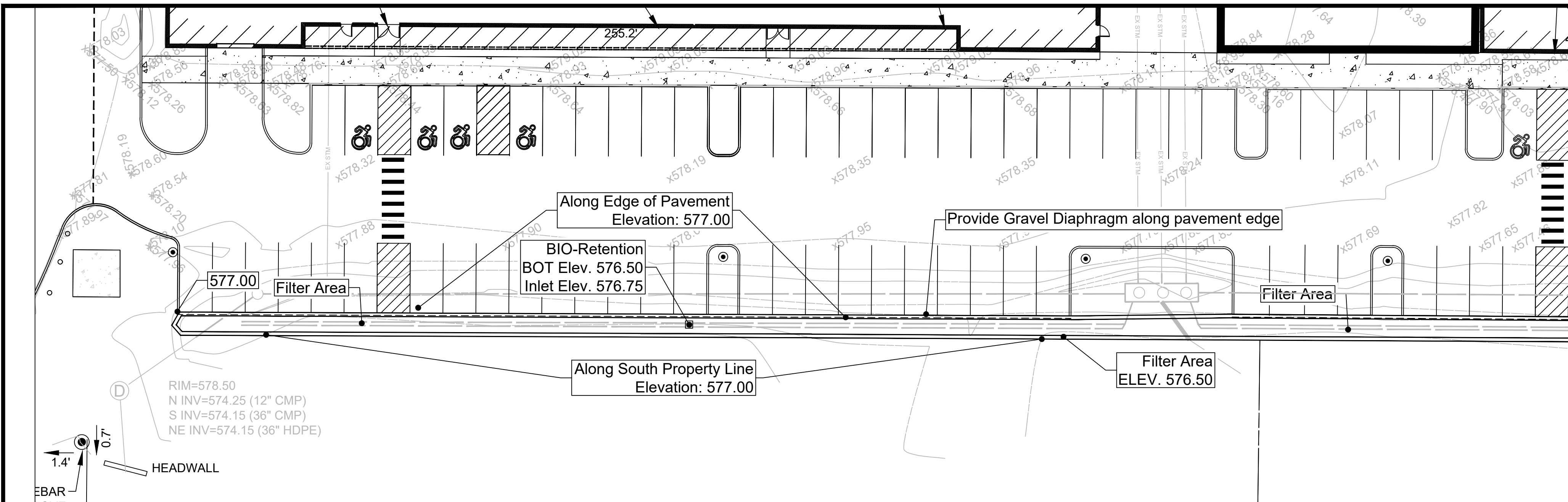


TITLE: **Grading Plan (East)**

SCALE: 1:30  
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 CHECKED BY: MAO  
 DATE: 11.08.2023

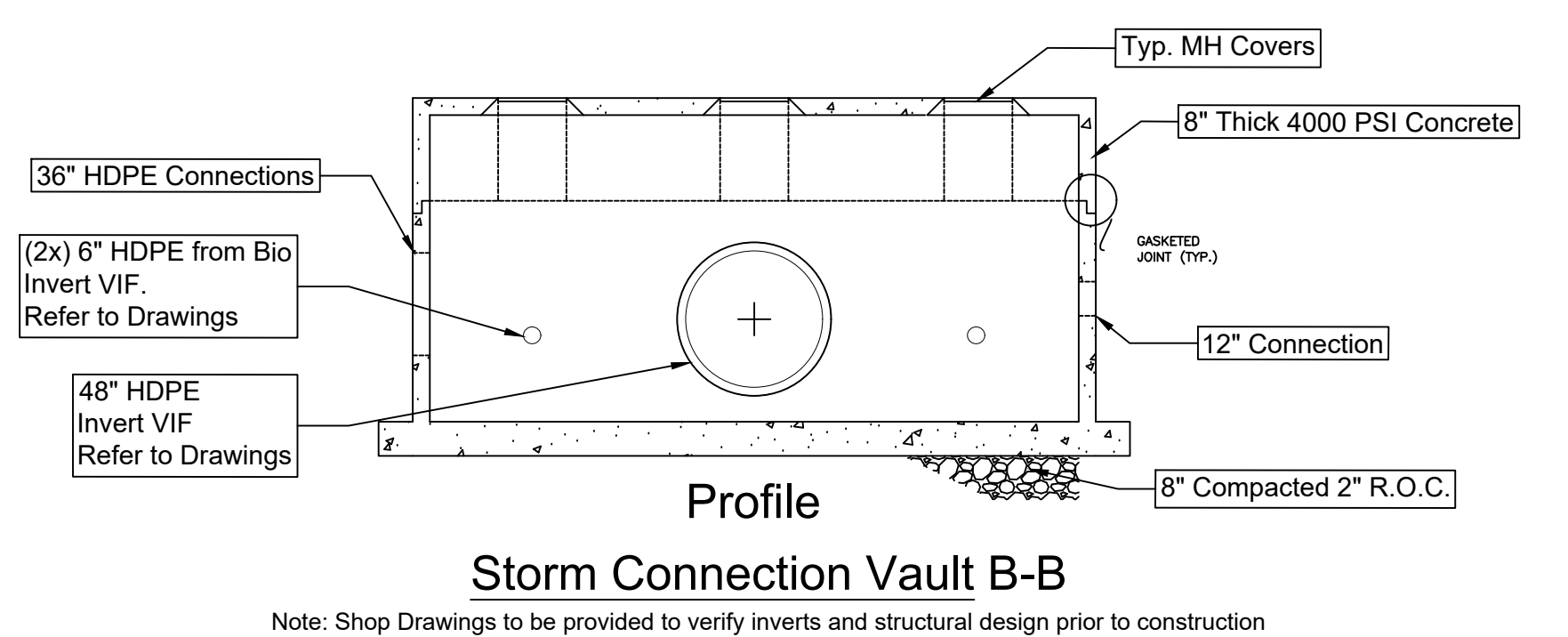
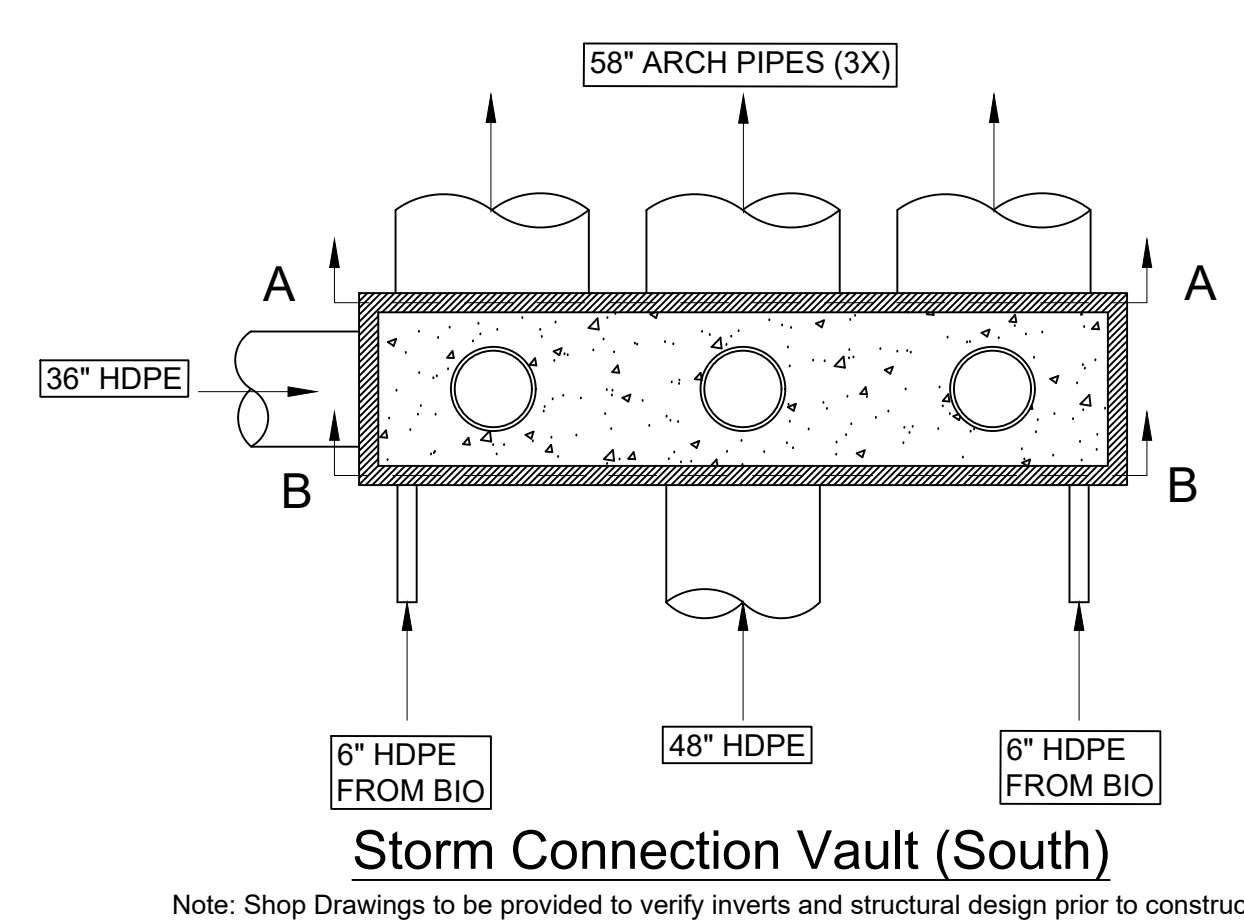
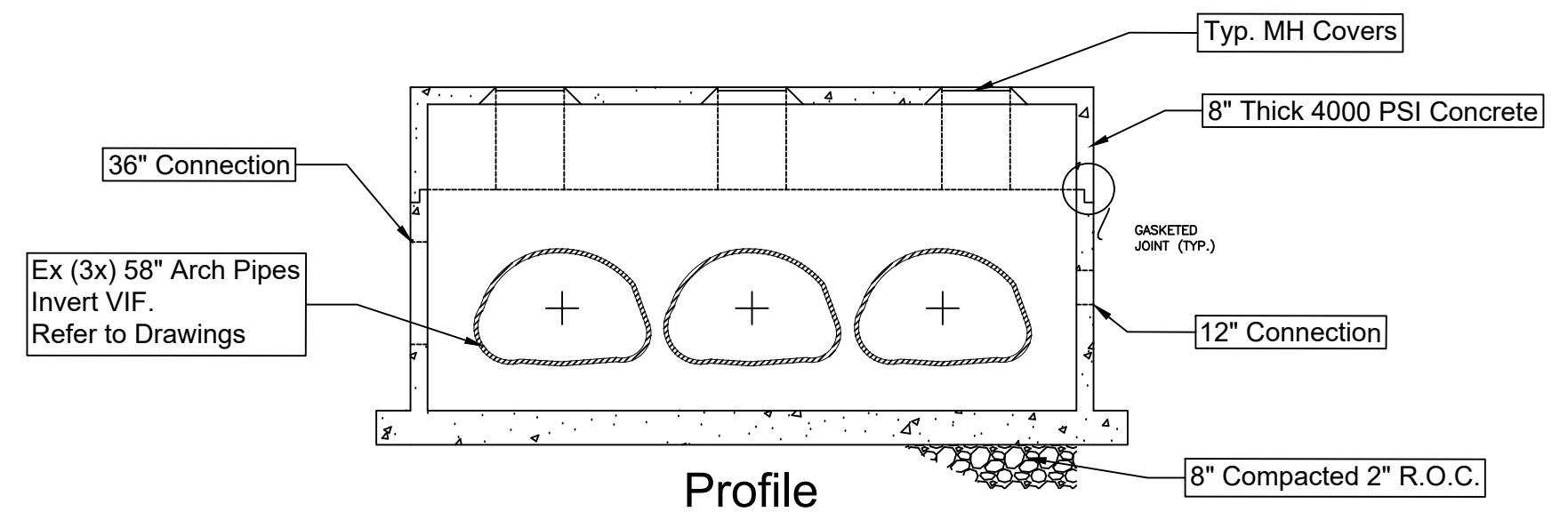
DRAWING NO. **C5.01**





BIO-RETENTION AREA - SITE CROSS-SECTION

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OFFICIAL TOWN USE ONLY

DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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PROPERTY NUMBER: #1723

AREA:

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6000 - 6040 North Bailey Ave  
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CONSULTANT

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ARCHITECT  
PREPARED FOR

**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL



TITLE:

**Grading Plan (Bio)**

SCALE:  
1" = 20'

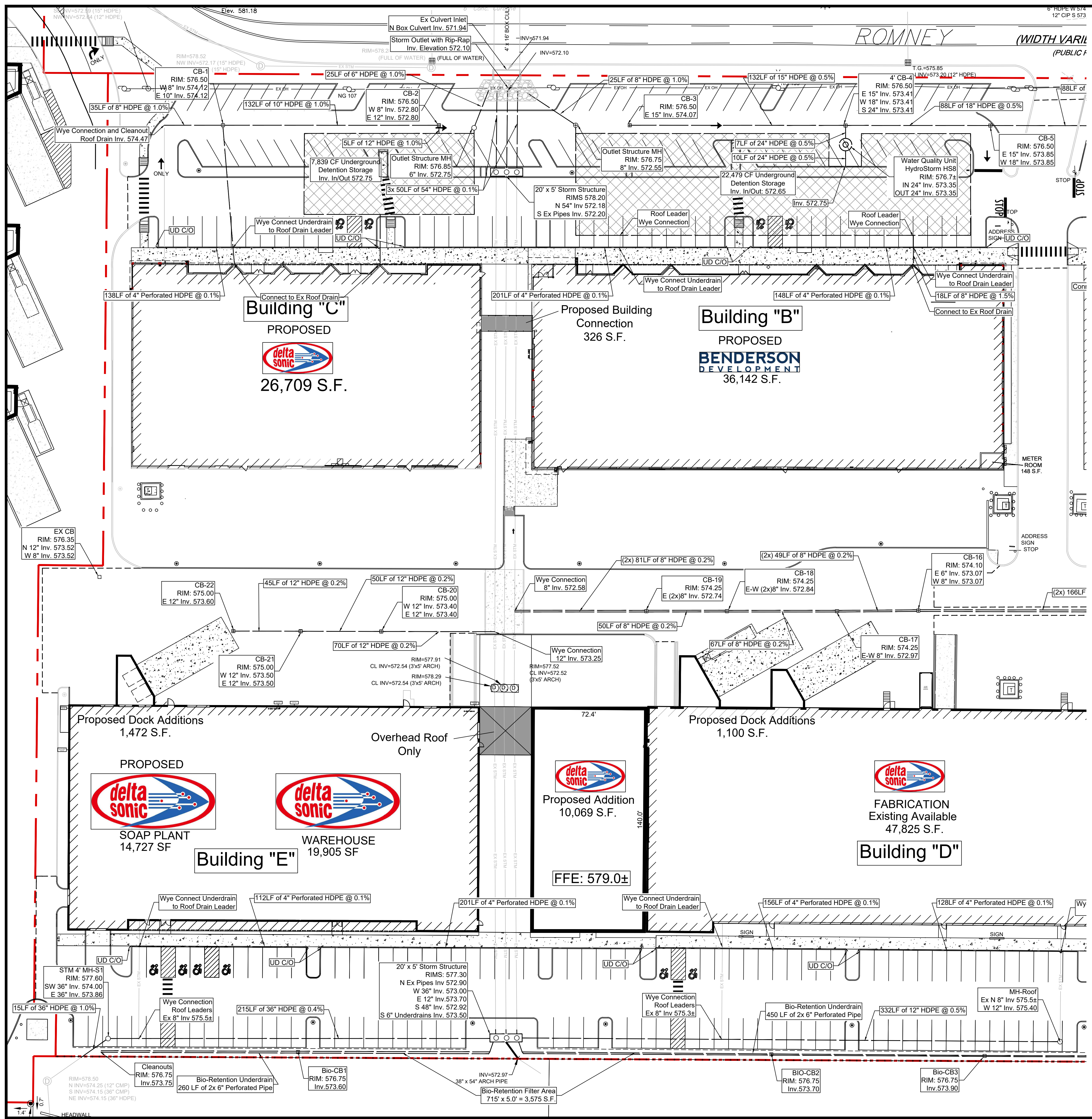
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DMZ

CHECKED BY:  
MAO

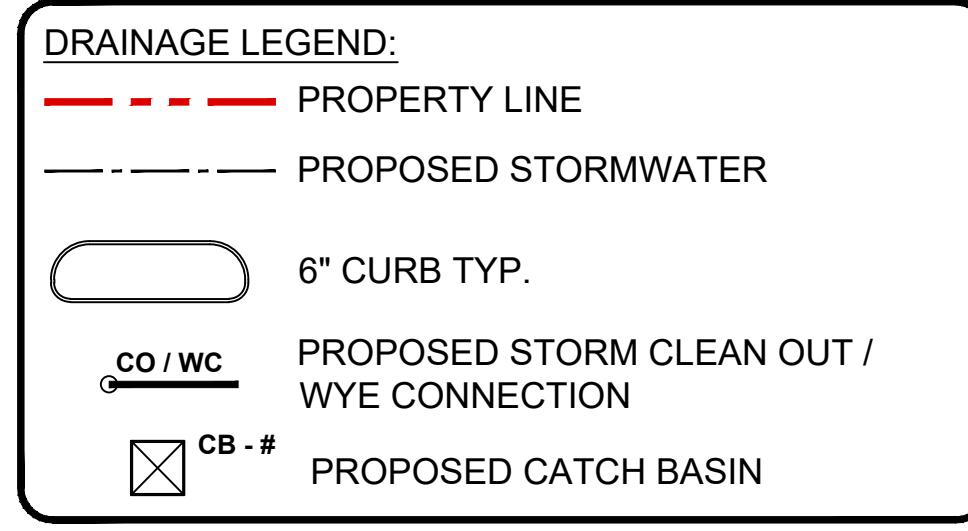
DATE:  
02.05.2025

DRAWING NO.  
**C5.02**





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  - SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
  - CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES)
  - GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCE WITHIN 24 HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
  - EXPOSED AGGREGATE STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SILENCE AS SOON AS CONCRETE HAS CURED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (1) COAT OF CHEMMASTERS - POLYUREAL EZ.
  - LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
  - CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.
  - CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT. REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE, A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTORS CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.



DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
2	05.08.2024	DZ	Site Plan Update
4	07.31.2024	DZ	Site Updates
5	08.12.2024	DZ	Site Updates
6	08.30.2024	DZ	Town Comments
7	12.03.2024	DZ	Town Comments
10	02.05.2025	DZ	Town Comments

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PROPERTY NUMBER: #1723 AREA: -

**811**  
 Know what's below.  
 Call before you dig.

**Amherst Development Park**  
 6000 - 6040 North Bailey Ave  
 Amherst, NY 14226

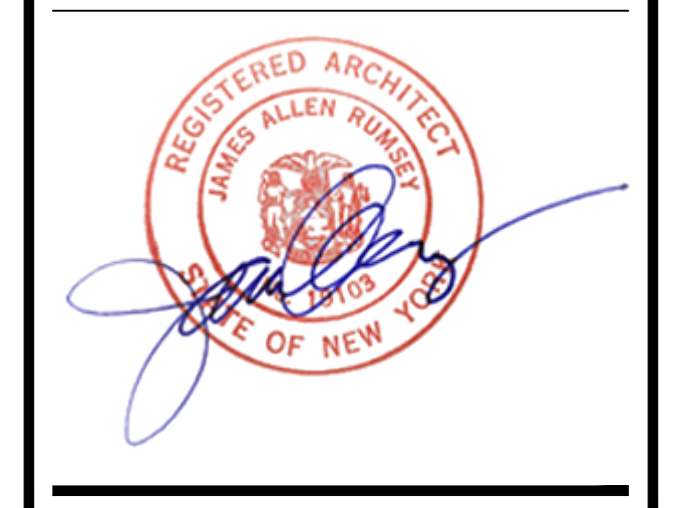
**PROPOSED SITE MODIFICATIONS**

CONSULTANT

**JAMES ALLEN RUMSEY**  
 ARCHITECT  
 PREPARED FOR

**BENDERSON DEVELOPMENT**  
 570 DELAWARE AVE., BUFFALO, NY 14202  
 (716) 886-0211

SEAL



OFFICIAL TOWN USE ONLY

TITLE: **Drainage Plan (West)**

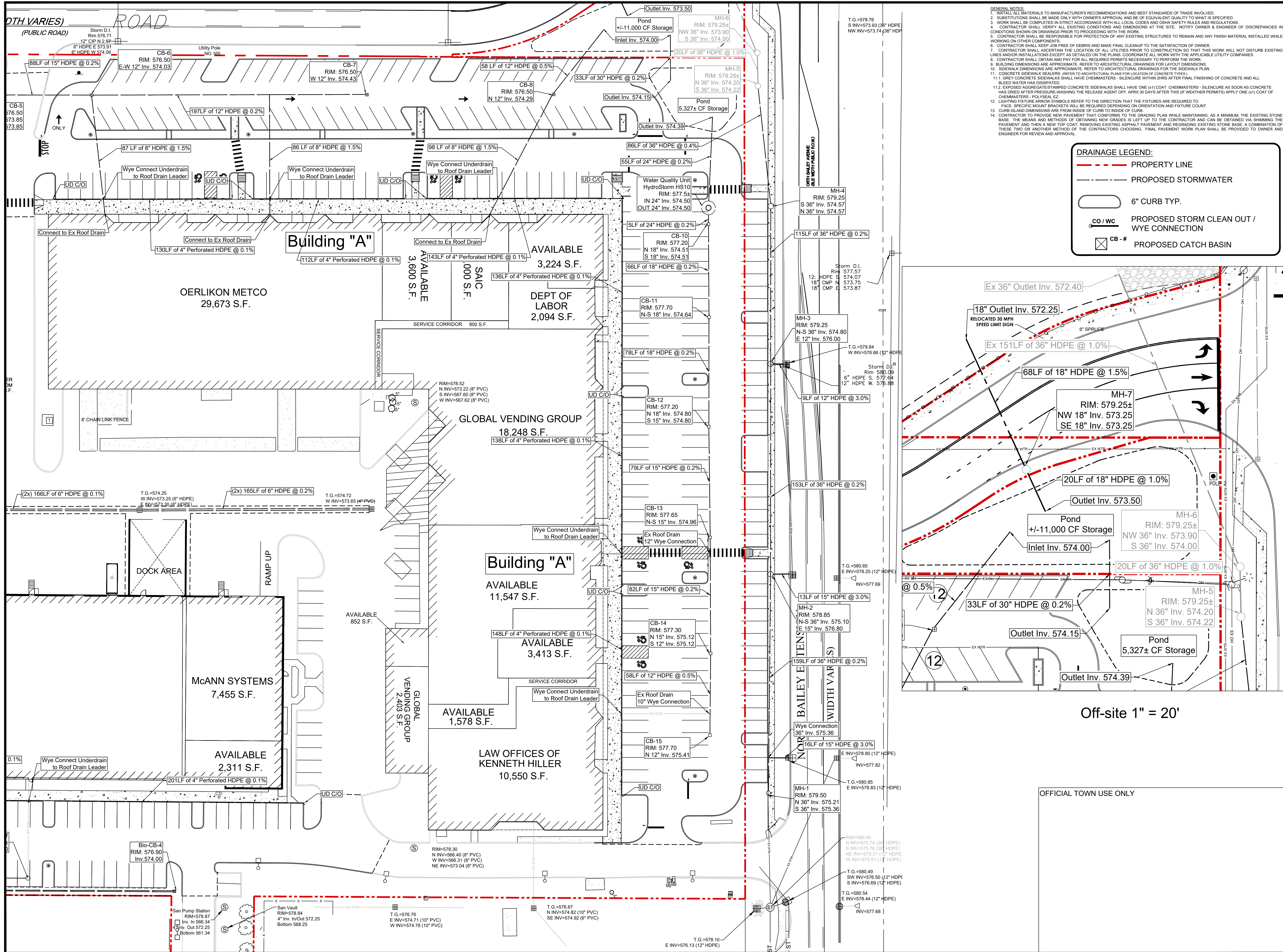
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DRAWN BY: DMZ DRAWING NO. C5.10

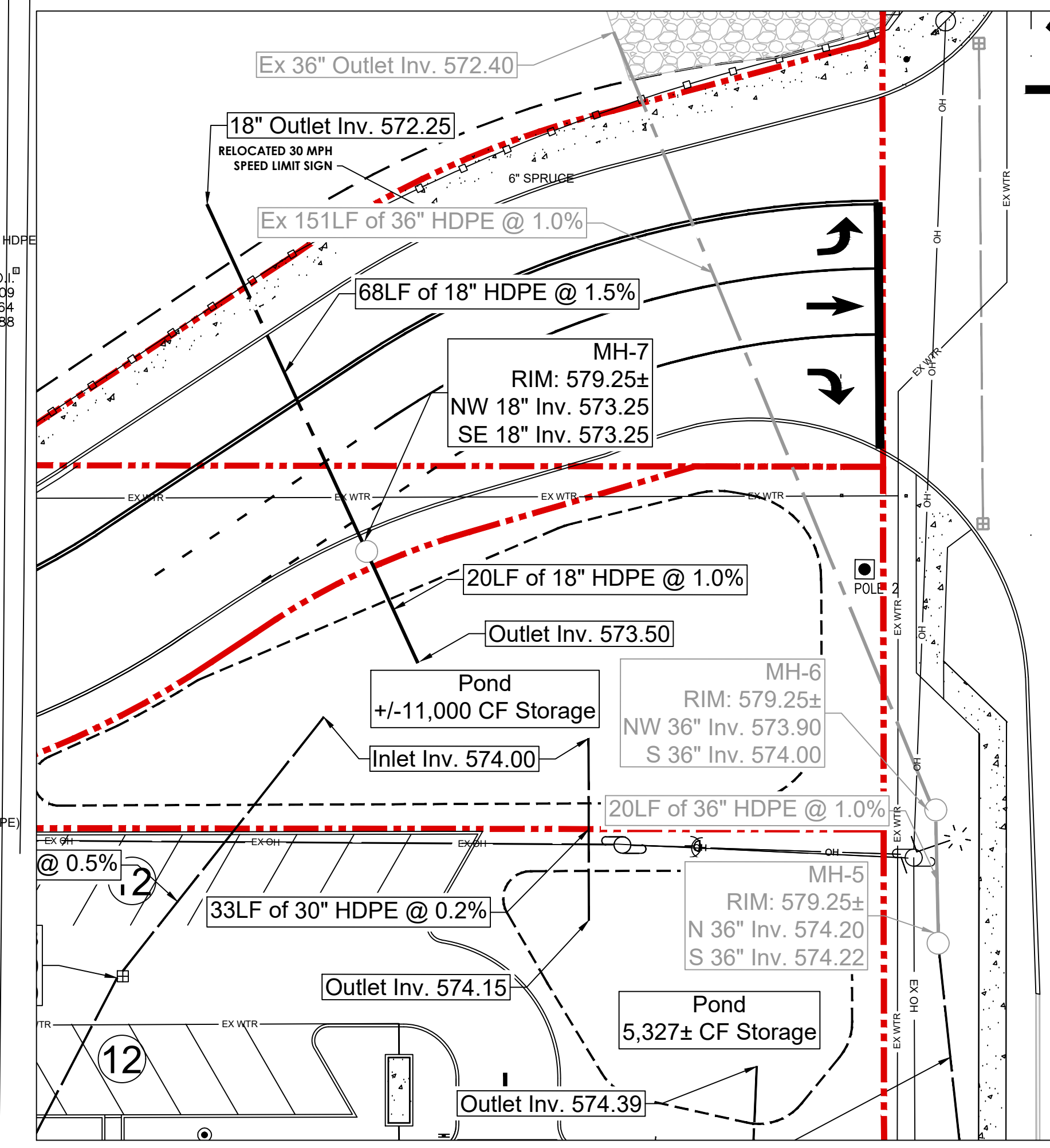
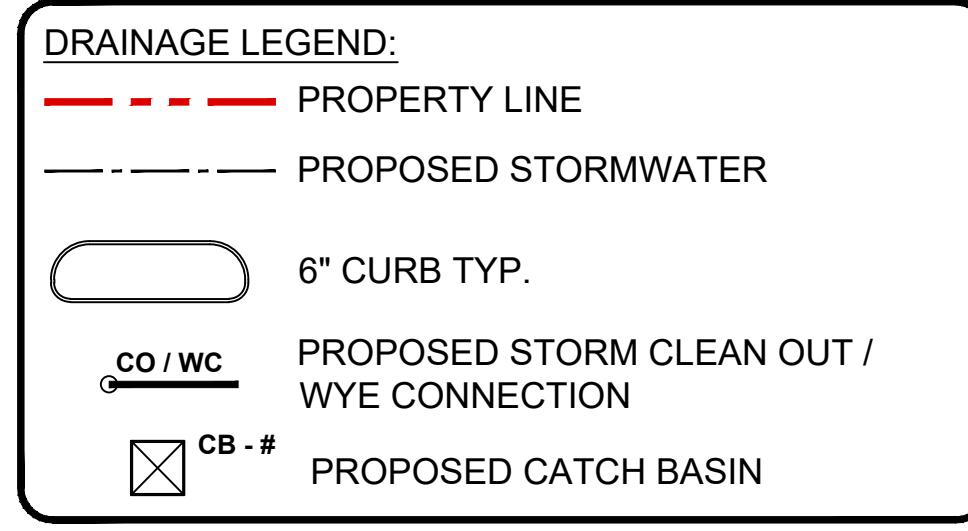
CHECKED BY: MAO

DATE: 11.08.2023





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Off-site 1" = 20'

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 Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

**JAMES ALLEN RUMSEY ARCHITECT**  
 PREPARED FOR  
**BENDERSON DEVELOPMENT**  
 570 DELAWARE AVE., BUFFALO, NY 14202  
 (716) 886-0211

SEAL

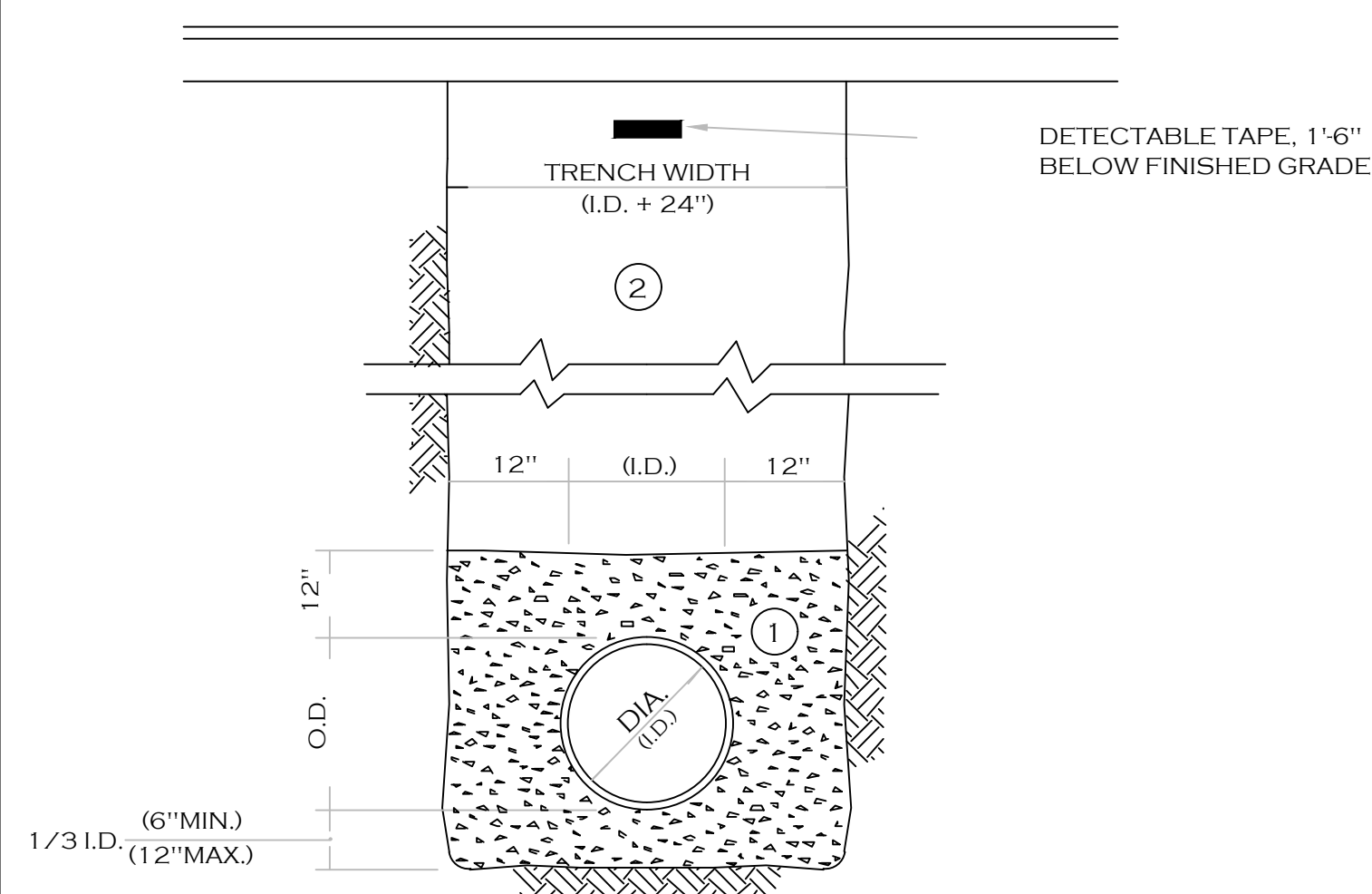
TITLE:  
**Drainage Plan (East)**

SCALE:  
 1:30

DRAWN BY: DMZ  
 CHECKED BY: MAO  
 DATE: 11.08.2023

DRAWING NO.  
**C5.11**





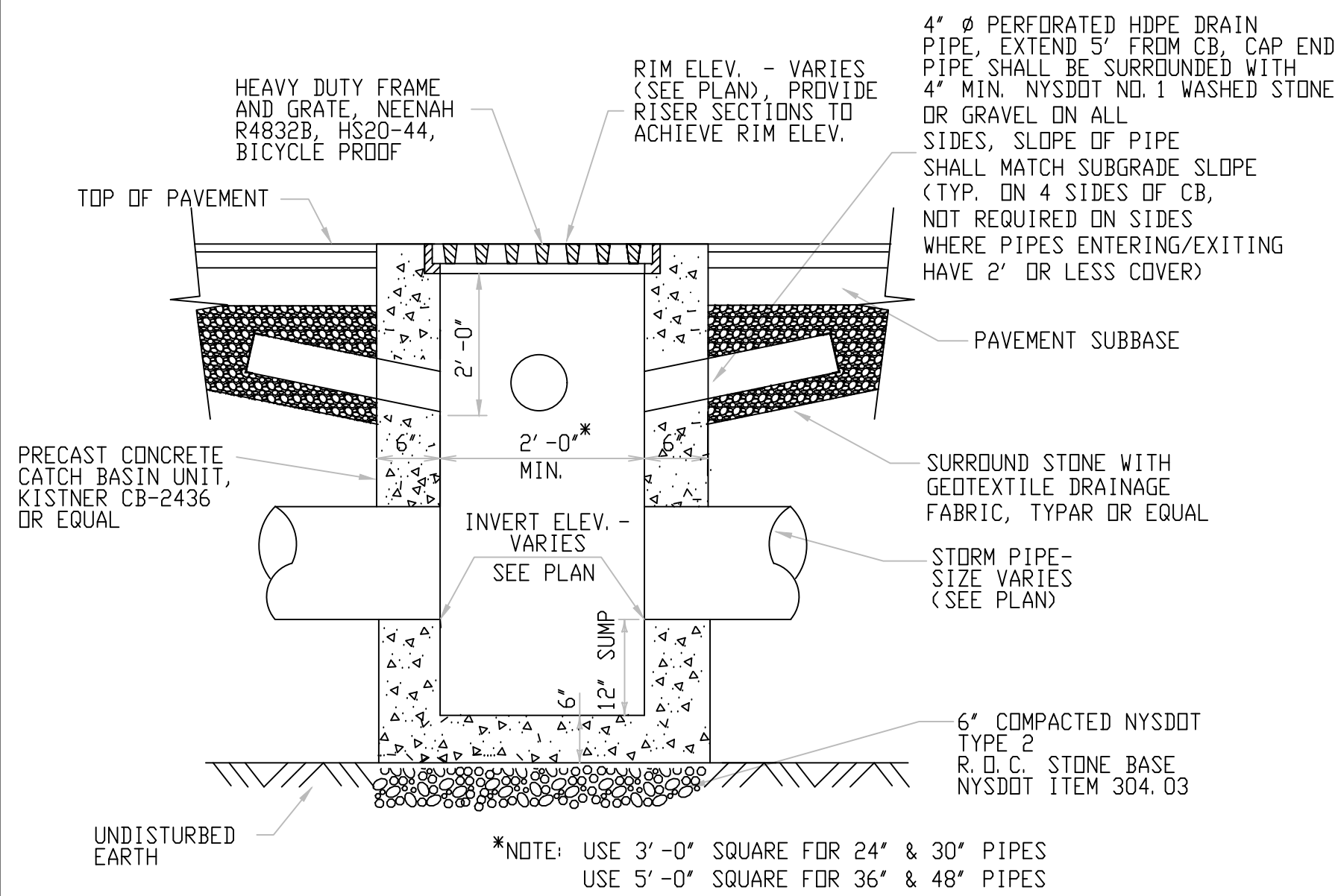
- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
  - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
  - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

**MATERIALS**

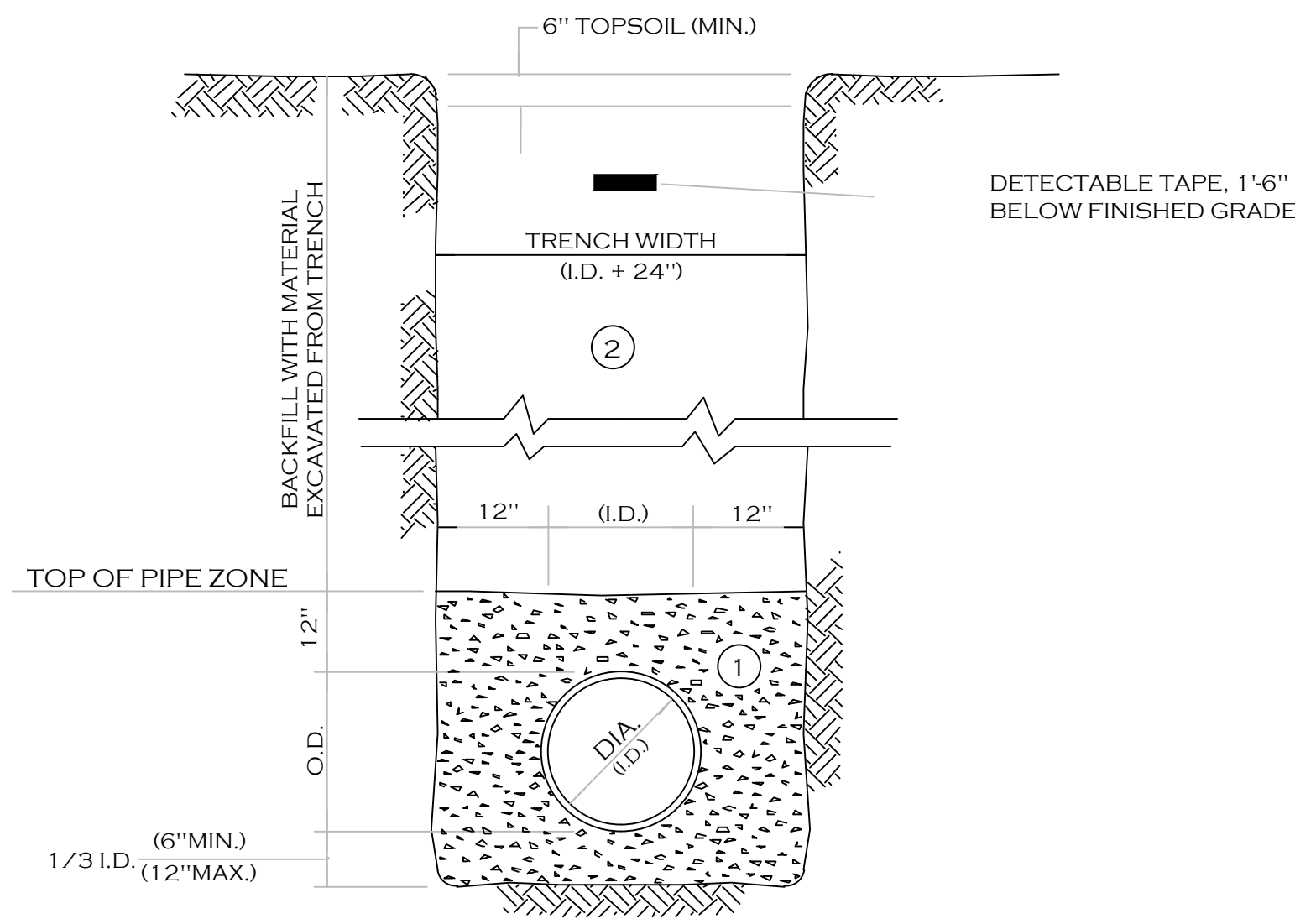
**PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)**

- NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 703-02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.  
NO SLAG SHALL BE ALLOWED FOR MATERIAL 1
- TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 304-2.02 TYPE 2. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.  
NO SLAG SHALL BE ALLOWED FOR MATERIAL 2

**TRENCH SECTION IN PAVED AREAS**



**TYPICAL PRECAST CATCH BASIN**



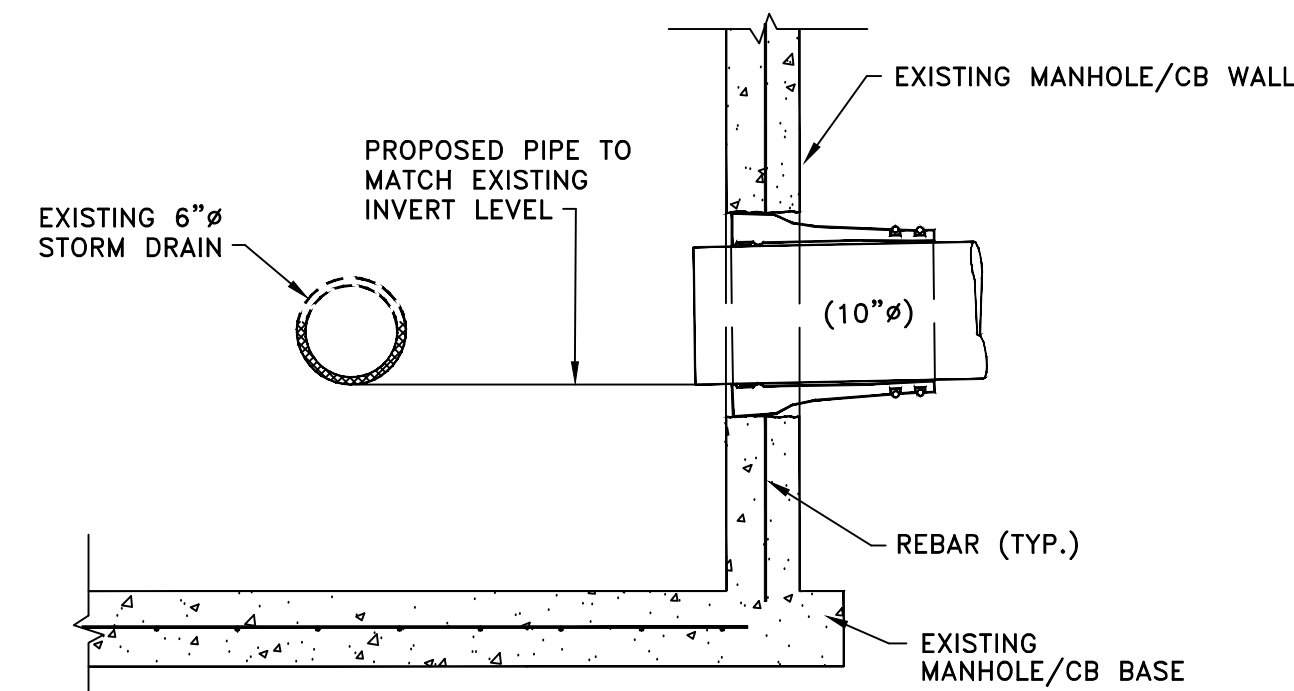
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**MATERIALS**

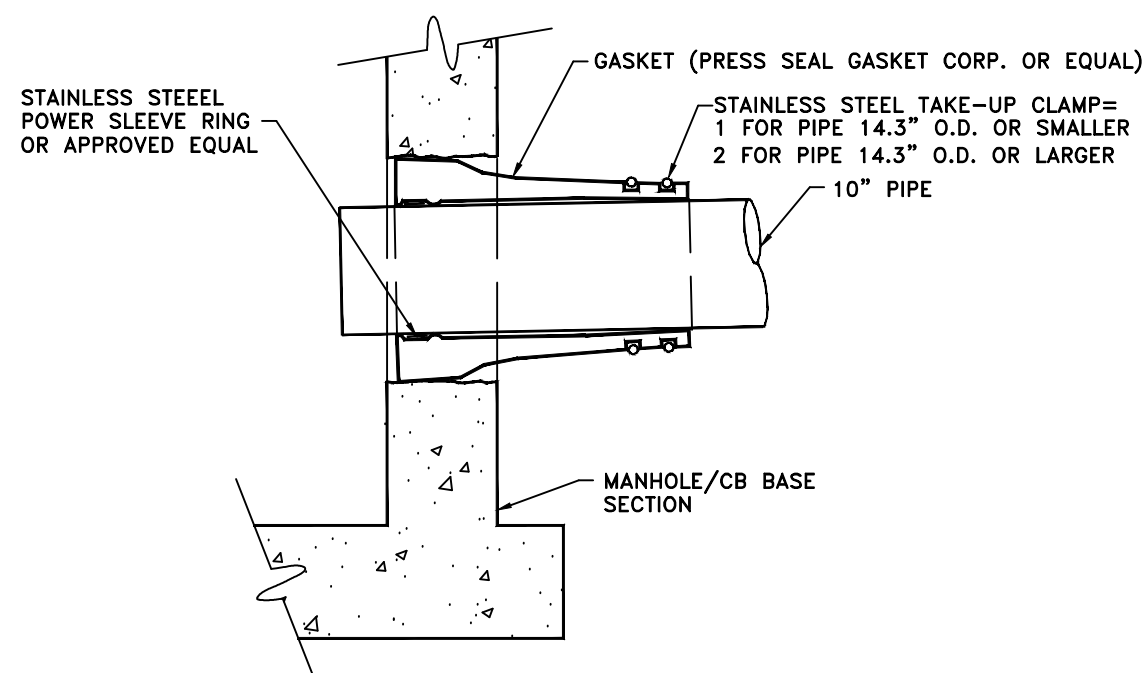
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NO SLAG SHALL BE ALLOWED FOR MATERIAL 1
- BACKFILL MATERIAL SHALL BE NATIVE SOIL CONTAINING NO UNSUITABLE MATERIAL COMPACTED IN 6" LIFTS.

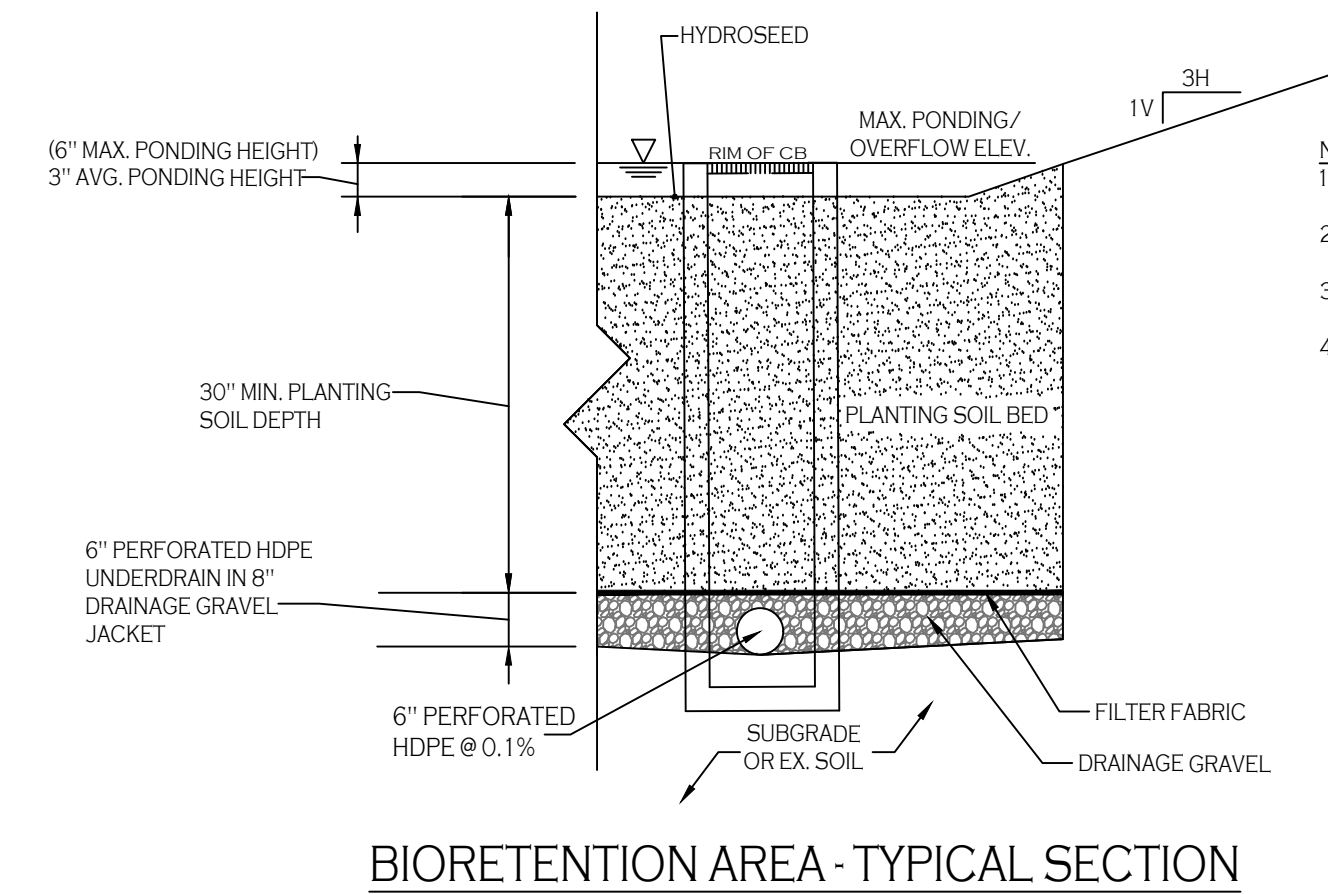
**TRENCH SECTION IN UNPAVED AREAS**



- NOTES:
- CORE DRILL ENTRANCE HOLE IN PRECAST MANHOLE BARREL, BASE AND/OR BENCH FOR REQUIRED PIPE CLEARANCE. PER MANUFACTURERS RECOMMENDATIONS.
  - DOES NOT APPLY TO HOUSE LATERALS.
  - WATERTIGHT PIPE TO MANHOLE BOOT SEAL REQUIRED FOR ALL CORE DRILLED ENTRANCE HOLES IN MANHOLE BARREL AS SHOWN BELOW.



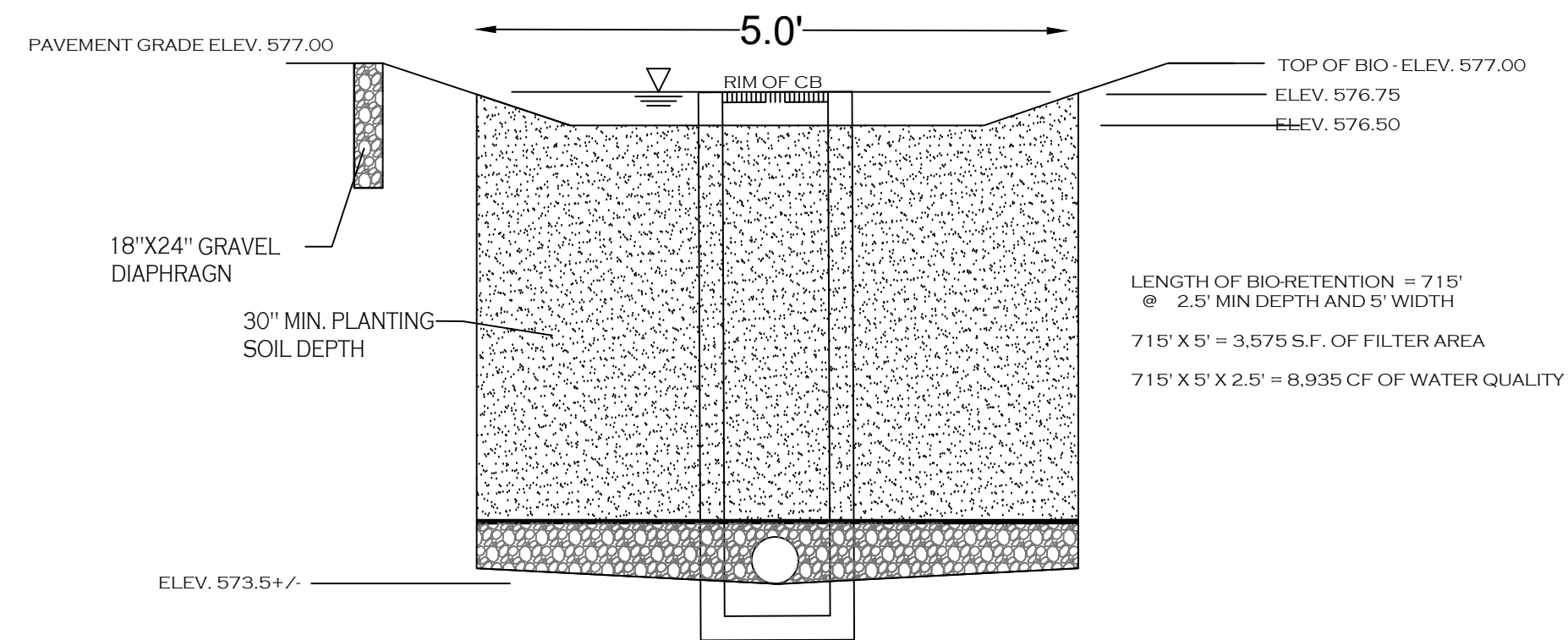
**CONNECTION TO EXISTING MANHOLE/CB**



**BIORETENTION AREA - TYPICAL SECTION**

**BIORETENTION AREA SEEDING SPEC (NORTHEAST WETLAND GRASS SEED MIX):**

SEED MIXTURE	VARIETY	PERCENT BY NO. OF SEEDS
CREEPING BENTGRASS	AGROSTIS STOLONIFERA	63.0
ROUGH BLUEGRASS	POA TRIVIALIS	17.0
MEADOW FXTAIL	ALOPECURUS ARUNDINACEUS	11.0
ANNUAL RYEGRASS	LOLIUM MULTIFLORUM	4.5
DEERTONGUE	PANICUM CLANDESTINUM	4.5



**BIORETENTION AREA - SITE CROSS-SECTION**

DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
10	02.05.2025	DZ	Town Comments

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PROPERTY NUMBER: #1723  
AREA: -

**Amherst Development Park**  
6000 - 6040 North Bailey Ave  
Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY ARCHITECT PREPARED FOR  
**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL



TITLE:  
**Drainage Details**

SCALE: NTS  
DRAWN BY: DMZ  
CHECKED BY: MAO  
DATE: 08.16.2023

DRAWING NO.: **C5.20**

OFFICIAL TOWN USE ONLY



**CULTEC RECHARGER® 150XLHD STORMWATER CHAMBER**

The Recharger® 150XLHD is an 18.5" (470 mm) tall, lower profile chamber and is typically used for installations with depth restrictions or when a larger infiltrative area is required. The Recharger® 150XLHD has the side portal internal manifold feature. HVLV® FC-24 Feed Connectors are inserted into the side portals to create the internal manifold.

Size (L x W x H)	11' x 33" x 18.5"
Installed Length	3.35 m x 838 mm x 470 mm
Length Adjustment per Run	10.25'
	3.12 m
Chamber Storage	2.65 ft³/ft
	0.25 m³/m
	27.16 ft³/unit
	0.77 m³/unit
Min. Installed Storage	4.89 ft³/ft
	0.45 m³/m
	50.17 ft³/unit
	1.42 m³/unit
Min. Area Required	33.31 ft²
	3.09 m²
Chamber Weight	51.0 lbs
	23.13 kg
Shipping	34 chambers/skid
	1,860 lbs/skid
	12 skids/48' flatbed
Min. Center-to-Center Spacing	3.25'
	0.99 m
Max. Allowable Cover	12'
	3.66 m
Max. Inlet Opening in End Wall	12" HDPE, 15" PVC
	300 mm HDPE, 375 mm PVC
Max. Allowable O.D. in Side Portal	10" HDPE, 10" PVC
	250 mm HDPE, 250 mm PVC
Compatible Feed Connector	HVLV FC-24 Feed Connector



**Recharger® 150XLHD Bare Chamber Storage Volumes**

Elevation	Incremental Storage Volume	Cumulative Storage
In. mm	ft³/m³	ft³ m³
18.5 470	0.006 0.001	0.062 0.002
18 457	0.010 0.001	0.103 0.003
17 432	0.032 0.003	0.328 0.009
16 406	0.077 0.007	0.789 0.022
15 381	0.102 0.009	1.046 0.030
14 356	0.119 0.009	1.320 0.035
13 330	0.134 0.011	1.374 0.039
12 305	0.146 0.012	1.497 0.042
11 279	0.156 0.014	1.599 0.045
10 254	0.165 0.015	1.691 0.048
9 229	0.172 0.016	1.763 0.050
8 203	0.179 0.017	1.835 0.052
7 178	0.184 0.017	1.886 0.053
6 152	0.188 0.017	1.927 0.055
5 127	0.191 0.018	1.958 0.055
4 102	0.193 0.018	1.978 0.056
3 76	0.195 0.018	1.999 0.057
2 51	0.197 0.018	2.019 0.057
1 25	0.207 0.019	2.122 0.060
<b>Total</b>	<b>3.650</b>	<b>27.193</b>

Calculations are based on installed chamber length.

Stone Foundation Depth	6"	12"	18"
	152 mm	305 mm	457 mm
Chamber and Stone Storage Per Chamber	50.17 ft³	56.83 ft³	63.49 ft³
	1.42 m³	1.61 m³	1.80 m³
Min. Effective Depth	2.54'	3.04'	3.54'
	0.77 m	0.93 m	1.08 m
Stone Required Per Chamber	2.13 yd³	2.75 yd³	3.36 yd³
	1.63 m³	2.10 m³	2.57 m³

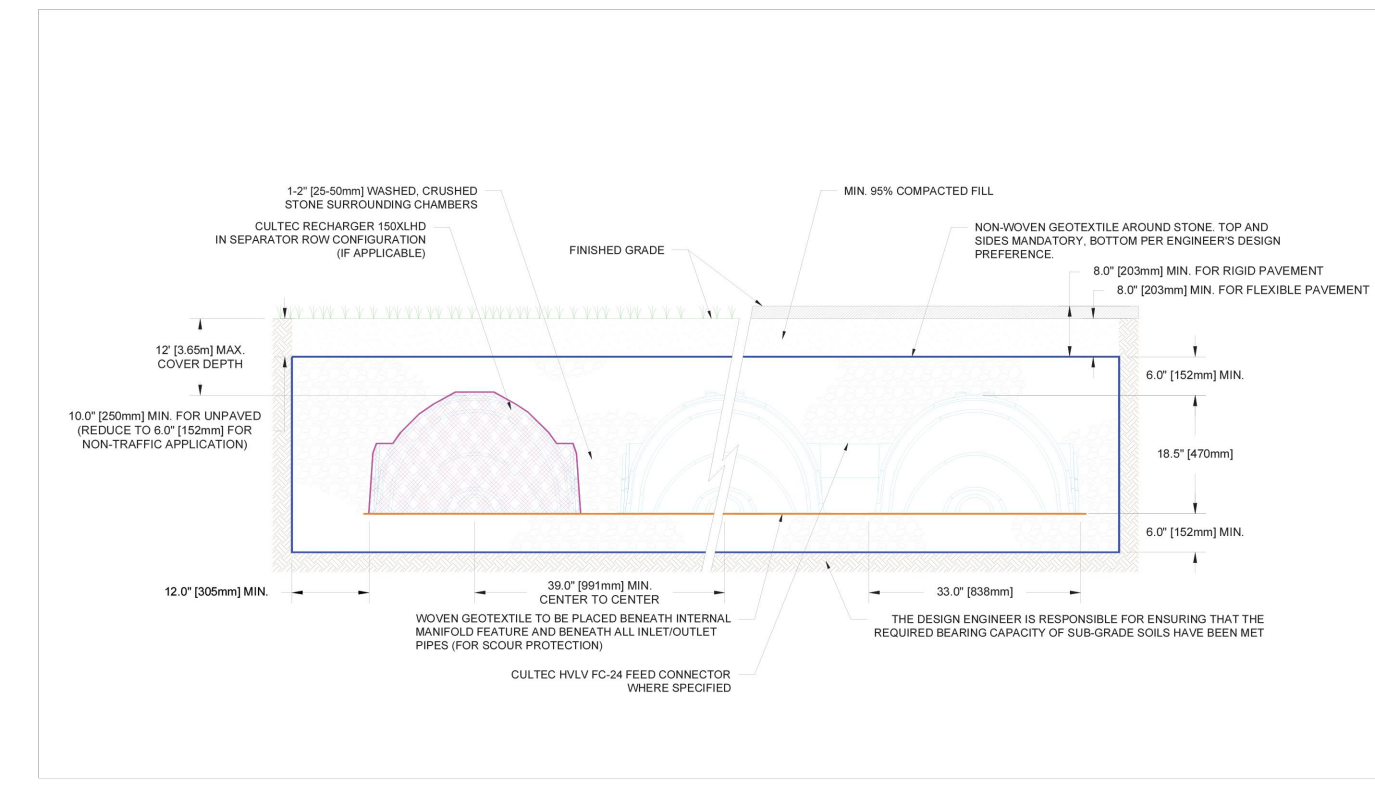
Calculations are based on installed chamber length. Includes 6" (152 mm) stone above crown of chamber and typical stone surround at 39" (991 mm) center-to-center spacing and stone foundation as listed in table. Stone void calculated at 40%.

For more information, contact CULTEC at (203) 775-4416 or visit [www.cultec.com](http://www.cultec.com).

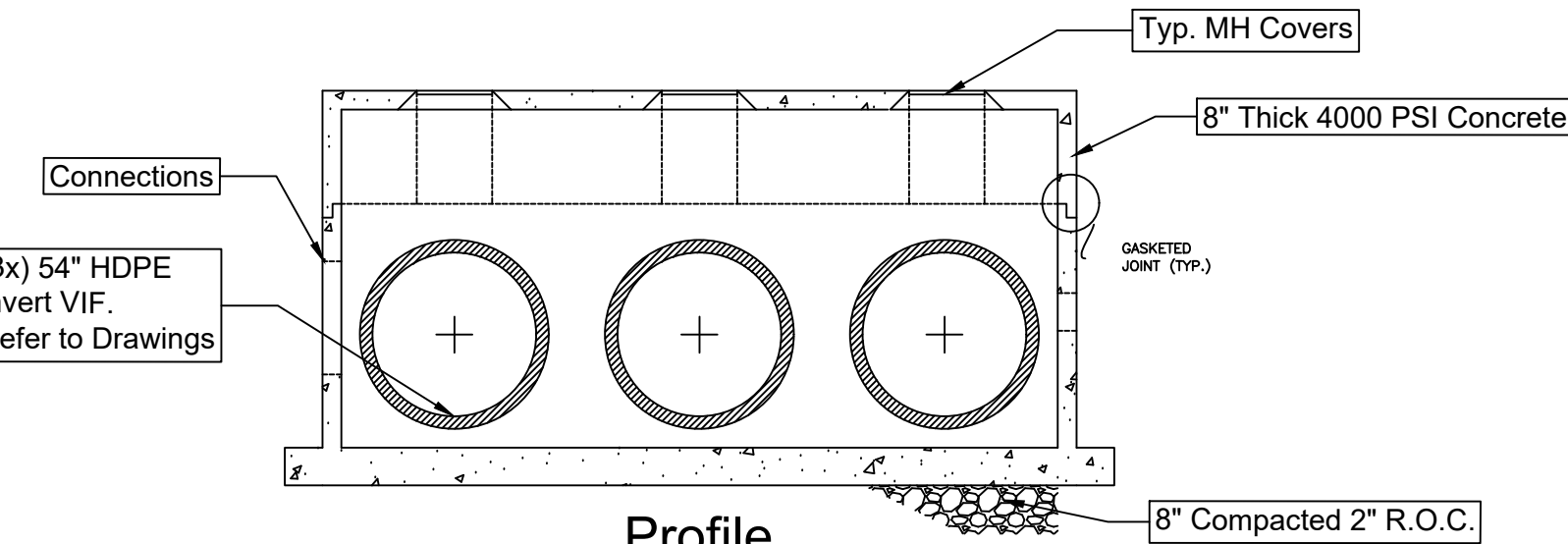
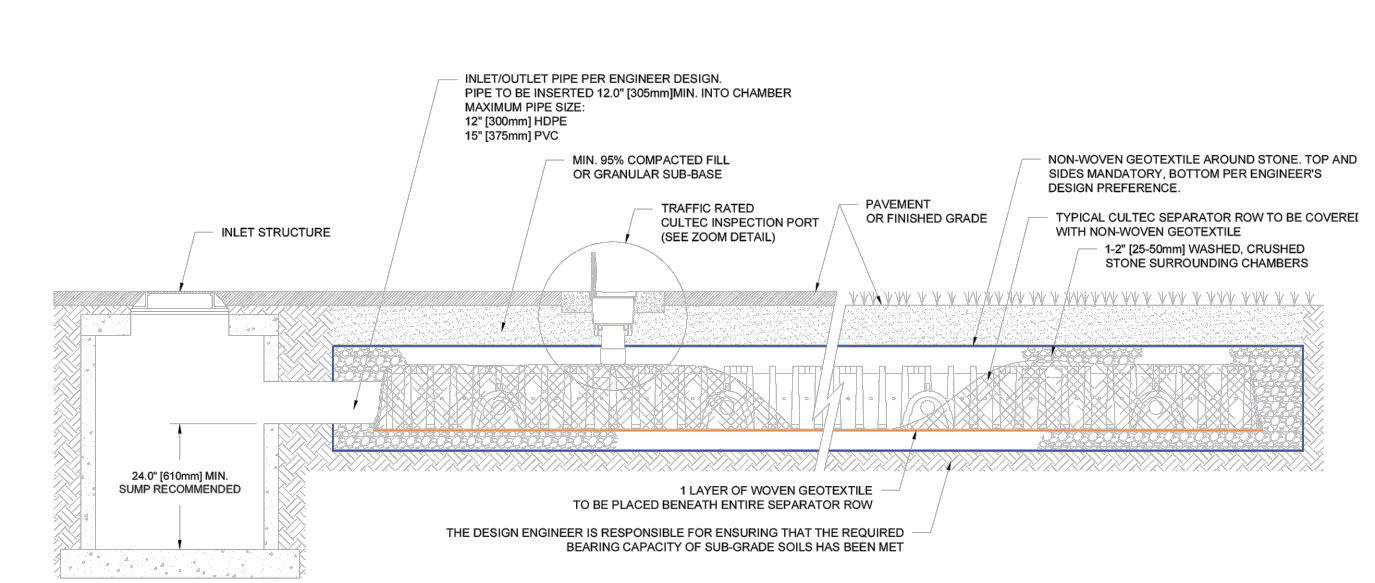
© CULTEC October 2024 SUB150XLHD 10-24

**CULTEC RECHARGER® 150XLHD STORMWATER CHAMBER**

**Typical Cross Section for Traffic Application**

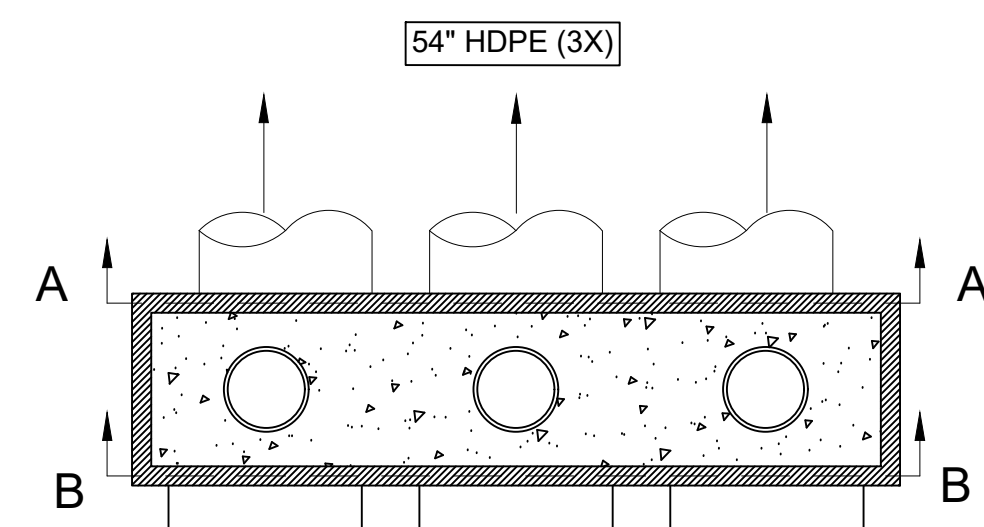


**Typical Profile View for Traffic Application**



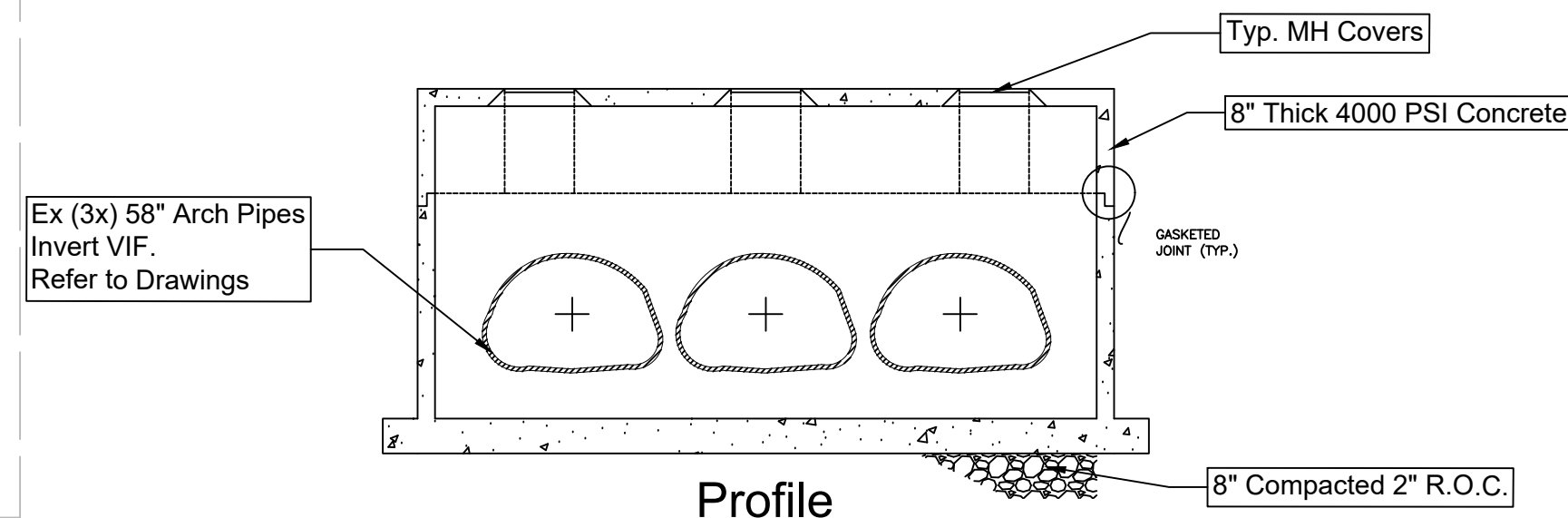
**Storm Connection Vault**

Note: Shop Drawings to be provided to verify inverts and structural design prior to construction



**Storm Connection Vault (North)**

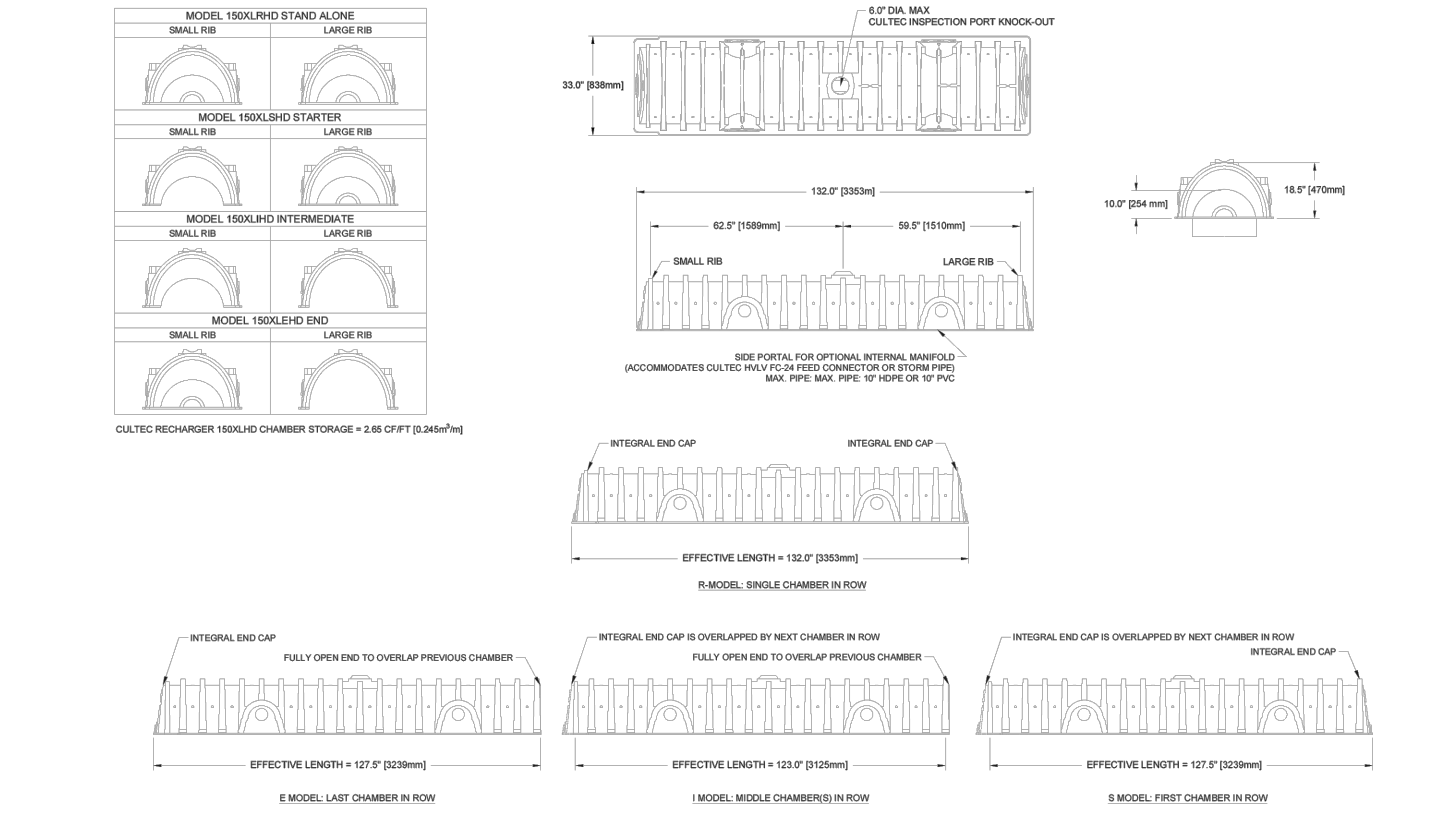
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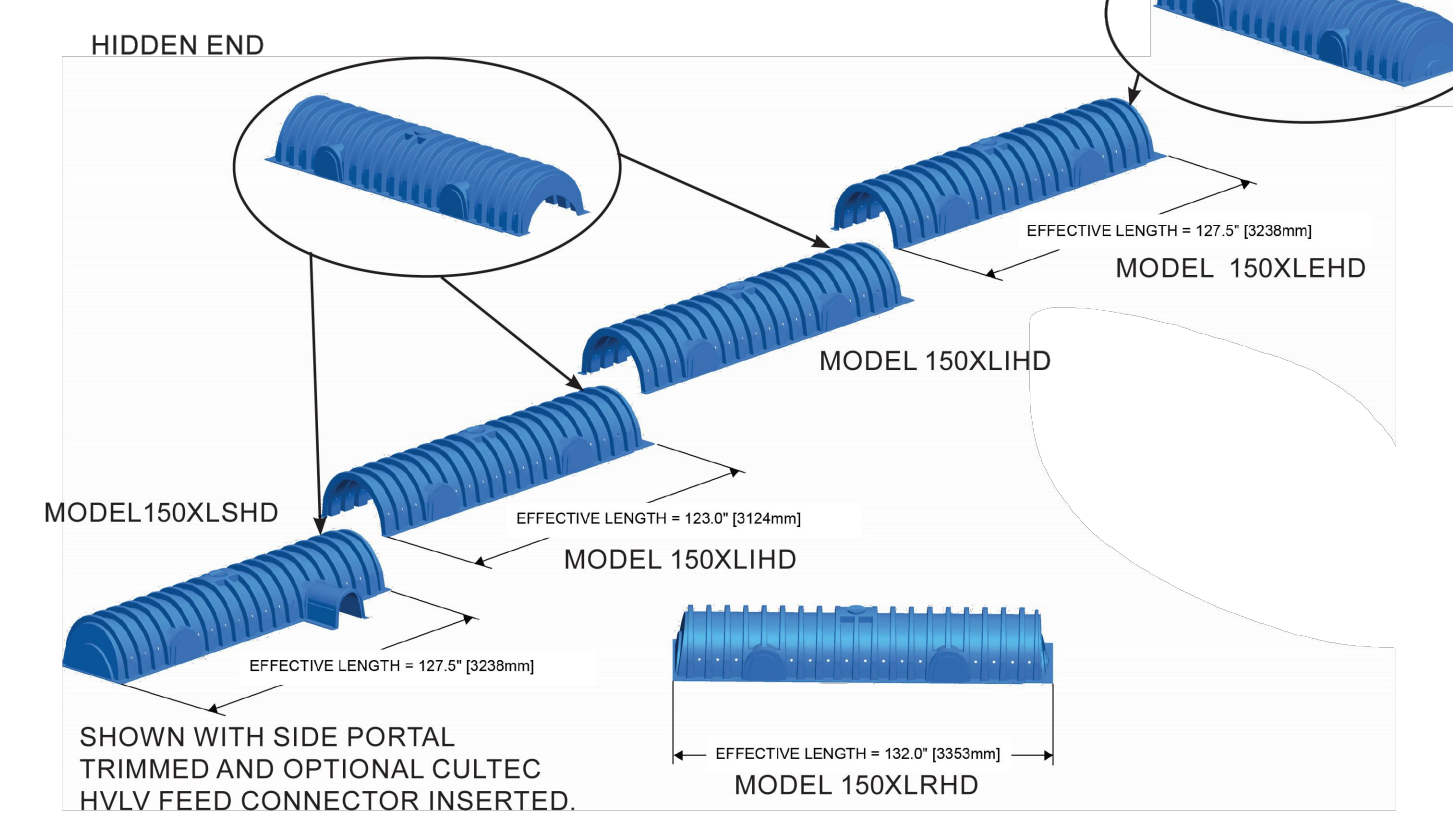
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**Three View Drawing**

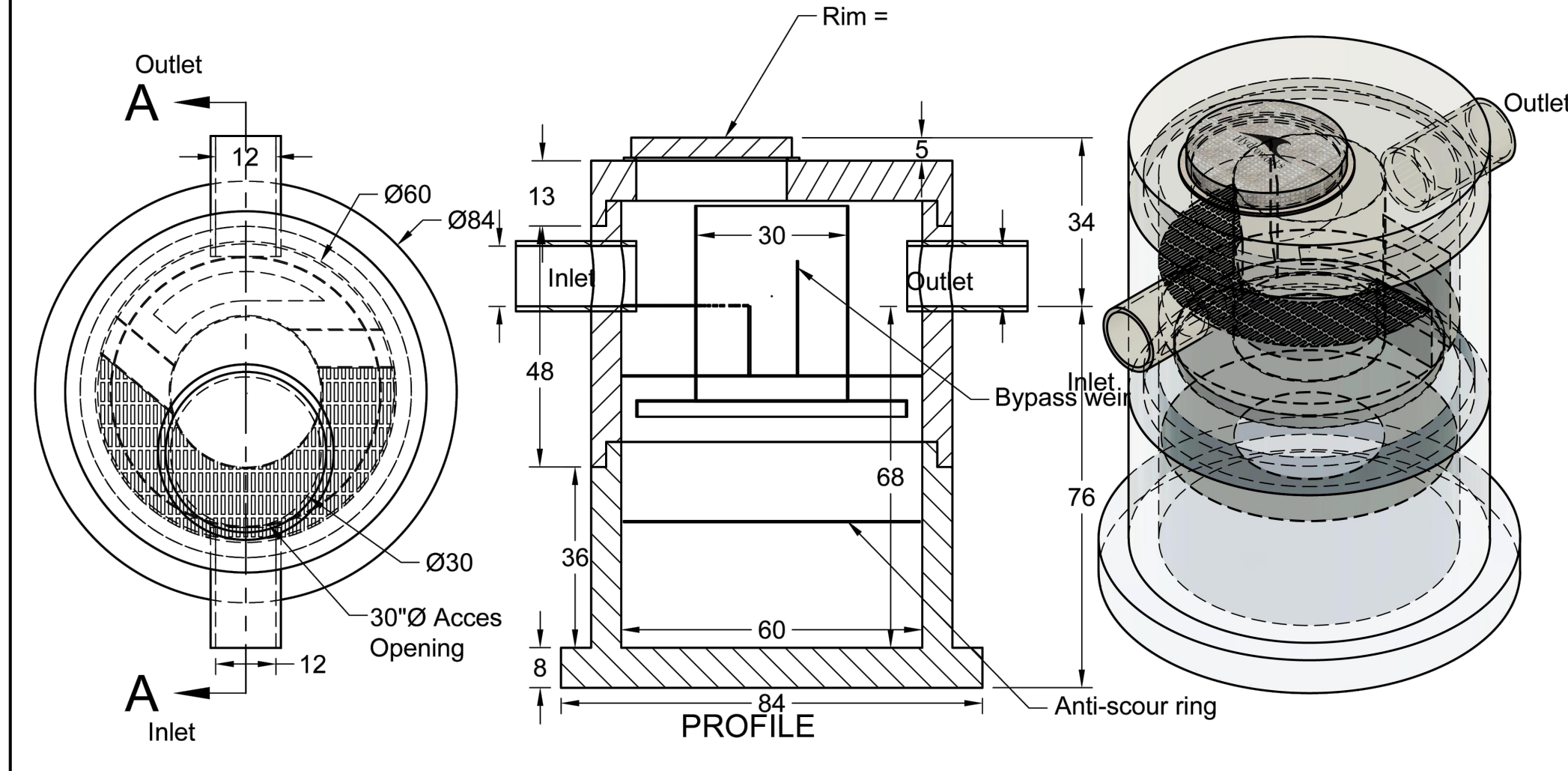


**Typical Interlock Installation**



For more information, contact CULTEC at (203) 775-4416 or visit [www.cultec.com](http://www.cultec.com).

© CULTEC October 2024 SUB150XLHD 10-24



HydroStorm  
Project  
Location Amherst, NY  
Date  
SCALE 1:30 REV 1.0

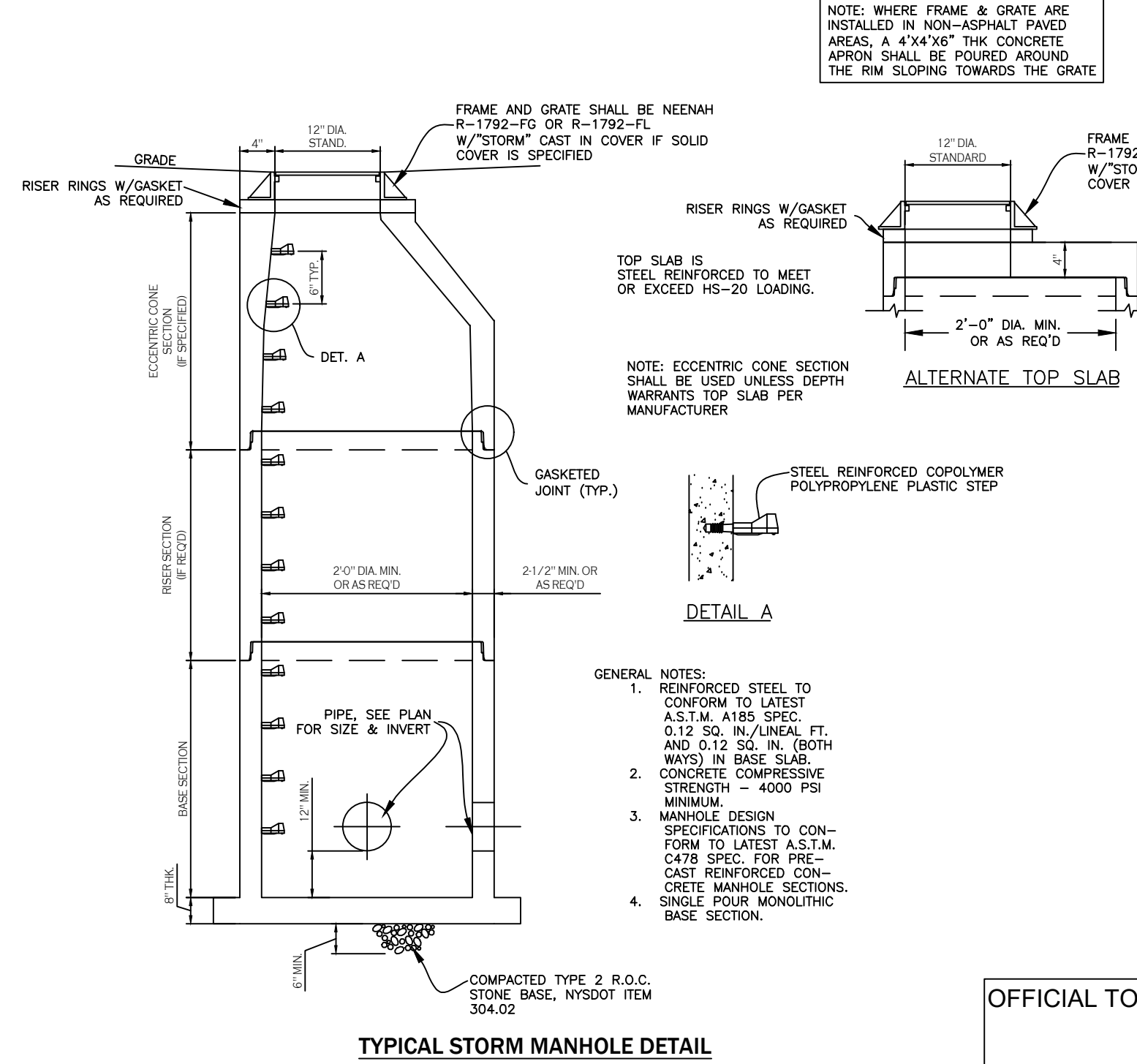
Contractor to Confirm Rim & Inverts  
\*Submit Shop drawings for Owner review and Approval

Independently tested & independently verified by NJCAT and ETV Canada  
US Patent # 10,801,196  
CDN Patent # 3,086,197

**Table 1. Hydroworks HS Separator Dimensions\***

Model	Structure Inside Diam. (SID) (ft)	Structure Depth (ft)*	Sediment/Sinking Trash Volume (ft³)	Oil/Floating Trash Volume (gal)	Permanent Pool Wet Volume (gal)
HS 4	4	4	30	95	375
HS 5	5	5	60	165	730
HS 6	6	6	110	270	1265
HS 7	7	6.5	160	410	1870
HS 8	8	7	220	615	2630
HS 10	10	9	465	1130	5285
HS 12	12	11	835	1875	9035

\*Dimensions vary with project requirements



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No.	DATE	BY	REMARKS
7	12.03.2024	DZ	Town Comments
10	02.05.2025	DZ	Town Comments

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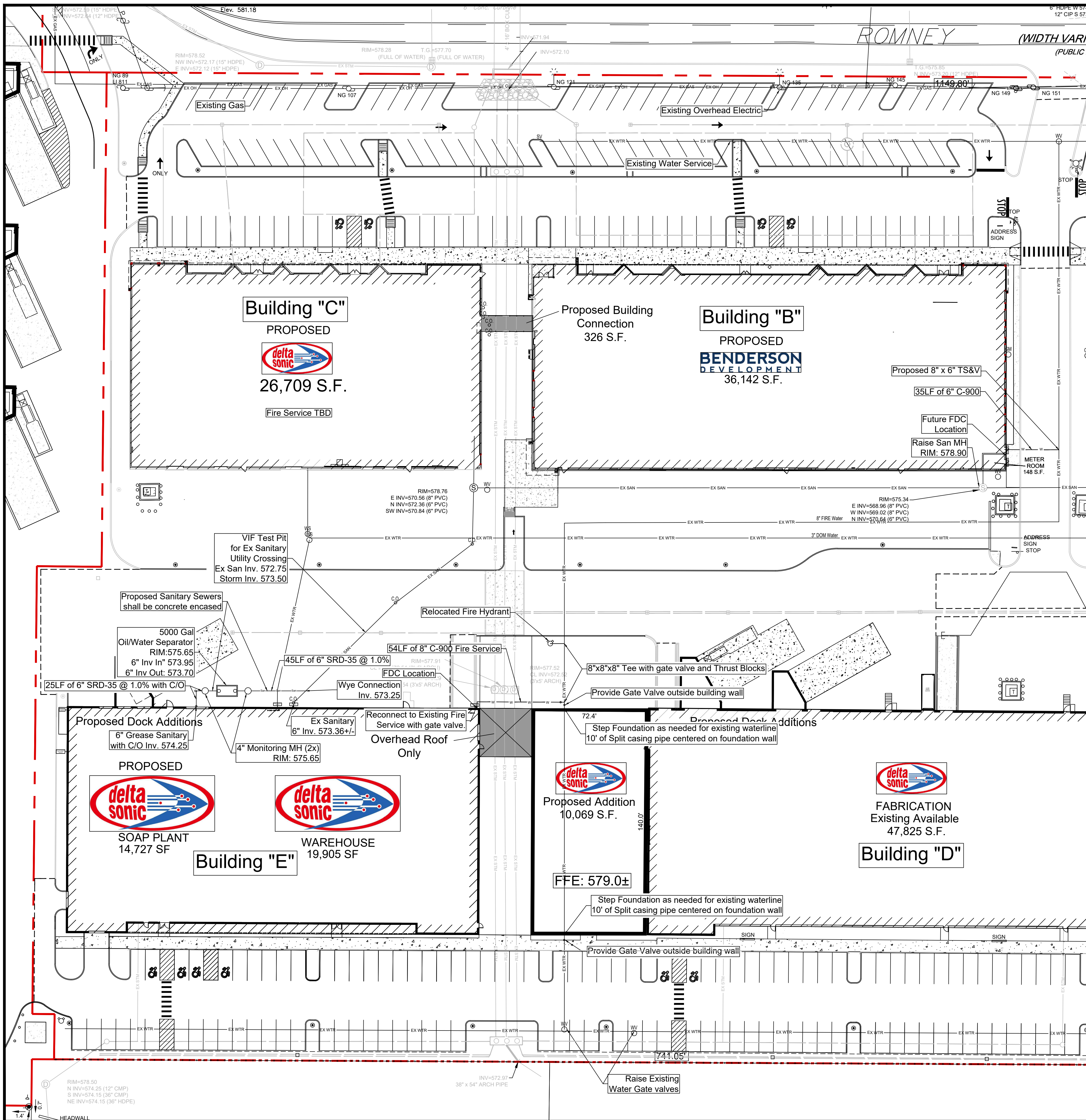


TITLE: **Drainage Details**

SCALE: NTS  
DRAWN BY: DMZ  
CHECKED BY: MAO  
DATE: 08.30.2023

DRAWING NO. **C5.21**





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  - SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
  - CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
  - GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN DIPS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
  - EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (1) COAT OF CHEMMASTERS - POLYSEAL 82.
  - LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
  - CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADIES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT. REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE, A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTOR'S CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.

- SANITARY SEWER NOTES:**
- THE CONTRACTOR IS ADVISED THAT A TRENCH SHIELD AND/OR SHORING DESIGNED IN ACCORDANCE WITH OSHA STANDARDS SHALL BE USED IN ALL OPEN TRENCH EXCAVATIONS.
  - ANY CONTRACTOR AND/OR PLUMBER PERFORMING WORKING IN A CONFINED SPACE (e.g. MANHOLES, WETWELLS, CHAMBERS) OWNED BY THE TOWN MUST CERTIFY TO THE TOWN THAT THEY HAVE THEIR OWN CONFINED SPACE ENTRY PROGRAM THAT MEETS OR EXCEEDS OSHA'S REGULATIONS. CERTIFICATION MUST BE NOTARIZED BY A NOTARY PUBLIC.
  - CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS OF THE TOWN AND NEW YORK STATE CODES.
  - IF ANY PROPOSED SEWER LATERAL RUNS UNDER PAVED AREA AND HAS LESS THAN 4" COVER, CONCRETE ENCASUREMENT IS REQUIRED. IF MORE THAN 4" COVER IS PROVIDED IN PAVED AREAS SELECT FILL IS REQUIRED.
  - THE CONTRACTOR MUST NOTIFY THE TOWN ENGINEER OFFICE AND THE PLUMBING INSPECTOR 24 HOURS IN ADVANCE OF CONSTRUCTION.
  - CLEANOUTS ARE REQUIRED EVERY 100' AND AT CHANGE IN DIRECTION.
  - ABANDONED SANITARY SEWER CONNECTIONS FROM THE SITE, IF ANY, REQUIRE PROOF OF A DISTRICT PERMIT FOR DISCONNECTION PRIOR TO THE NEW CONNECTION BEING MADE.

- UTILITY NOTES:**
- PROVIDE FITTINGS AND BLOCKING AS NECESSARY AT ALL BENDS IN WATER LINES.
  - WHERE UTILITIES ARE INSTALLED IN EXISTING PAVEMENT, LANDSCAPED AREA ETC. ANY ITEMS REMOVED/DAMAGED SHALL BE REPLACED IN KIND.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS NECESSARY: STATE, COUNTY, AND TOWN.
  - WATER MAINS TO HAVE MINIMUM 3" COVER.
  - MAINTAIN A MINIMUM OF 3' CLEARANCE AROUND FIRE HYDRANTS.

**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
2	05.08.2024	DZ	Site Plan Update
4	07.31.2024	DZ	Site Updates
5	08.12.2024	DZ	Site Updates
6	08.30.2024	DZ	Town Comments
7	12.03.2024	DZ	Town Comments
10	02.05.2025	DZ	Town Comments

**SPECIAL INFORMATION:**  
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNER'S ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

**NOTICE**  
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION 2709 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: #1723 AREA: -

**Amherst Development Park**  
6000 - 6040 North Bailey Ave  
Amherst, NY 14226

**PROPOSED  
SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR  
**BENDERSON  
DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL



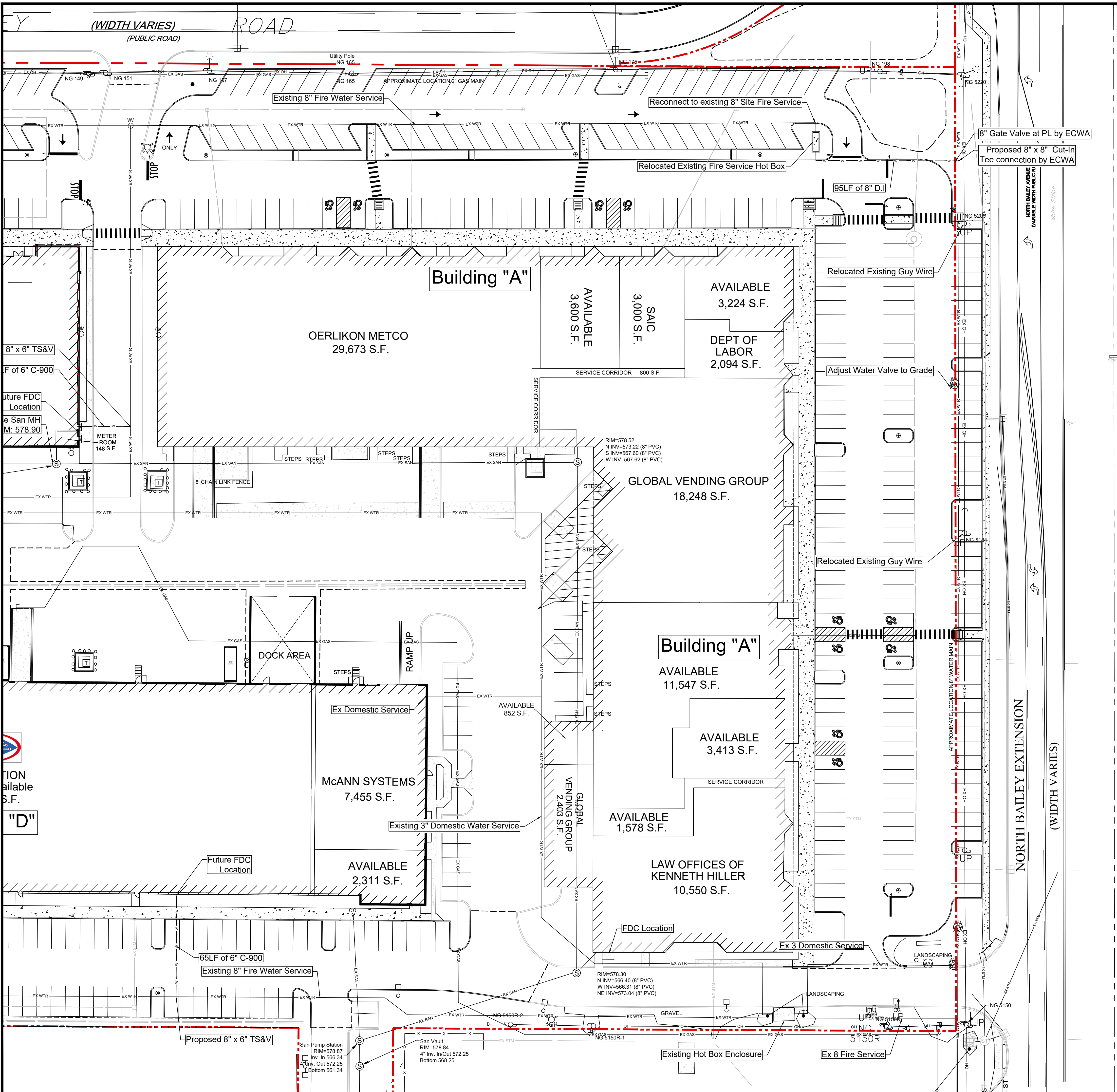
TITLE:  
**Utility  
Plan (West)**

SCALE:  
1:30  
DRAWN BY: DMZ  
CHECKED BY: MAO  
DATE: 08.16.2023

DRAWING NO.  
**C6.00**

OFFICIAL TOWN USE ONLY





- GENERAL NOTES:**
- INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
  - SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
  - WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
  - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
  - CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
  - CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
  - CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
  - BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
  - SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TIES.
  - CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TIES).
  - GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILICURE WITHIN 24 HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
  - EXPOSED AGGREGATE STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SILICURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (1) COAT OF CHEMMASTERS - POLYURETHANE.
  - LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
  - CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.
  - CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT. REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE, A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTORS CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.

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  - ANY CONTRACTOR AND/OR PLUMBER PERFORMING WORKING IN A CONFINED SPACE (i.e. MANHOLES, WETWELLS, CHAMBERS) OWNED BY THE TOWN MUST CERTIFY TO THE TOWN THAT THEY HAVE THEIR OWN CONFINED SPACE ENTRY PROGRAM THAT MEETS OR EXCEEDS OSHA'S REGULATIONS. CERTIFICATION MUST BE NOTARIZED BY A NOTARY PUBLIC.
  - CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS OF THE TOWN AND NEW YORK STATE CODES.
  - IF ANY PROPOSED SEWER LATERAL RUNS UNDER PAVED AREA AND HAS LESS THAN 4' COVER, CONCRETE ENCASEMENT IS REQUIRED. IF MORE THAN 4' COVER IS PROVIDED IN PAVED AREAS SELECT FILL IS REQUIRED.
  - THE CONTRACTOR MUST NOTIFY THE TOWN ENGINEER OFFICE AND THE PLUMBING INSPECTOR 24 HOURS IN ADVANCE OF CONSTRUCTION.
  - CLEANOUTS ARE REQUIRED EVERY 100' AND AT CHANGE IN DIRECTION.
  - ABANDONED SANITARY SEWER CONNECTIONS FROM THE SITE, IF ANY, REQUIRE PROOF OF A DISTRICT PERMIT FOR DISCONNECTION PRIOR TO THE NEW CONNECTION BEING MADE.

- UTILITY NOTES:**
- PROVIDE FITTINGS AND BLOCKING AS NECESSARY AT ALL BENDS IN WATER LINES.
  - WHERE UTILITIES ARE INSTALLED IN EXISTING PAVEMENT, LANDSCAPED AREA ETC. ANY ITEMS REMOVED/DAMAGED SHALL BE REPLACED IN KIND.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS NECESSARY, STATE, COUNTY, AND TOWN.
  - WATER MAINS TO HAVE MINIMUM 5FT COVER.
  - MAINTAIN A MINIMUM OF 3' CLEARANCE AROUND FIRE HYDRANTS.

**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
4	07.31.2024	DZ	Site Updates
6	08.30.2024	DZ	Town Comments
7	12.03.2024	DZ	Town Comments
10	02.05.2025	DZ	Town Comments

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PROPERTY NUMBER: #1723

AREA:

**Amherst Development Park**  
6000 - 6040 North Bailey Ave  
Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR

**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL

OFFICIAL TOWN USE ONLY

TITLE: **Utility Plan (East)**

SCALE: 1:30

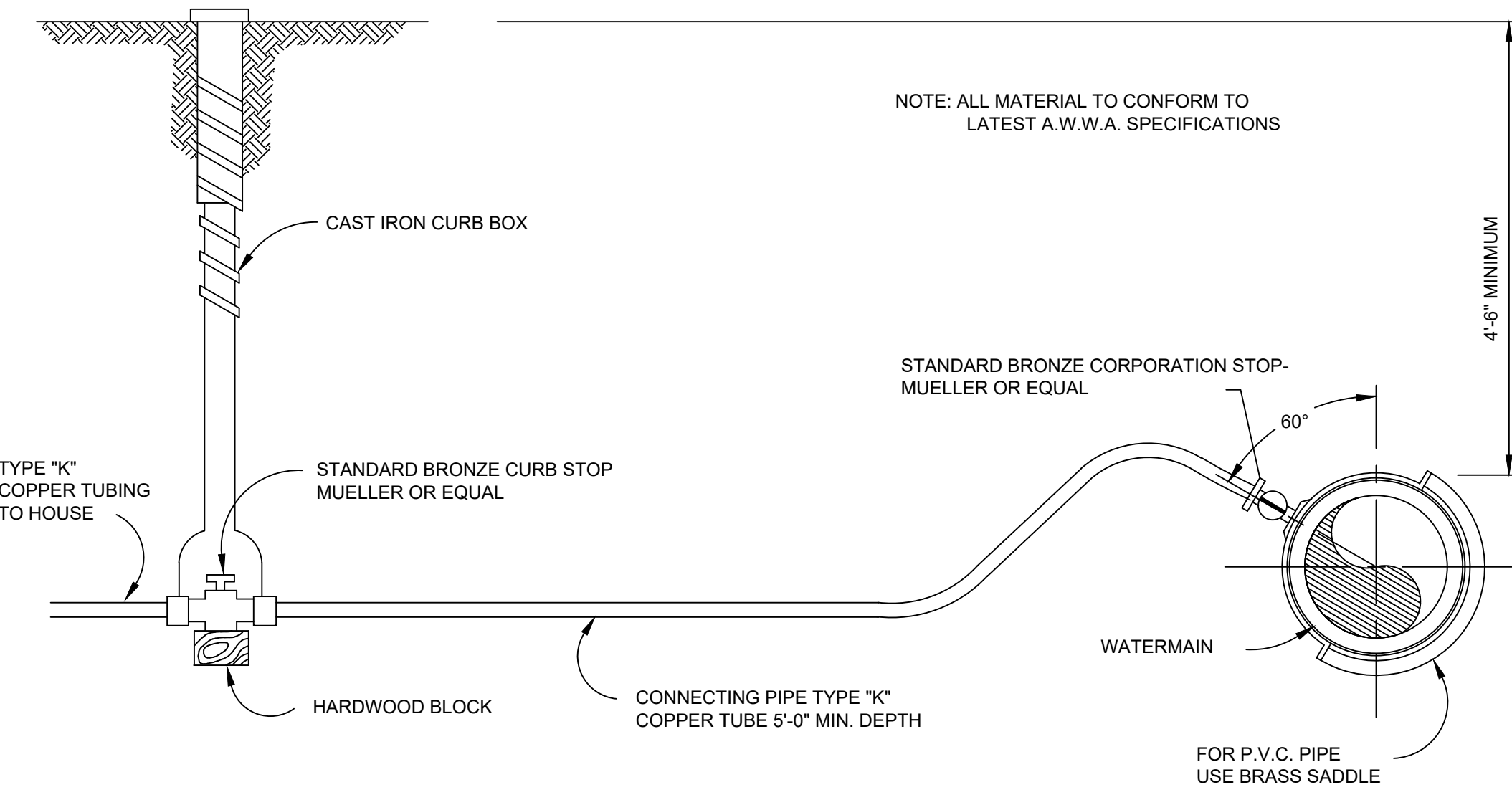
DRAWN BY: DMZ

CHECKED BY: MAO

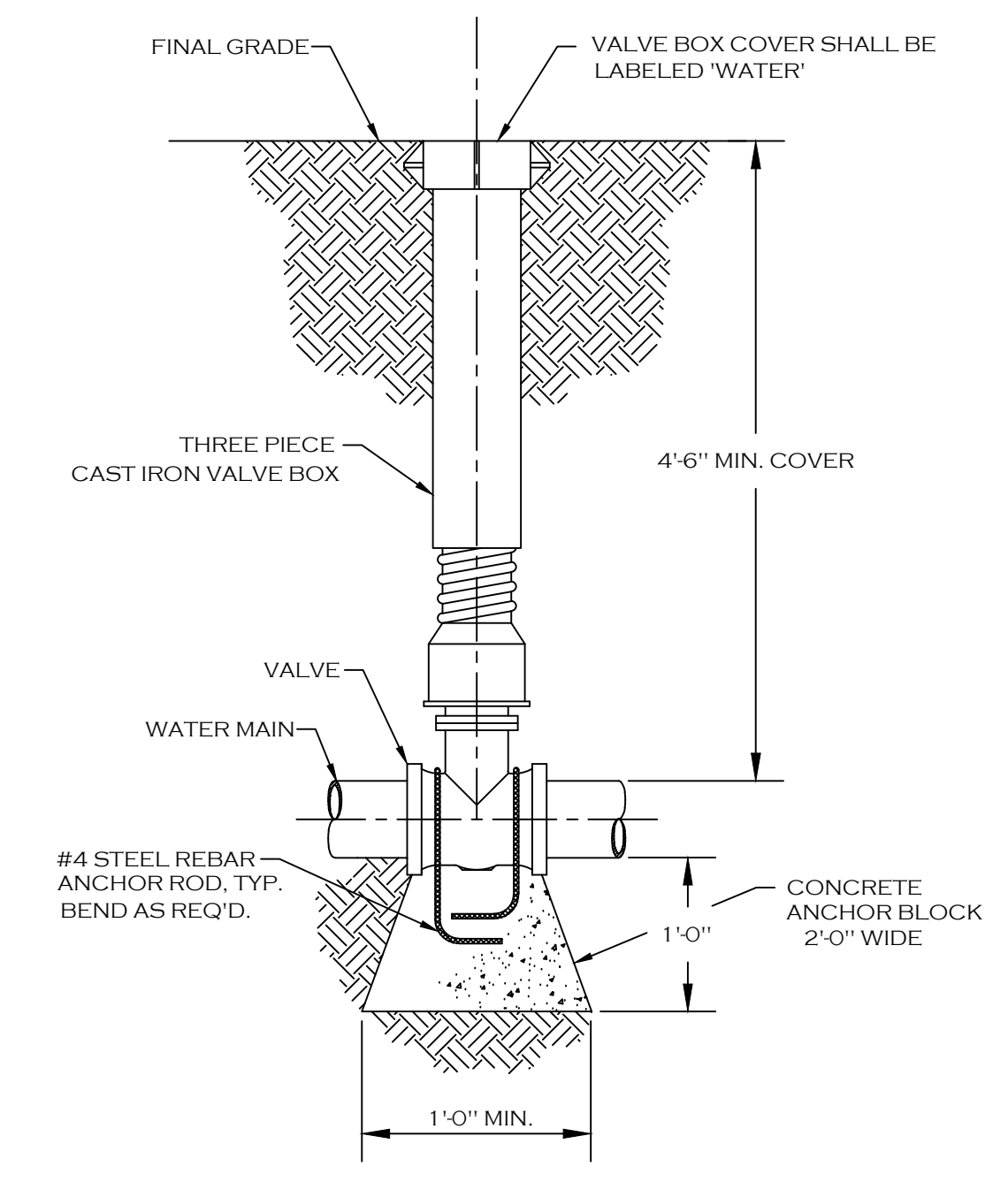
DATE: 08.16.2023

DRAWING NO. **C6.01**

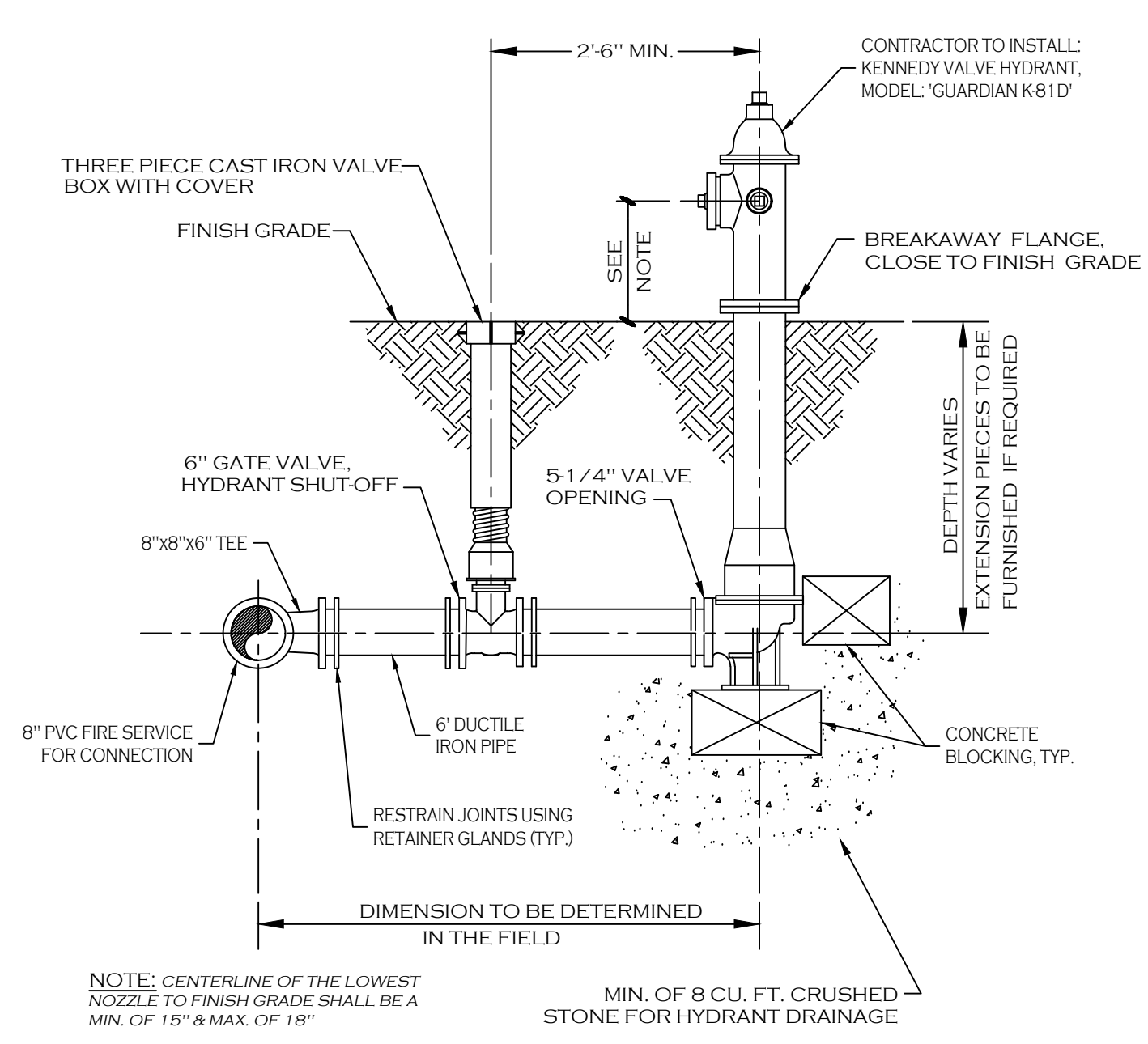




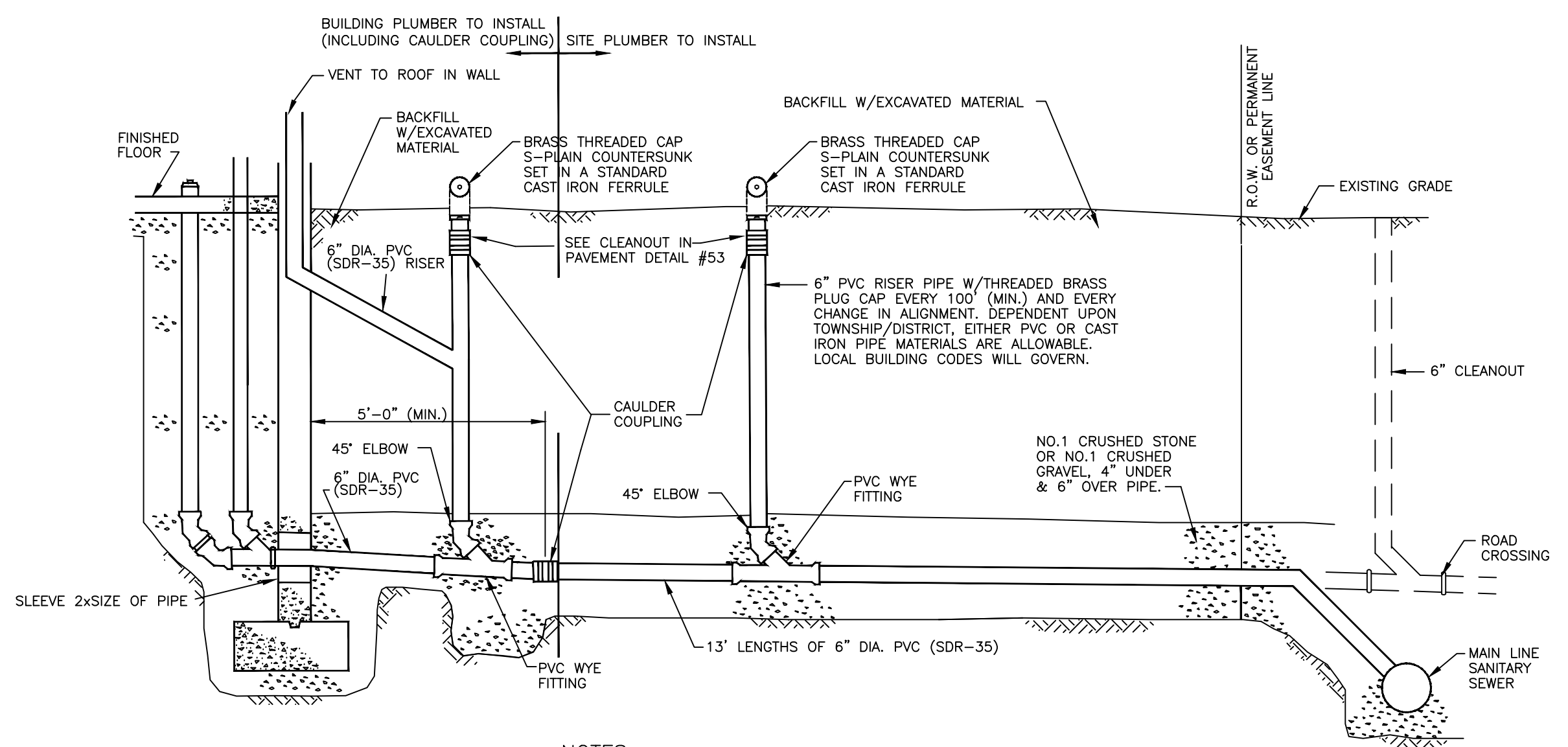
**TYPICAL WATER SERVICE LINE INSTALLATION**



**TYPICAL GATE VALVE DETAIL**

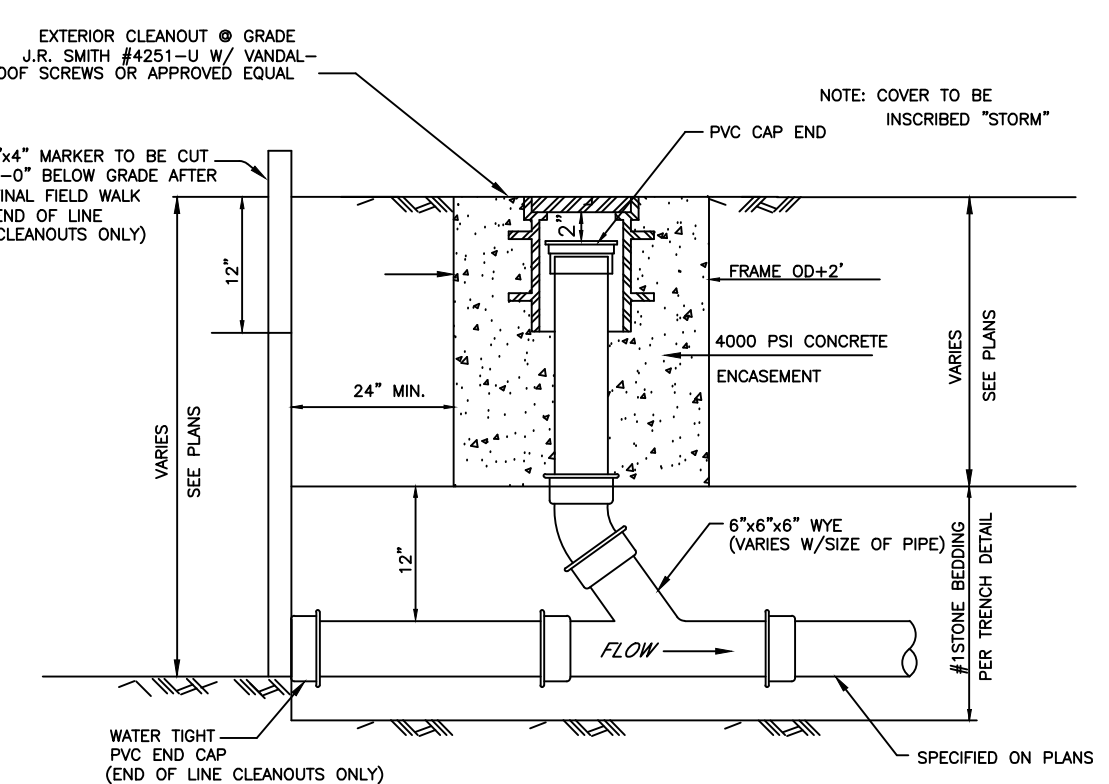


**TYPICAL FIRE HYDRANT ASSEMBLY DETAIL**

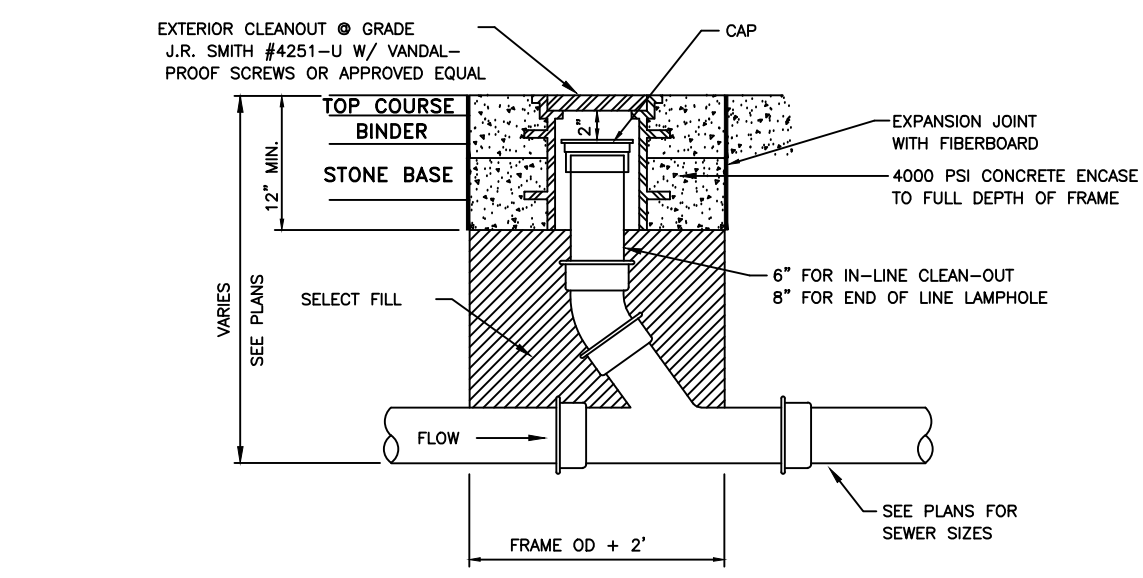


- NOTES:**
1. PVC PIPE MATERIAL SHALL BE MANUFACTURED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST ASTM SPECIFICATION D-3035/D-3034.
  2. SELECT BACKFILL REQUIRED UNDER PAVED AREAS.
  3. CONCRETE ENCASUREMENT IF COVER DEPTH IS LESS THAN 4'-0" UNDER PAVED AREAS
  4. MIN. DEPTH OF COVER 3'-0"
  5. A GREASE SEPARATOR AND OIL SEPARATOR REQUIRED WHERE APPLICABLE.

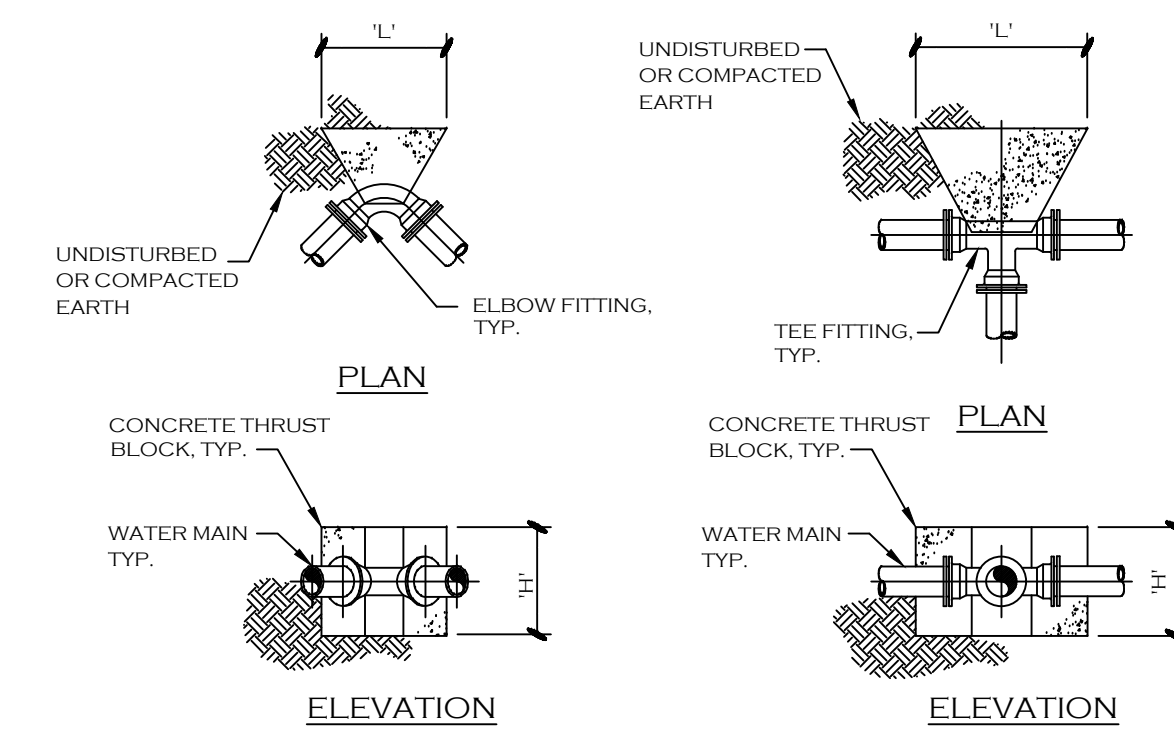
**TYPICAL COMMERCIAL SERVICE WITHOUT BASEMENT DETAIL (DOMESTIC)**



**CLEANOUT IN LANDSCAPED AREAS**



**CLEANOUT IN PAVED AREAS**



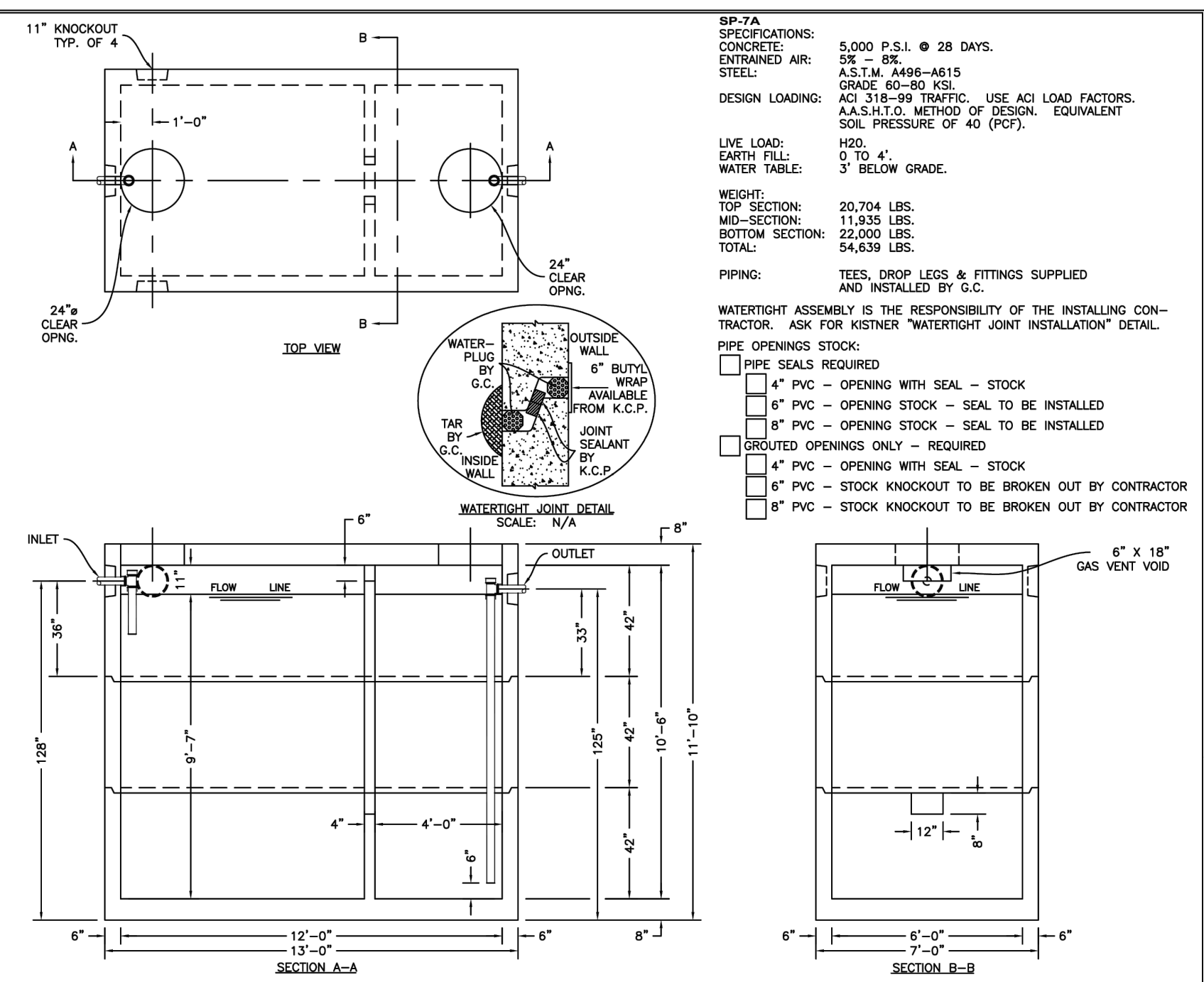
**DIMENSION SCHEDULE**

PIPE SIZE	90° ELBOW	45° ELBOW	22.5° ELBOW	11.25° ELBOW
4"	1.5'	2.0'	2.0'	1.0'
6"	2.0'	2.5'	2.0'	1.5'
8"	2.5'	3.5'	2.5'	1.5'
10"	3.0'	4.5'	3.0'	2.0'
12"	3.5'	5.0'	3.0'	2.5'

**DIMENSION SCHEDULE**

PIPE SIZE	TEE OR TAP SLEEVE
4"	1.5'
6"	1.5'
8"	1.5'
10"	2.5'
12"	3.5'

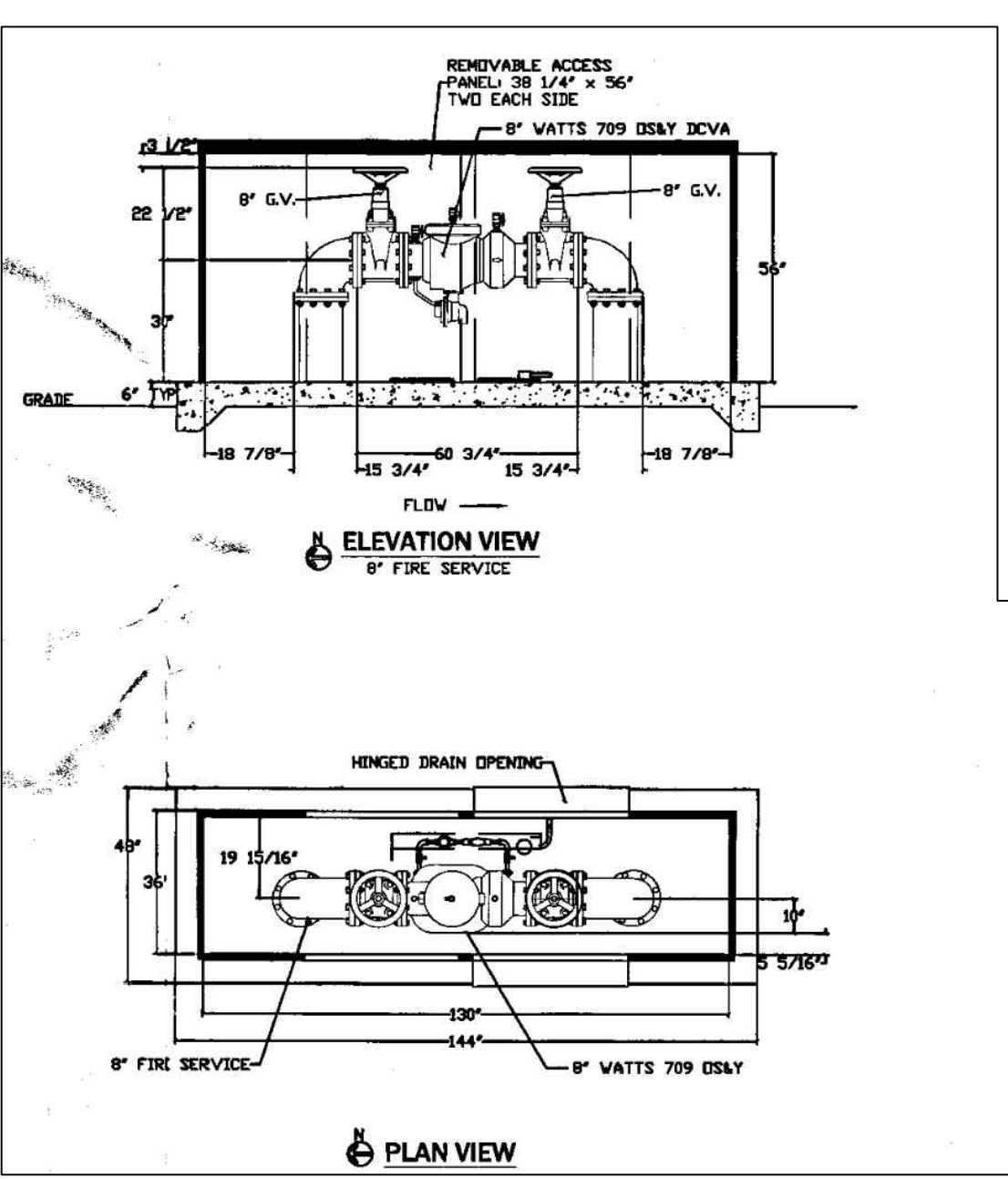
**THRUST BLOCK SCHEDULE**



**5000 GAL. OIL SEPARATOR - TRAFFIC**

PROTECT DESIGNATION: OS-05000T

DATE: 4/2/19



**Existing Hot Box Detail**

1. Drawing NOT TO SCALE.
2. BFP dimensions furnished by WATTS.
3. All dimensions are in inches.
4. Wall and insulation thickness is 1-1/2\"/>

**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS
7	12.03.2024	DZ	Town Comments
10	02.05.2025	DZ	Town Comments

**SPECIAL INFORMATION:**  
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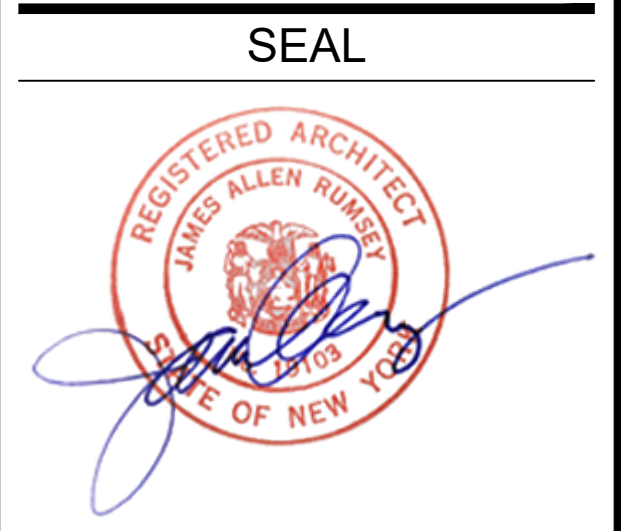
PROPERTY NUMBER: #1723  
AREA: -

**Amherst Development Park**  
6000 - 6040 North Bailey Ave  
Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

**JAMES ALLEN RUMSEY**  
ARCHITECT  
PREPARED FOR  
**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

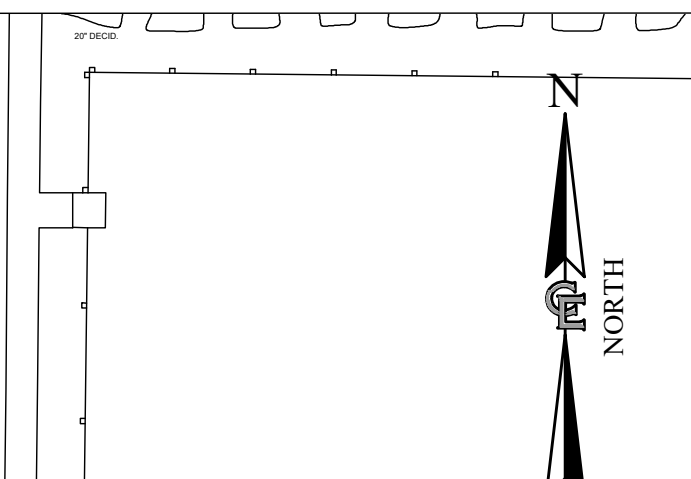
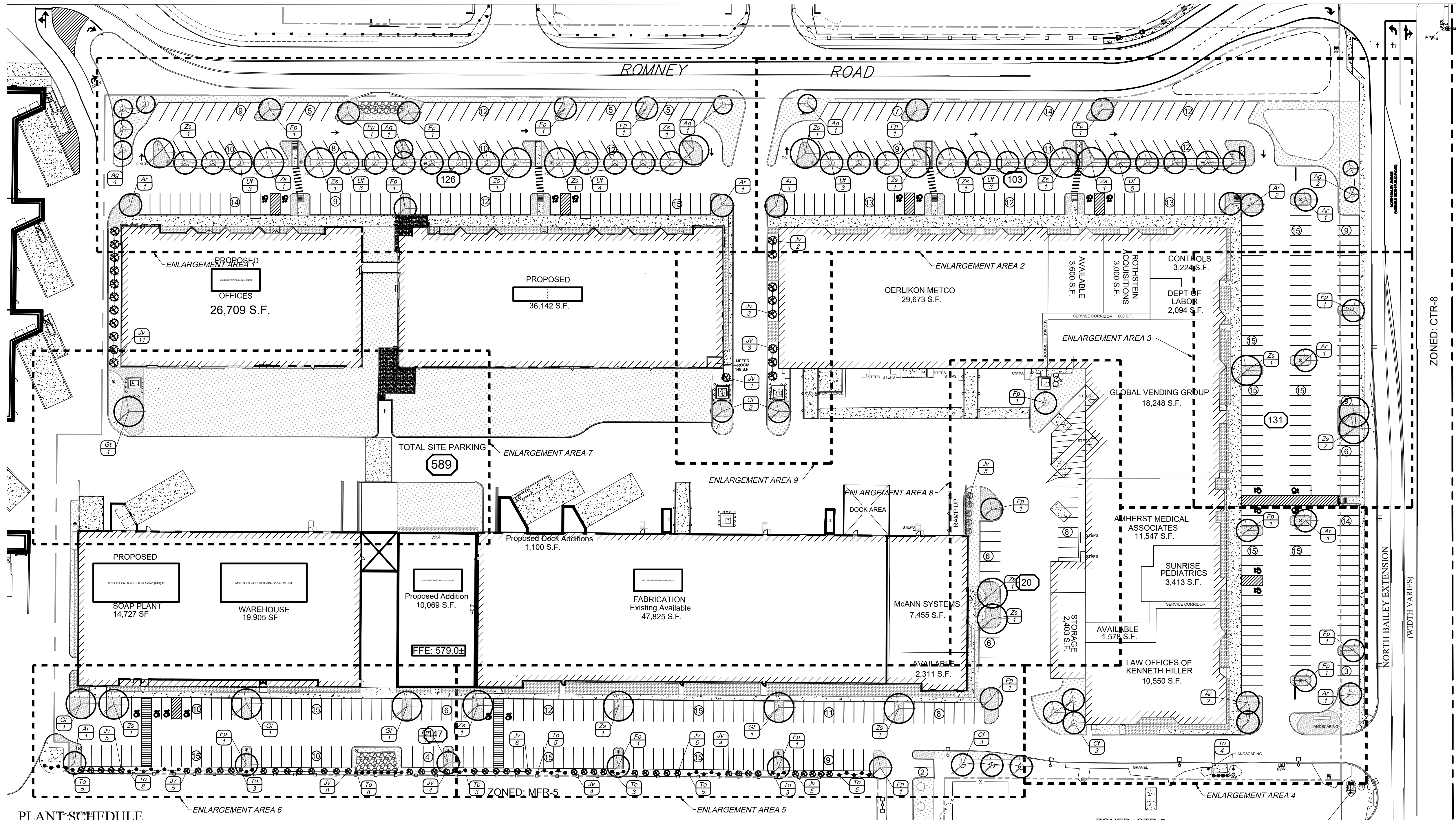


TITLE: Utility Details

SCALE: NTS  
DRAWN BY: DMZ  
CHECKED BY: MAO  
DATE: 08.16.2023

DRAWING NO. **C6.10**





Revisions	No.	Revision/Issue	Date
Revised based on Town Comments	05		2025-02-05
Revised based on site plan changes	04		2024-12-10
Revised based on site plan changes	03		2024-11-26
Revised based on site plan changes	02		2024-10-14
Revised based on site plan changes	01		2024-08-21

**Notes & References**

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION 4209 OF THE STATE EDUCATION LAW. COPYRIGHT 2024. ALL RIGHTS RESERVED

Applicant

**BENDERSON DEVELOPMENT**

570 DELAWARE AVE. BUFFALO, NY 14202  
PHONE: 716-882-0111 FAX: 716-882-7748  
WWW.BENDERSON.COM

PROJECT NO. 1910

Landscape Architect's Seal

Landscape Architect

**COSTICH ENGINEERING**

- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

217 LAKE AVENUE  
ROCHESTER, NY 14609  
(585) 458-9020

Project Name and Address

**AMHERST DEVELOPMENT PARK - BUILDING ADDITIONS**  
6000-6040 N. Bailey Avenue  
Amherst, New York 14226

Drawing Name

**OVERALL LANDSCAPE PLAN**

Sheet: 1 OF 5  
Date: 06/12/2024  
Scale: 1"=50'

Drawing Number: C-7.0

**PLANT SCHEDULE**

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
<b>EVERGREEN TREES</b>						
71	Jv	JUNIPERUS VIRGINIANA 'EMERALD SENTINEL'	EASTERN RED CEDAR	6-8' HT.	BB	HT. 10-20', SP. 7-8'
63	To	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6-8' HT.	BB	HT. 15', SP. 3-4'
<b>ORNAMENTAL / DECIDUOUS TREES</b>						
12	Ar	ACER RUBRUM 'FRANK JR.'	REDPOINTE RED MAPLE	2.5-3" CAL.	BB	HT. 45', SP. 30'
9	Ag	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY (ONE-BOLE)	1.75-2" CAL.	BB	HT. 15-25', SP. 15-25'
8	Cf	CORNUS FLORIDA	FLOWERING DOGWOOD (ONE-BOLE)	1.75-2" CAL.	BB	HT. 15-30', SP. 15-30'
20	Fp	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUDD (ONE-BOLE)	1.75-2" CAL.	BB	HT. 20-30', SP. 20-30'
5	Gt	GLEDITSIA TRIACANTHOS INERM.	THORNLESS HONEY LOCUST	2.5-3" CAL.	BB	HT. 60-80', SP. 60-80'
24	Uf	ULMUS 'FRONTIER'	FRONTIER ELM	2.5-3" CAL.	BB	HT. 40', SP. 30'
20	Zs	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2.5-3" CAL.	BB	HT. 60', SP. 40'
<b>SHRUBS</b>						
217	Am	ARONIA MELANOCARPA	LOWSCAPE MOUND CHOKEBERRY	NO. 3 (24" MIN)	CONT.	HT. 1-2', SP. 1.5-2'
69	Ig	ILEX GLABRA 'STRONG BOX'	STRONGBOX INKBERRY HOLLY	HT. 24" MIN	BB	HT. 2-3', SP. 2-3'
72	Iv	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	HT. 24" MIN	CONT.	HT. 3-5', SP. 4-6'
74	Ra	ROSA 'RADTKO'	DOUBLE KNOCKOUT ROSE	NO. 3 (24" MIN)	CONT.	HT. 2-5', SP. 6-8'
298	Rm	ROSA MEIGALPIO	RED DRIFT GROUNDCOVER ROSE	NO. 3 (24" MIN)	CONT.	HT. 1-1.5', SP. 2-2.5'

89	Sj	SPIRAEA JAPONICA 'GOLDMOUND'	GOLDMOUND SPIREA	HT. 24" MIN	CONT.	HT. 2-3', SP. 4'
107	Tx	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	HT. 24" MIN	CONT.	HT. 3-4', SP. 4-6'
88	Vi	VIBURNUM CARLESII 'KOREAN SPICE'	KOREAN SPICE VIBURNUM	HT. 24" MIN	CONT.	HT. 3.5', SP. 4-5'
<b>PERENNIALS &amp; GRASSES</b>						
246	Ca	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	NO. 2	CONT.	HT. 4-6', SP. 2-3'
68	Ha	HAKONECHLOA MACRA 'ALL GOLD'	ALL GOLD JAPANESE FOREST GRASS	NO. 3	CONT.	HT. 1.5', SP. 1.5'
560	He	HEMEROCALLIS X 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	NO. 1	CONT.	HT. 1-1.5', SP. 1-1.5'
54	Ir	IRIS PALLIDA 'VARIEGATA'	VARIEGATED SWEET IRIS	BULB	CONT.	HT. 2', SP. 1'
320	Nf	NEPETA HYBRID 'CAT'S PAJAMAS'	CAT'S PAJAMAS' CATMINT	NO. 3	CONT.	HT. 18-20" SP. 18-20"
158	Pc	PANICUM VIRGATUM 'CHEYENNE SKY'	CHEYENNE SKY SWITCHGRASS	NO. 3	CONT.	HT. 2-3', SP. 1.5-2'
292	Pv	PENNISETUM ALOPECUROIDES 'LEMON SQUEEZE'	LEMON SQUEEZE FLOWERING FOUNTAIN GRASS	NO. 3	CONT.	HT. 2.5-3', SP. 2-2.5'
33	Pv	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCHGRASS	NO. 2	CONT.	HT. 3-4', SP. 3-4'
116	Ss	SEDUM 'AUTUMN JOY'	AUTUMN JOY STONE CROP SEDUM	NO. 2	CONT.	HT. 18-24", SP. 18-24"

**ABBREVIATIONS:**  
BB=BALLED & BURLAPPED CAL=CALIPER IN INCHES HT.=HEIGHT SP=SPREAD  
BR=BARE ROOT CONT=CONTAINER NO.#=GALLON SIZE

**NOTES:**  
-CALIPER TO BE MEASURED 6" ABOVE GRADE  
-PLANT SYMBOLS REPRESENT 2/3 MATURE SIZE

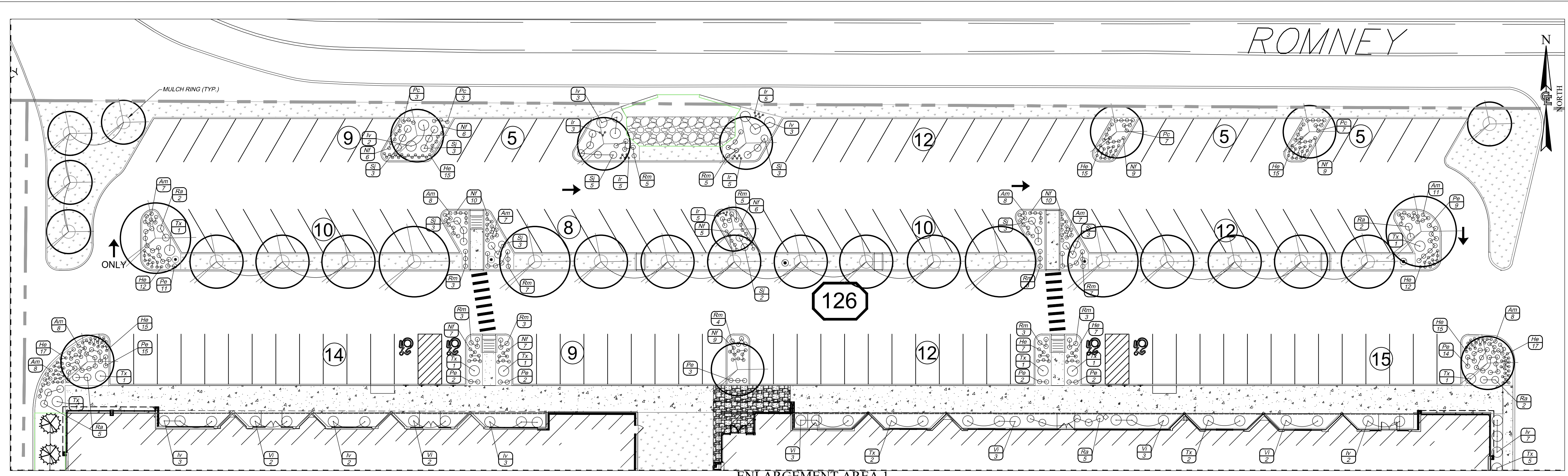
**GREENSPACE CALCULATIONS**

	EXISTING	REQUIRED	PROPOSED
TOTAL PARCEL AREA =	746,480 SF	--	(NO CHANGE)
TOTAL GREENSPACE AREA =	±182,069 SF (24.4%)	--	±133,369 SF (17.9%)

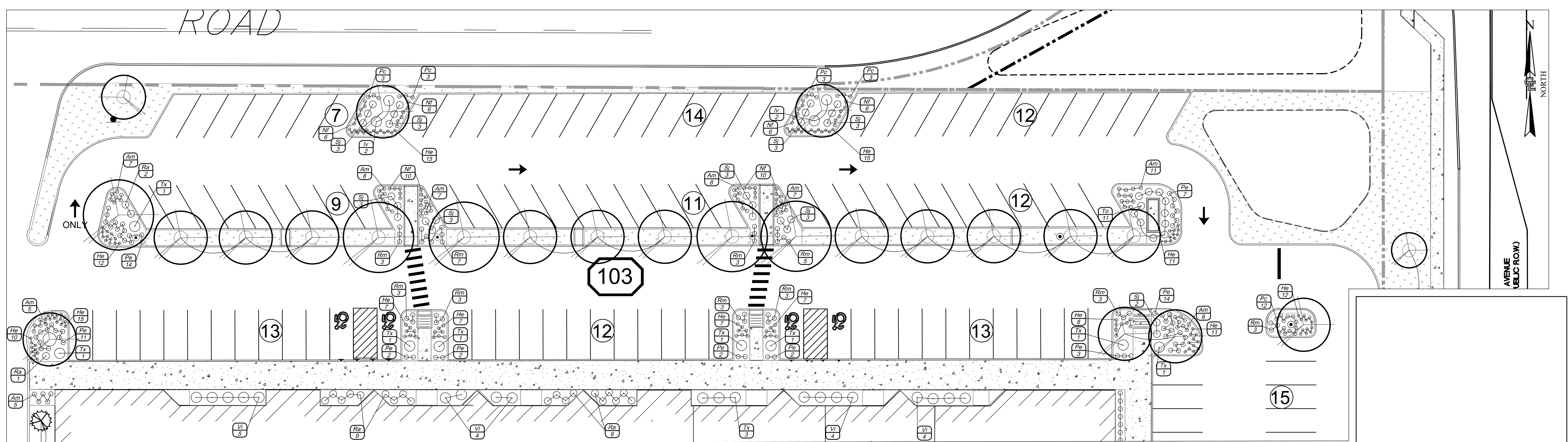
**LANDSCAPE NOTES**

- LANDSCAPE CONTRACTOR SHALL SECURE CURRENT PLANS AND SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPING PRIOR TO COMMENCING WORK.
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1 (LATEST EDITION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF.
- THE CONTRACTOR SHALL PERFORM A ROUGH FIELD TAKEOUT OF ALL PLANT MATERIAL AND SHRUB BEDS. CONTACT OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL. LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST. SHOULD LOCATION OF TREES BE WITHIN 5' OF UNDERGROUND UTILITIES, RELOCATE SAID TREES TO A MINIMUM OF 5' FROM BALL TO UTILITIES.
- SHOULD LOCATION OF TREES BE WITHIN 20' OF OVERHEAD WIRES, RELOCATE SAID TREES TO A MINIMUM OF 20' FROM WIRES.
- ALL TREES AND SHRUBS SHALL RECEIVE A 3" LAYER OF BLACK SHREDDED HARDWOOD BARK MULCH.
- ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY AT THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
- NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR OWNER'S PROJECT LANDSCAPE ARCHITECT.
- ANY PLANT WHICH DIES, TURNS BROWN, OR DEFLOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING, BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, AND REMOVAL OF STAKES AND GUYS) AND NEWLY ESTABLISHED LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- ALL AREAS DISTURBED BY UTILITY INSTALLATION AND SITE GRADING ACTIVITY SHALL RECEIVE 6" APPROVED TOPSOIL (TO A COMPACTED DEPTH OF 6" UNLESS OTHERWISE SPECIFIED BY THE GOVERNING MUNICIPALITY) BE FINE GRADES, SEEDED, MULCHED, AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ANY IRRIGATION COMPONENT DAMAGED DURING SITE OR LANDSCAPE RENOVATIONS MUST BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.
- A ONE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM THE DATE OF PROVISIONAL ACCEPTANCE.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST THOROUGHLY MIXED. PLANTING SOIL DEPTH SHALL BE 3" MINIMUM, AND BE FREE FROM CONSTRUCTION DEBRIS AND FOREIGN MATERIALS.
- STAKE TREES IMMEDIATELY AFTER PLANTING.
- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.





ENLARGEMENT AREA 1  
SCALE: 1" = 20'



ENLARGEMENT AREA 2  
SCALE: 1" = 20'

Revisions	No.	Revision/Issue	Date
Revised based on Town Comments	05		2025-02-05
Revised based on site plan changes	04		2024-12-10
Revised based on site plan changes	03		2024-11-26
Revised based on site plan changes	02		2024-10-14
Revised based on site plan changes	01		2024-08-21

**Notes & References**

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

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Applicant

**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE. BUFFALO, NY 14202  
PHONE: (716) 882-0111 FAX: (716) 882-7796  
WWW.BENDERSON.COM

PROJECT NO: 1910



Landscape Architect

**COSTICH ENGINEERING**

- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

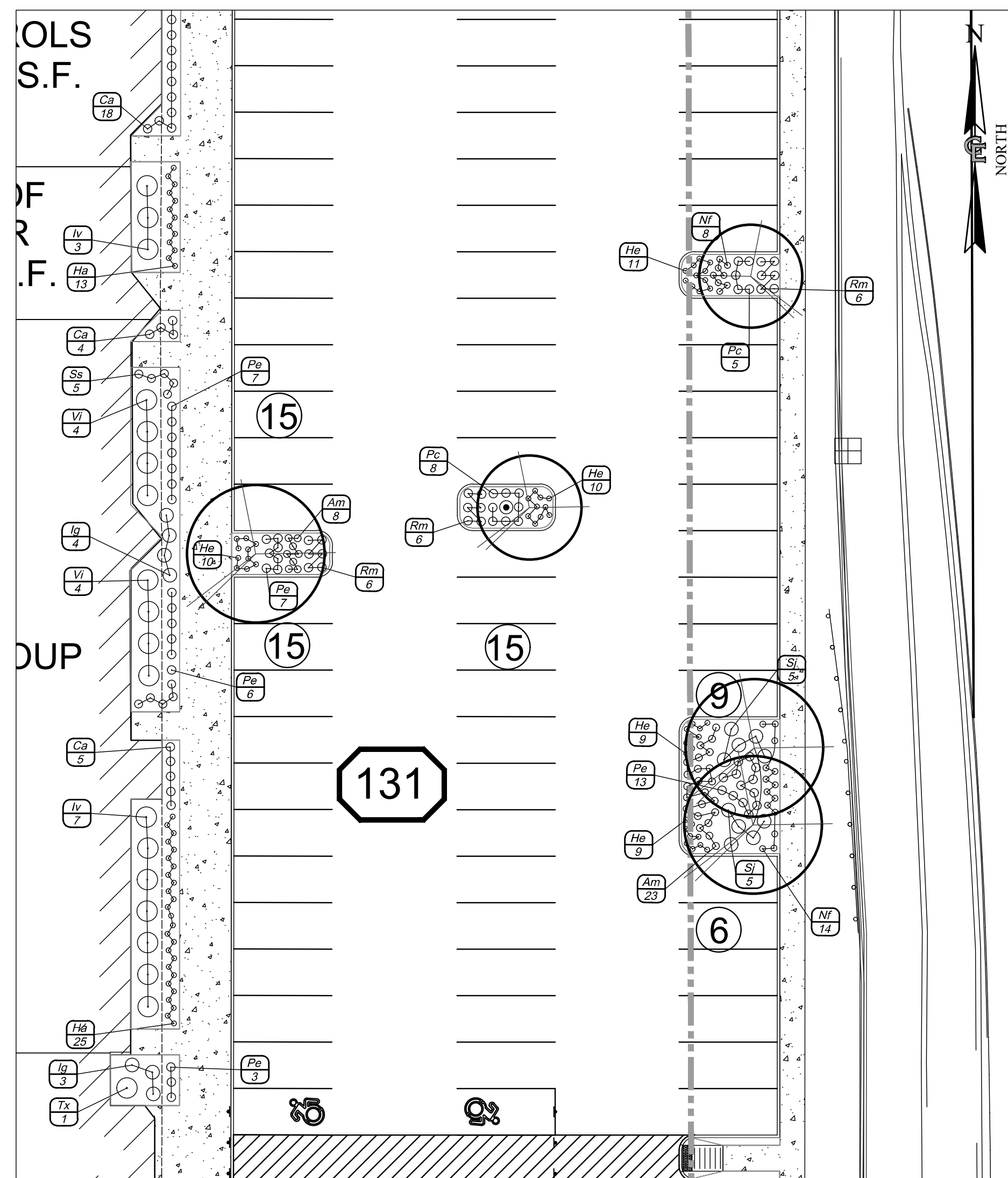
217 LAKE AVENUE  
ROCHESTER, NY 14609  
(585) 459-3020

Project Name and Address

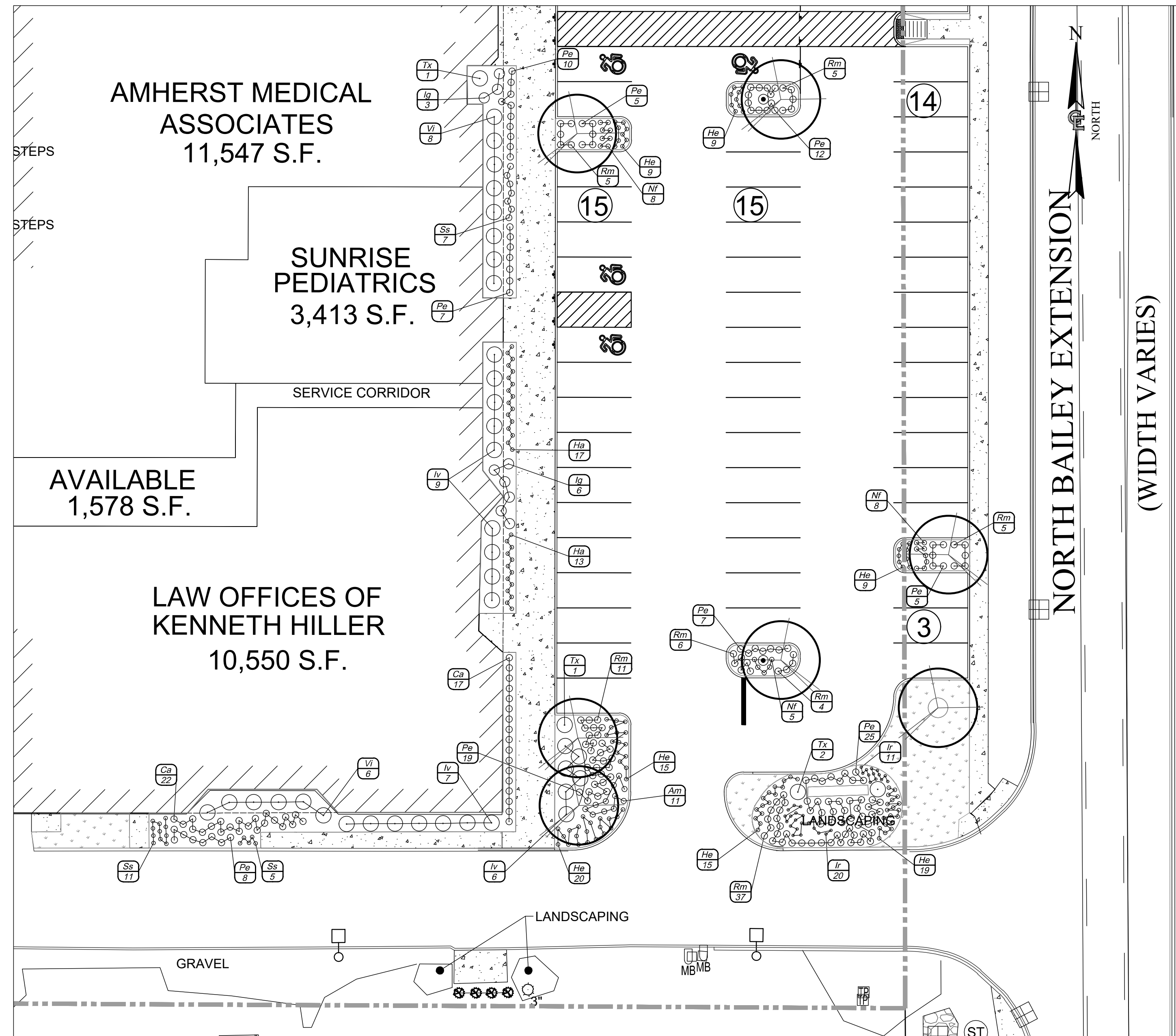
**AMHERST DEVELOPMENT PARK - BUILDING ADDITIONS**  
6000-6040 N. Bailey Avenue  
Amherst, New York 14226

Drawing Name	
LANDSCAPE PLAN ENLARGEMENT AREAS	
Sheet	Drawing Number
2 OF 5	C-7.1
Date	Scale
6/12/2024	1"=20'

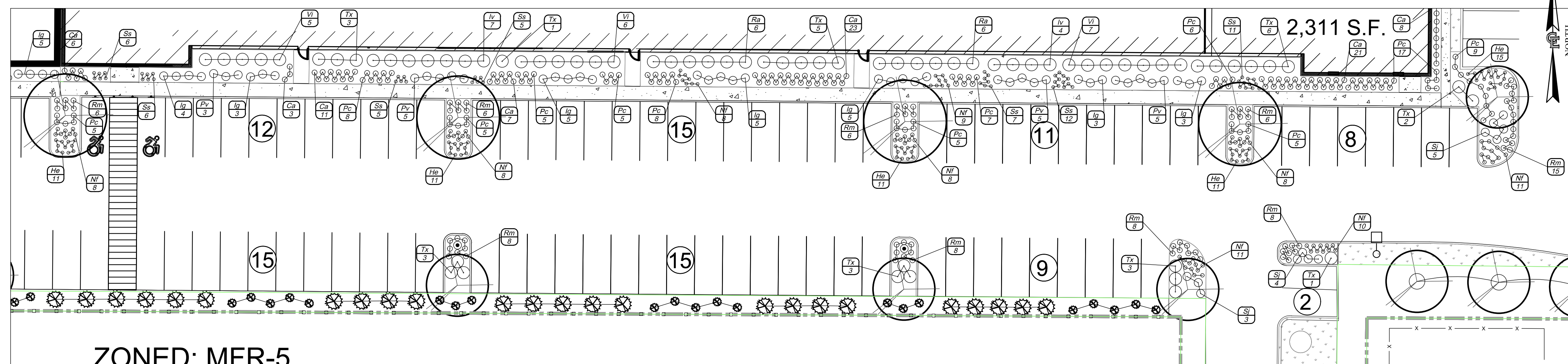




ENLARGEMENT AREA 3  
SCALE: 1" = 20'



ENLARGEMENT AREA 4  
SCALE: 1" = 20'



ENLARGEMENT AREA 5  
SCALE: 1" = 20'



NORTH BAILEY EXTENSION  
(WIDTH VARIES)

Revisions	No.	Revision/Issue	Date
Revised based on Town Comments	05		2025-02-05
Revised based on site plan changes	04		2024-12-10
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Revised based on site plan changes	01		2024-08-21

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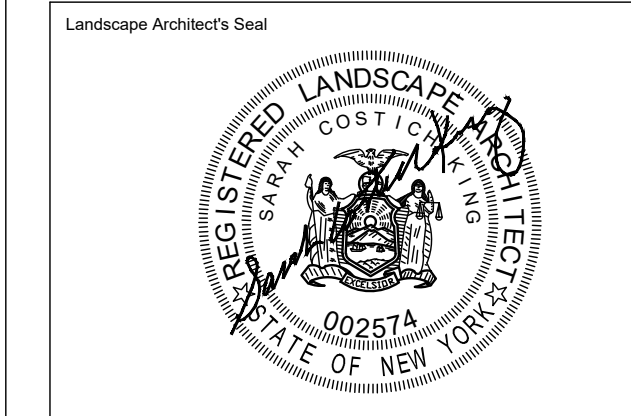
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PHONE: (716) 882-0111 FAX: (716) 882-0178  
WWW.BENDERSON.COM

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Landscape Architect

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- LANDSCAPE ARCHITECTURE

217 LAKE AVENUE  
ROCHESTER, NY 14609  
(585) 459-3020

Project Name and Address

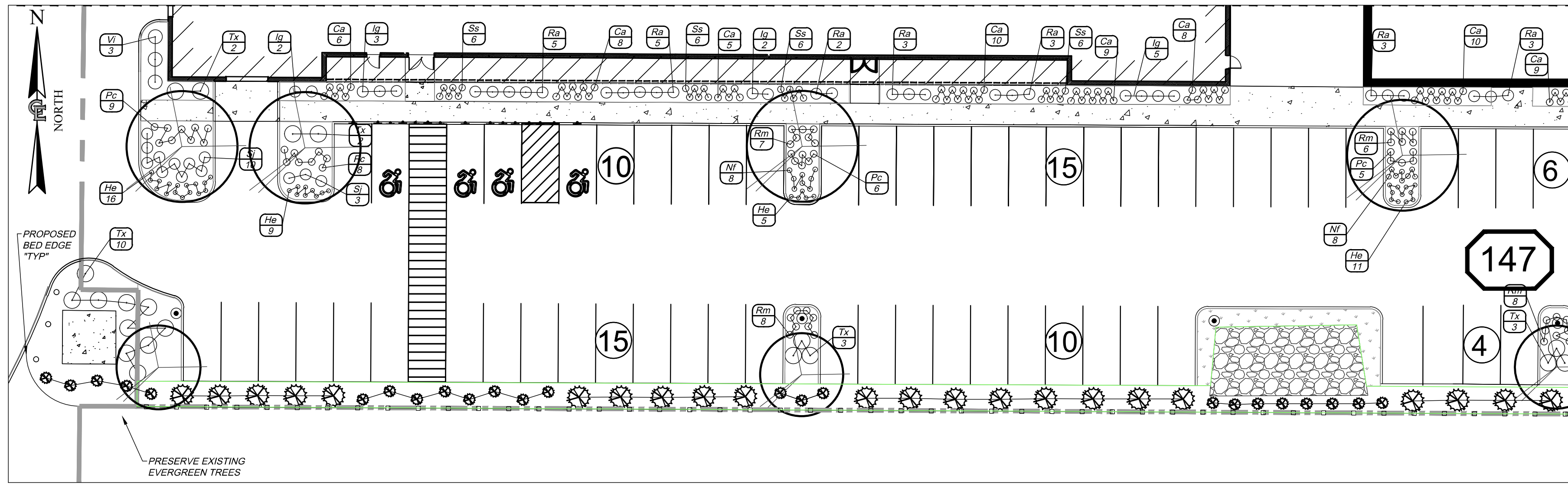
**AMHERST DEVELOPMENT PARK - BUILDING ADDITIONS**  
6000-6040 N. Bailey Avenue  
Amherst, New York 14226

Drawing Name

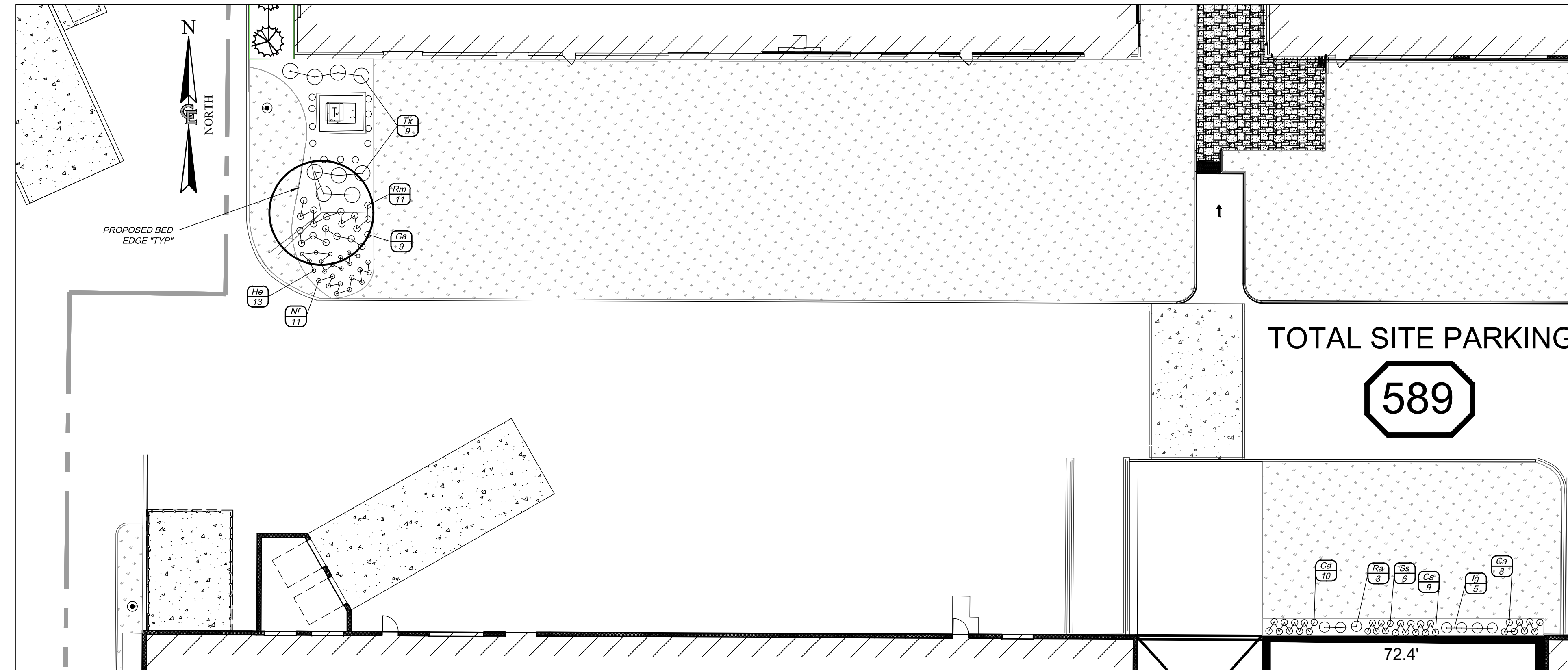
**LANDSCAPE PLAN ENLARGEMENT AREAS**

Sheet	3 OF 5	Drawing Number	C-7.2
Date	6/12/2024		
Scale	1"=20'		

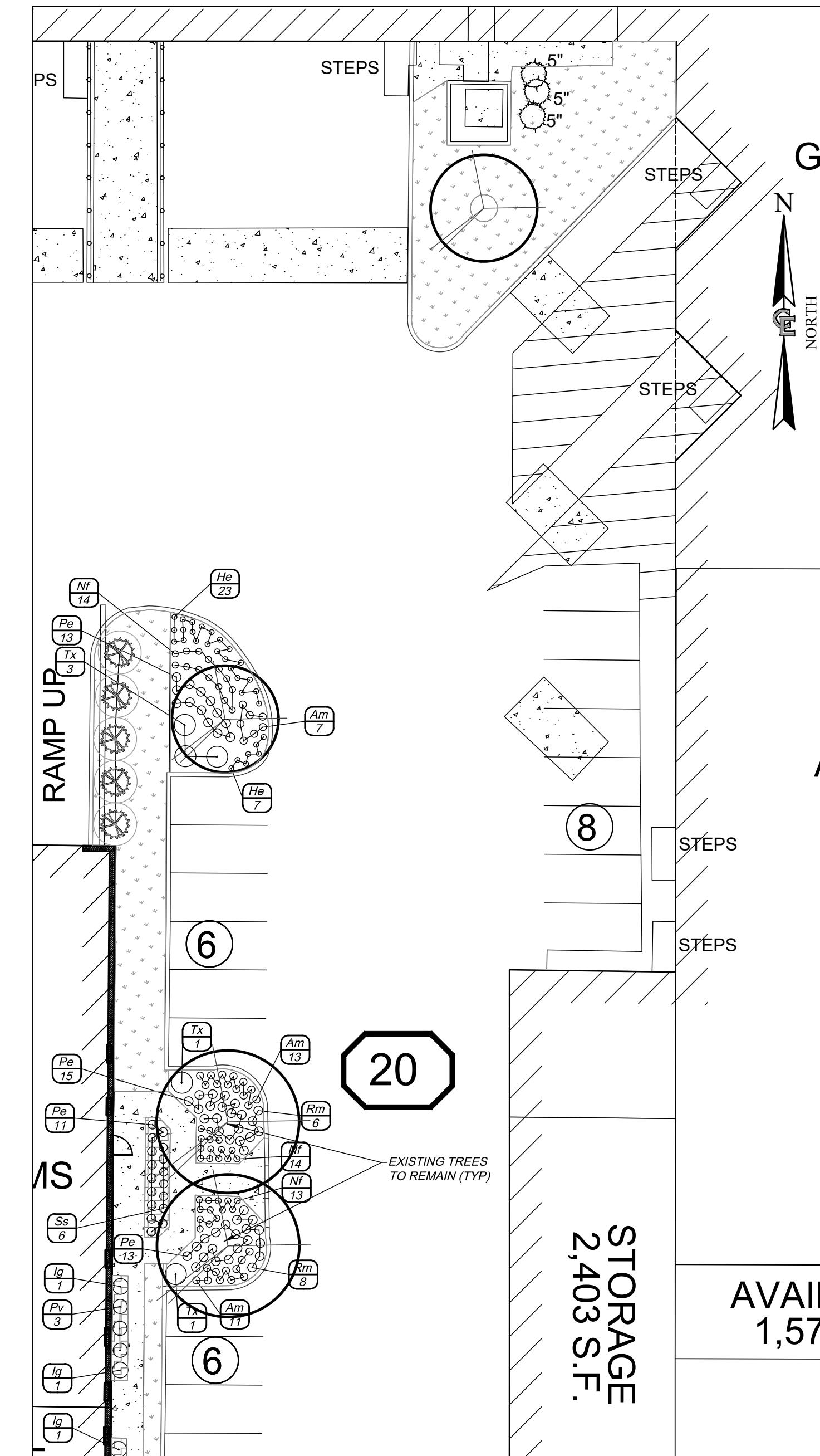




**ENLARGEMENT AREA 6**  
SCALE: 1" = 20'



**ENLARGEMENT AREA 7**  
SCALE: 1" = 20'



**ENLARGEMENT AREA 8**  
SCALE: 1" = 20'

Revisions	No.	Revision/Issue	Date
Revised based on Town Comments	05		2025-02-05
Revised based on site plan changes	04		2024-12-10
Revised based on site plan changes	03		2024-11-26
Revised based on site plan changes	02		2024-10-14
Revised based on site plan changes	01		2024-08-21

**Notes & References**

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

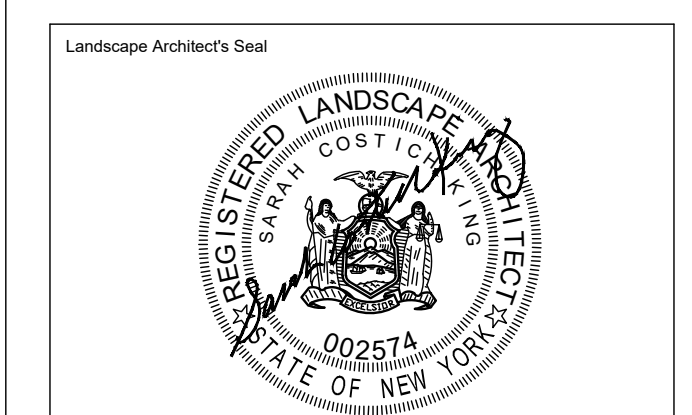
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WWW.BENDERSON.COM

PROJECT NO. 1910



Landscape Architect

**COSTICH ENGINEERING**

- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

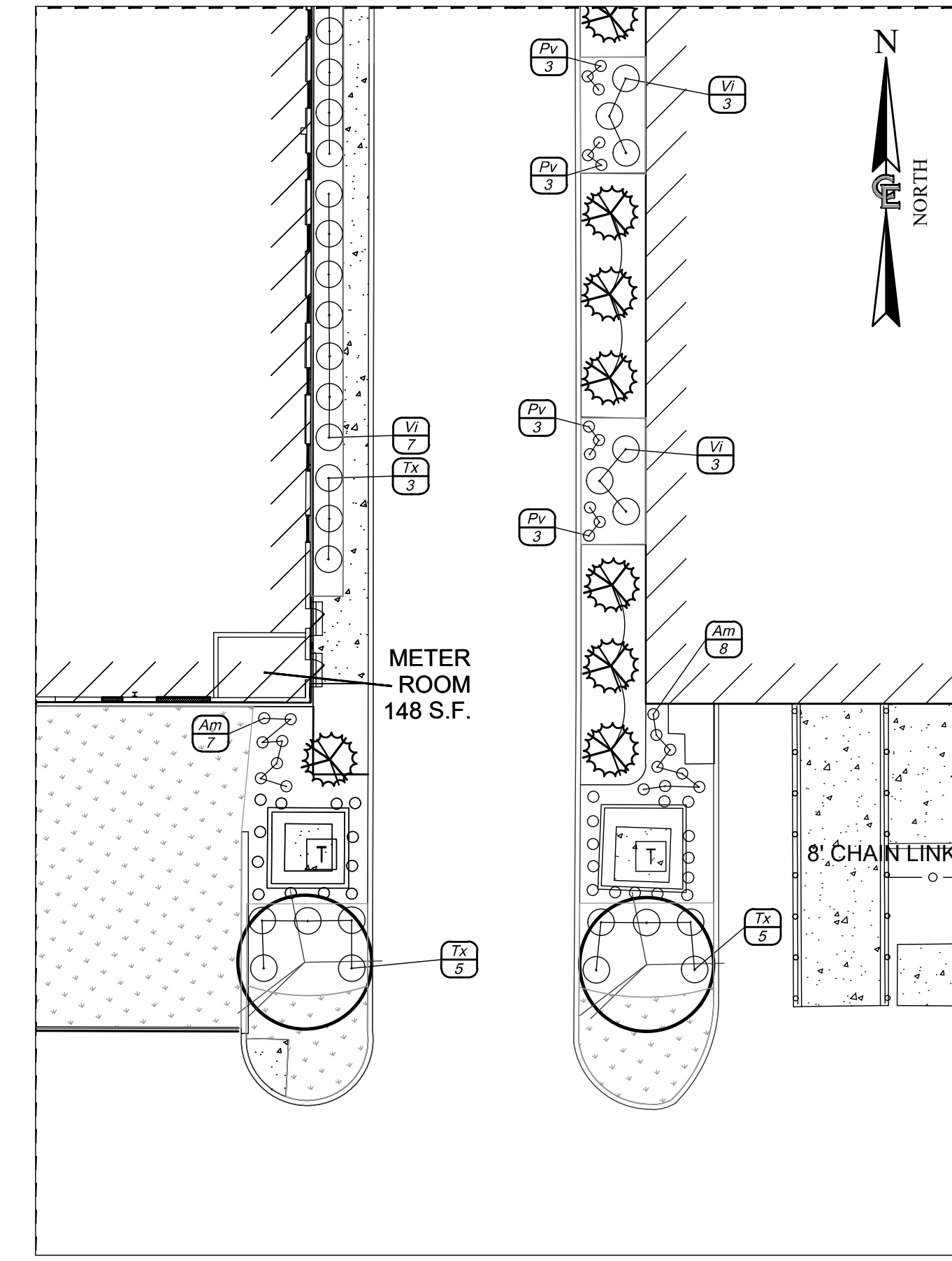
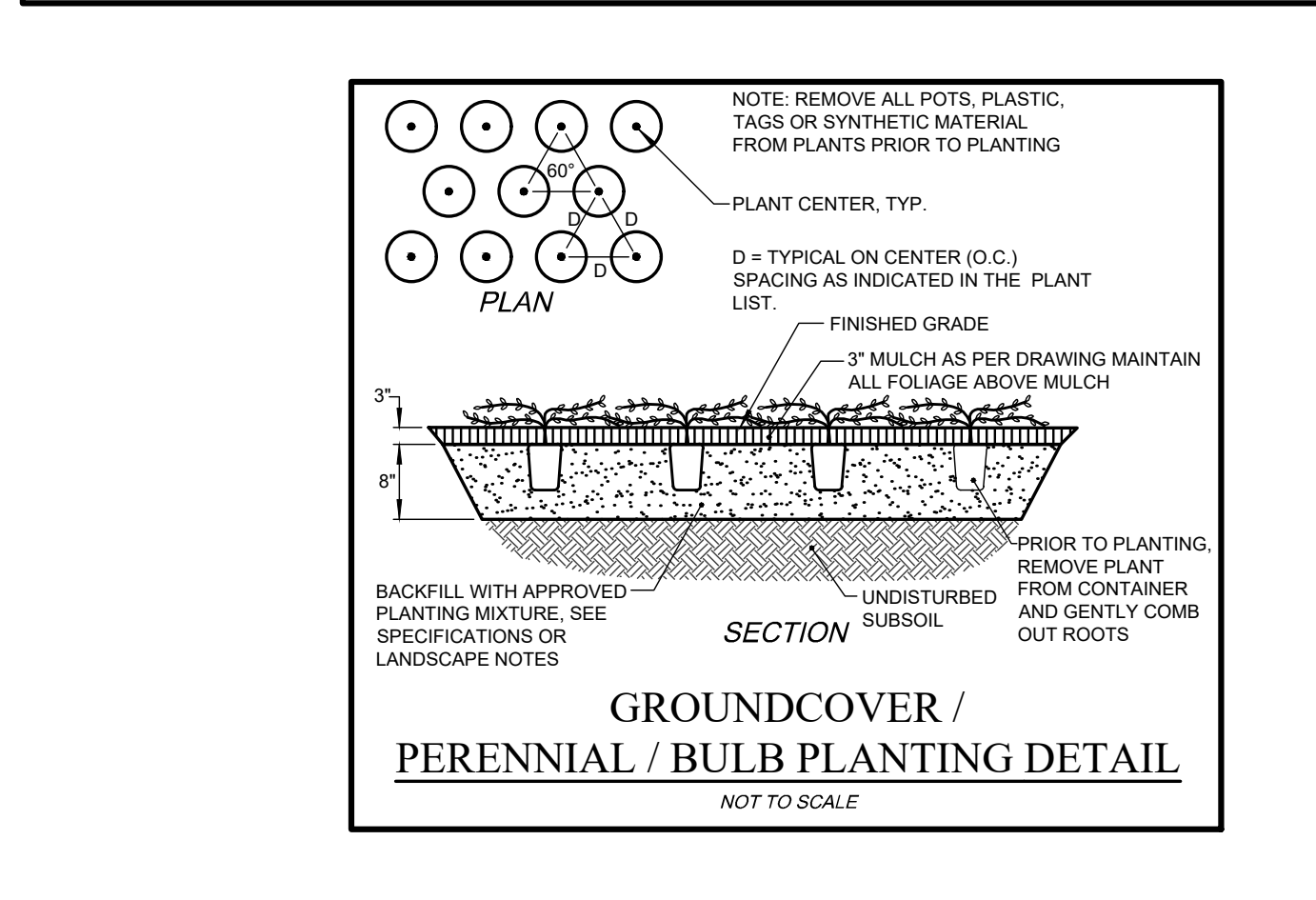
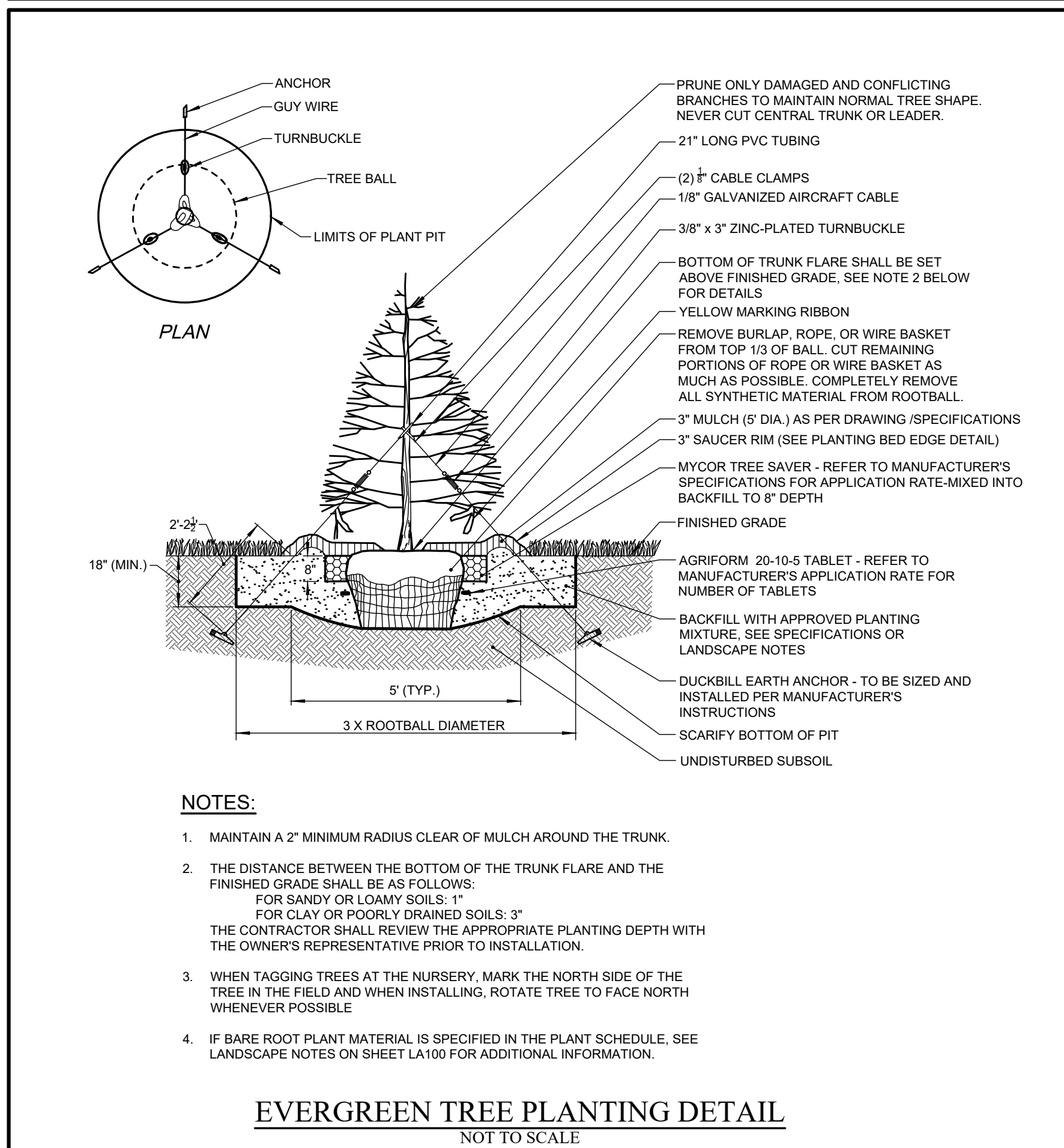
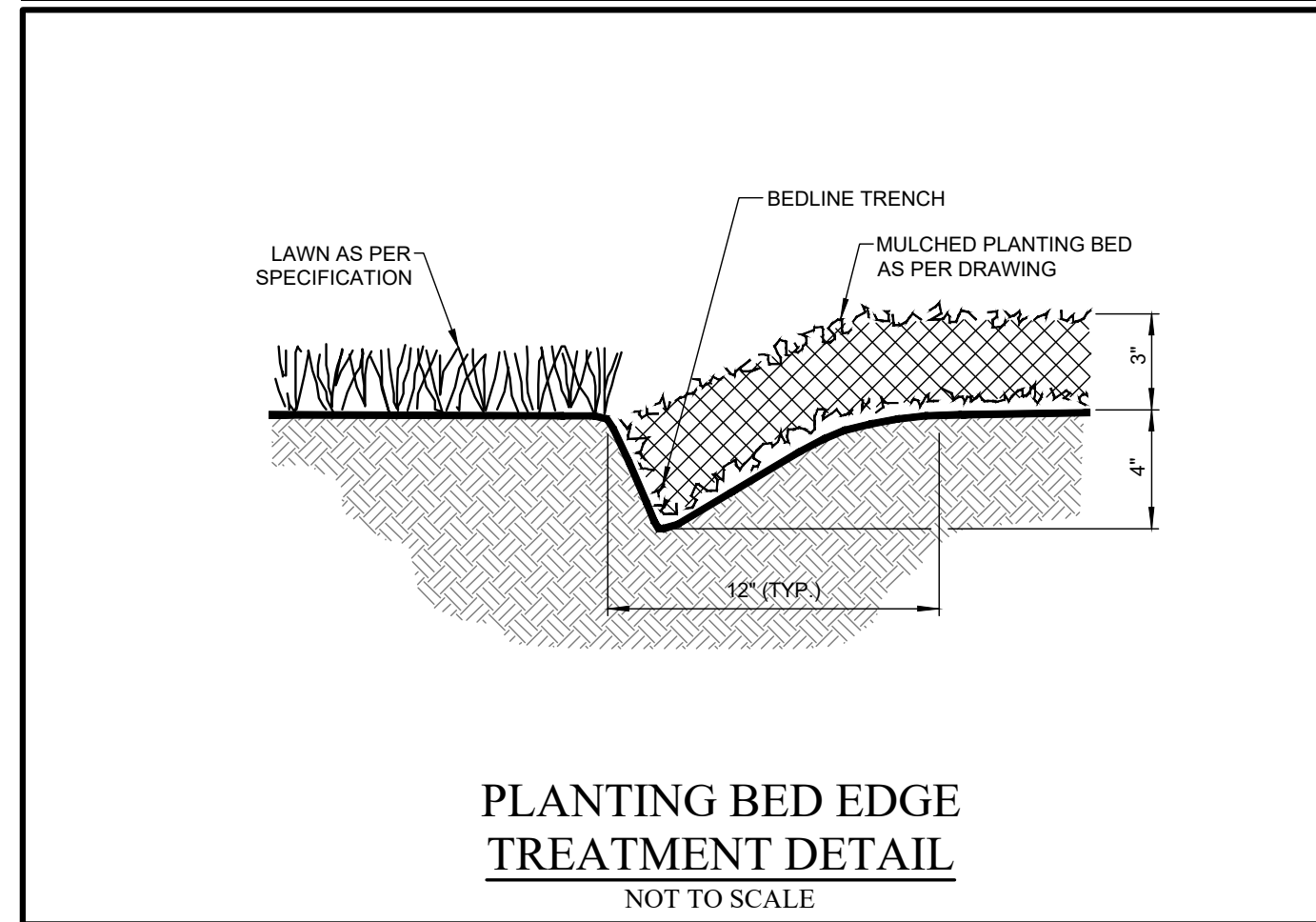
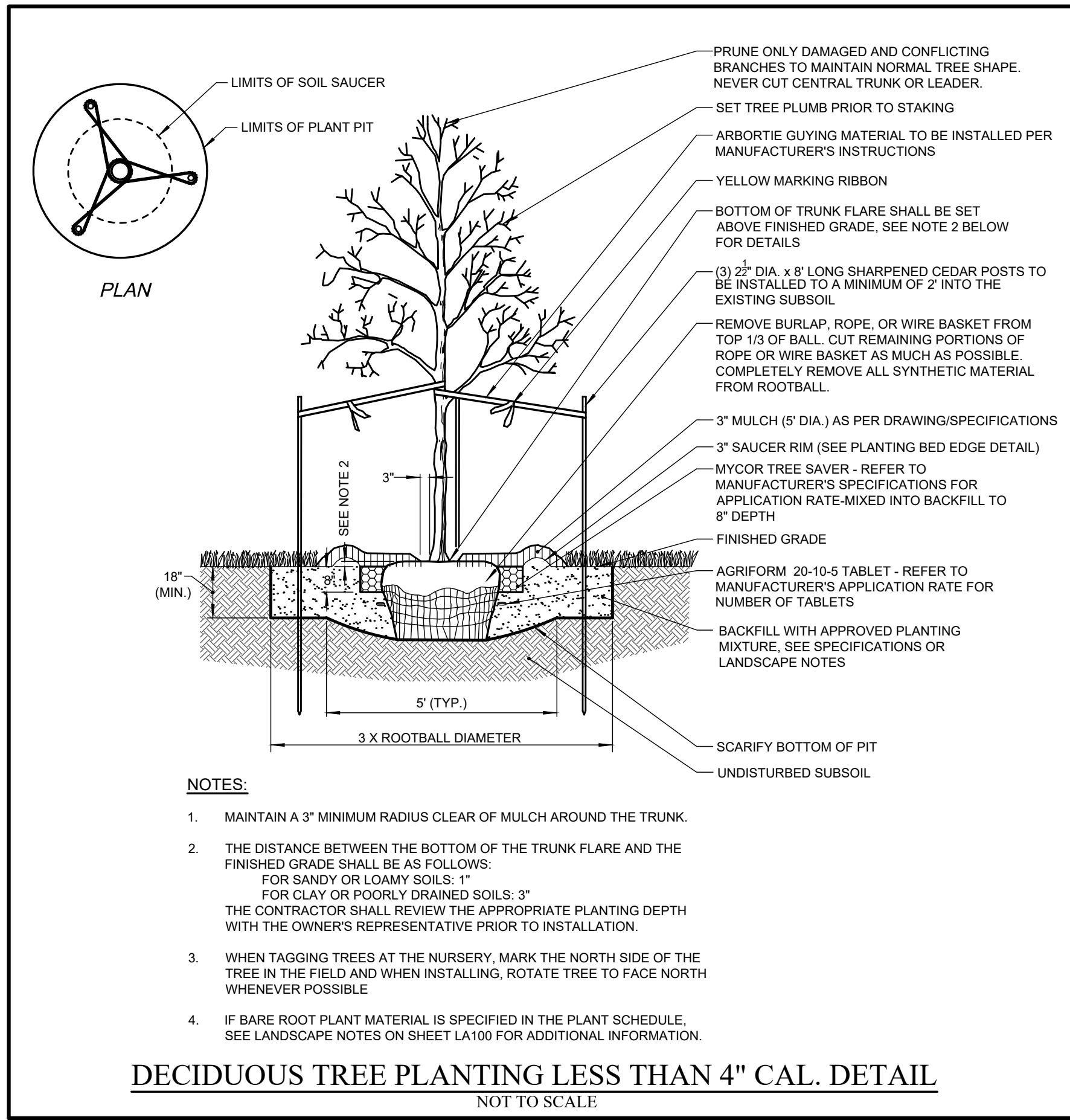
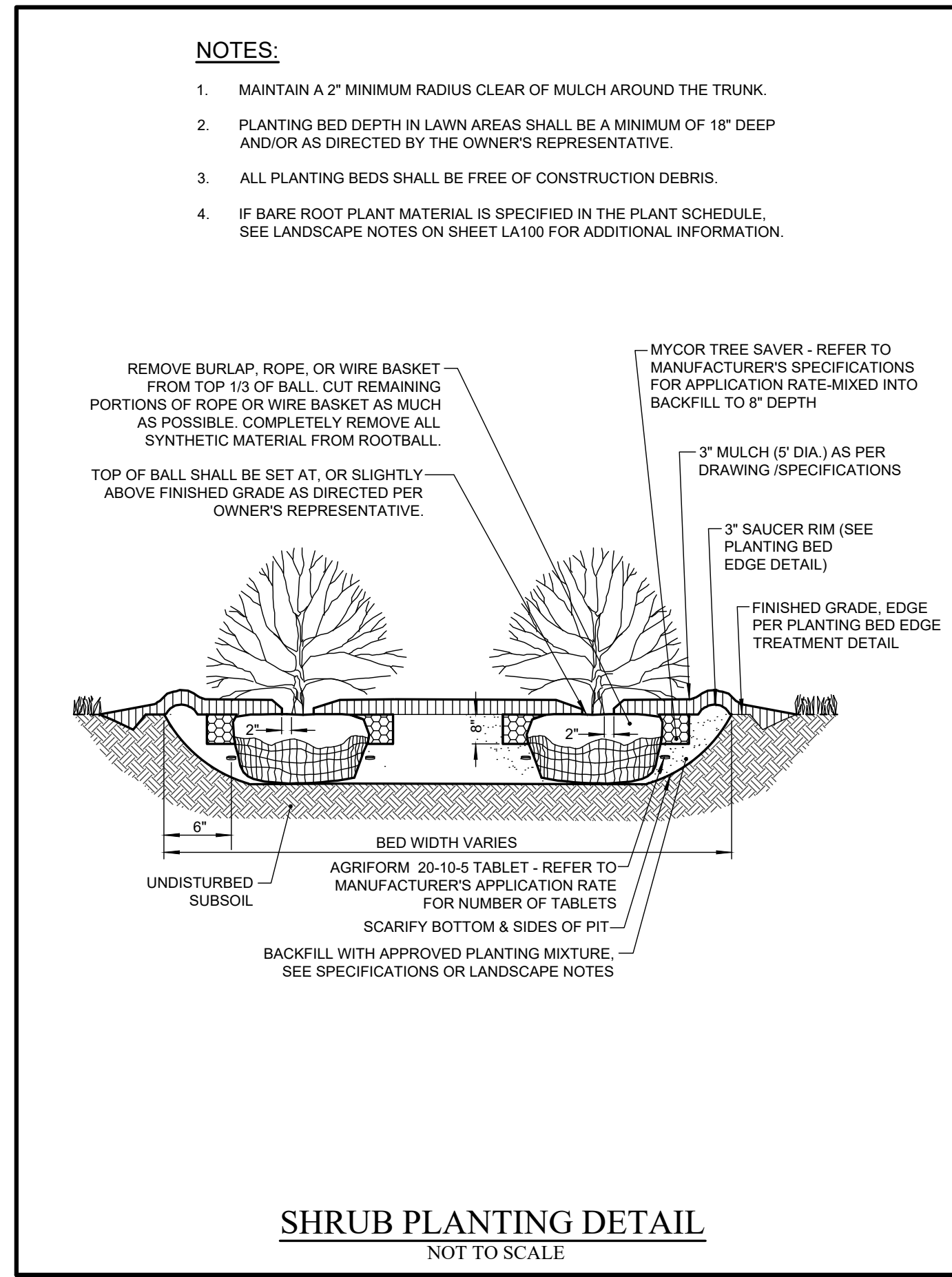
217 LAKE AVENUE  
ROCHESTER, NY 14609  
(585) 459-3020

Project Name and Address

**AMHERST DEVELOPMENT PARK - BUILDING ADDITIONS**  
6000-6040 N. Bailey Avenue  
Amherst, New York 14226

Drawing Name	
LANDSCAPE PLAN ENLARGEMENT AREAS	
Sheet	Drawing Number
4 OF 5	C-7.3
Date	Scale
6/12/2024	1"=20'





Revisions	No.	Revision/Issue	Date
	05	Revised based on Town Comments	2025-02-05
	04	Revised based on site plan changes	2024-12-10
	03	Revised based on site plan changes	2024-11-26
	02	Revised based on site plan changes	2024-10-14
	01	Revised based on site plan changes	2024-08-21

**Notes & References**

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PHONE: (716) 884-0111 FAX: (716) 884-7799  
WWW.BENDERSON.COM

PROJECT NO. 1910

Landscape Architect's Seal

Landscape Architect

**COSTICH ENGINEERING**

- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

217 LAKE AVENUE  
ROCHESTER, NY 14609  
(585) 459-3020

Project Name and Address

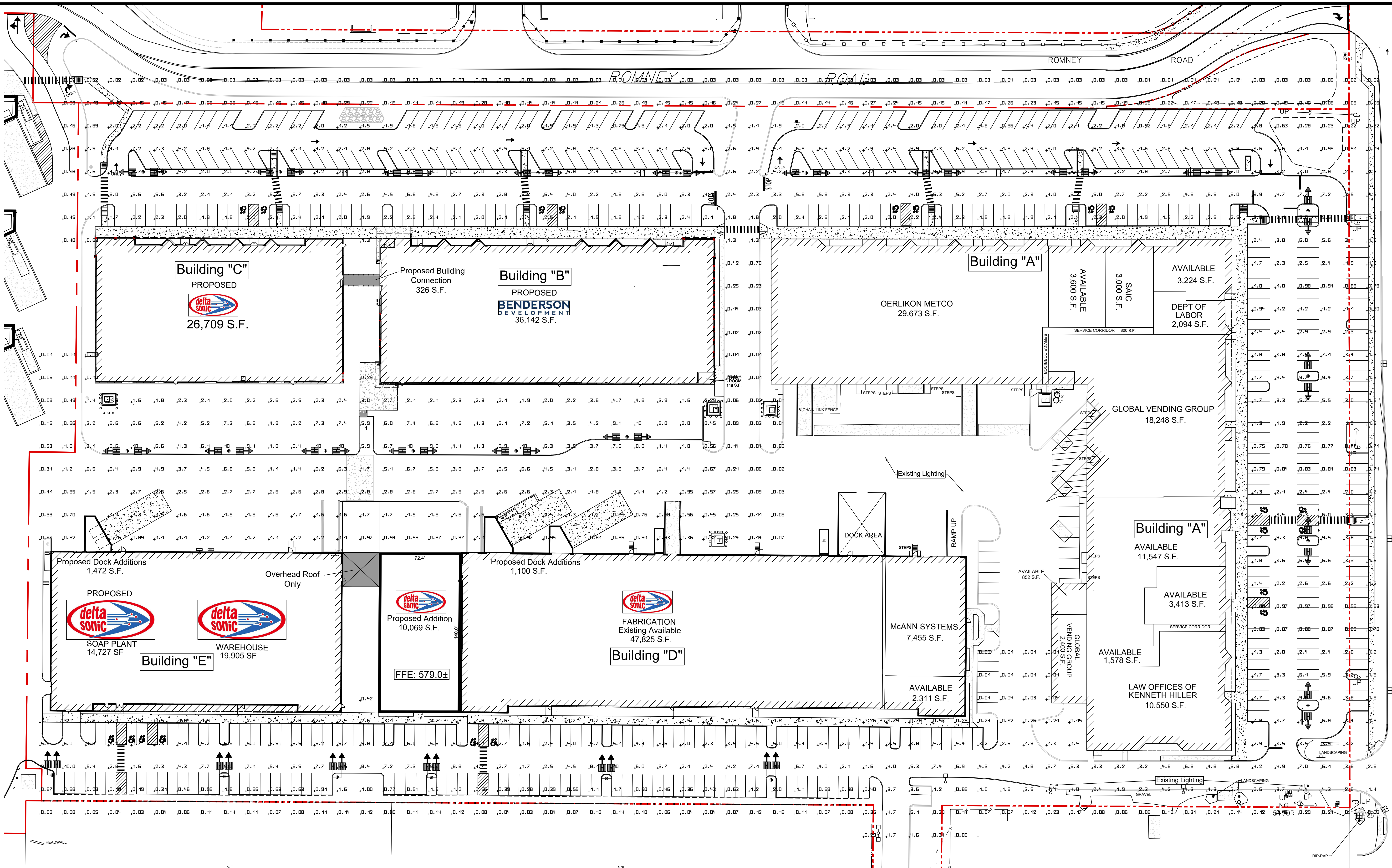
**AMHERST DEVELOPMENT PARK - BUILDING ADDITIONS**  
6000-6040 N. Bailey Avenue  
Amherst, New York 14226

Drawing Name

**LANDSCAPE PLAN ENLARGEMENT AREAS & DETAILS**

Sheet	5 OF 5	Drawing Number	<b>C-7.4</b>
Date	6/12/2024	Scale	
Scale	1"=20'		





**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
2	05.08.2024	DZ	Site Plan Update
4	07.31.2024	DZ	Site Updates
5	08.12.2024	DZ	Site Updates
7	12.03.2024	DZ	Town Comments
10	02.05.2025	DZ	Town Comments

**SPECIAL INFORMATION:**  
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**811**  
 Know what's below.  
 Call before you dig.

PROPERTY NUMBER: #1723  
 AREA: -

**Amherst Development Park**  
 6000 - 6040 North Bailey Ave  
 Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

**JAMES ALLEN RUMSEY**  
 ARCHITECT  
 PREPARED FOR  
**BENDERSON DEVELOPMENT**  
 570 DELAWARE AVE., BUFFALO, NY 14202  
 (716) 886-0211

SEAL

TITLE:  
**Site Lighting Plan**

SCALE:  
 1:70

DRAWN BY: DMZ  
 CHECKED BY: MAO  
 DATE: 08.16.2023

DRAWING NO.  
**C8.00**

**Luminaire Schedule**

Index	Manufacturer	Luminaire type	Item number	Lumens per Fixture	Mounting Height	Fixture Watts	Quantity
1	Cree	Cree Lighting OSQ Series Area Luminaire, Type SM, 180W Input Power Designator, 4000K Double Head Fixtures	OSQL-C-30L-40K7-3M-LJL-NM-BK	30,000 lm	25 Ft	180 W	19
2	Cree	Cree Lighting OSQ Series Area Luminaire, Type SM, 180W Input Power Designator, 4000K Double Head Fixtures with backlight shield	OSQL-C-30L-40K7-3M-LJL-NM-BK w/ OSQ-L-C-BLSF	19,600 lm	25 Ft	180 W	6

#	Name	Parameter	Min	Max	Average
1	Pavement Parking Area	Site FC	0.27 ft	9.96 ft	1.49 ft

\*Relocated Poles shall reuse existing LED Fixtures  
 \*\*Mounting Heights are measured from Finished Grade

UNITED STATES POSTAL SERVICE  
 T.A.# 54 14-117.2  
 5500 NORTH BAILEY AVENUE  
 L 9795 P-412



**OSQ Series**

OSQ™ LED Area/Flood Luminaire featuring Patented NanoComfort™ Technology – Version C

**Product Description**

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatheright LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. Medium is suitable upgrade for HID applications up to 400 Watts. Large is suitable upgrade for HID applications up to 1000 Watts. Extra Large is suitable upgrade for HID applications up to multiple 1000 Watts.

**Applications:** Parking lots, walkways, campuses, car dealerships, office complexes, high-mast and internal roadways

**Performance Summary**

Utilizes Patented NanoComfort™ Technology

Utilizes Cree TrueWhite® Technology on 5000K Luminaires

Assembled in the USA by Cree Lighting from US and imported parts

**Initial Delivered Lumens:** 4,000 - 75,000

**Efficacy:** Up to 171 LPW

**CRI:** Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

**CCT:** 3000K, 4000K, 5000K, 5700K

**Limited Warranty:** 10 years for luminaire; 10 years for Colorfast DeltaGuard® finish; 5 years for BML sensor; up to 5 years for Synapse® accessories; 1 year for luminaire accessories

\* See [www.cree.com/lighting/warranty](http://www.cree.com/lighting/warranty) for warranty terms. For Synapse accessories, consult Synapse spec sheets for details on warranty terms.

**Ordering Information**

Fully assembled luminaire is composed of two components that must be ordered separately:

Example: Mount: OSQ-ML-C-AA-BK + Luminaire: OSQM-C-4L-30K7-2M-UL-NM-BK

**Mount (Luminaire must be ordered separately)\***

OSQ-  
Medium/Large Mounts  
OSQ-ML-C-AA Adjustable Arm  
OSQ-ML-C-DA Direct Arm  
OSQ-ML-C-TM Transition Mount

Extra Large Mounts  
OSQ-X-C-AA Adjustable Arm  
OSQ-X-C-DA Direct Arm

Color Options: SV Silver, BK Black, BR Bronze, WH White

\* Reference luminaire mounting diagrams: EPA, and pole configuration suitability data beginning on page 24.

**Luminaire (Mount must be ordered separately)**

OSQ-  
Family Size  
Lumen Package  
CRI  
Optic  
Voltage  
Mount  
Color Options  
Controls\*  
Options

Family	Size	Lumen Package	CRI	Optic	Voltage	Mount	Color Options	Controls*	Options	
OSQ	M Medium	2000K	2000K	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression
		4000K	4000K	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression
		5000K	5000K	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression
		5700K	5700K	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression
		90CRI	90CRI	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression
		90CRI	90CRI	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression
	L Large	2000K	2000K	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression
		4000K	4000K	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression
		5000K	5000K	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression
		5700K	5700K	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression
		90CRI	90CRI	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression
		90CRI	90CRI	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression
E Extra Large	2000K	2000K	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression	
	4000K	4000K	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression	
	5000K	5000K	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression	
	5700K	5700K	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression	
	90CRI	90CRI	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression	
	90CRI	90CRI	2M	Asymmetric	48	Universal	None	200V	200V/15k Surge Suppression	

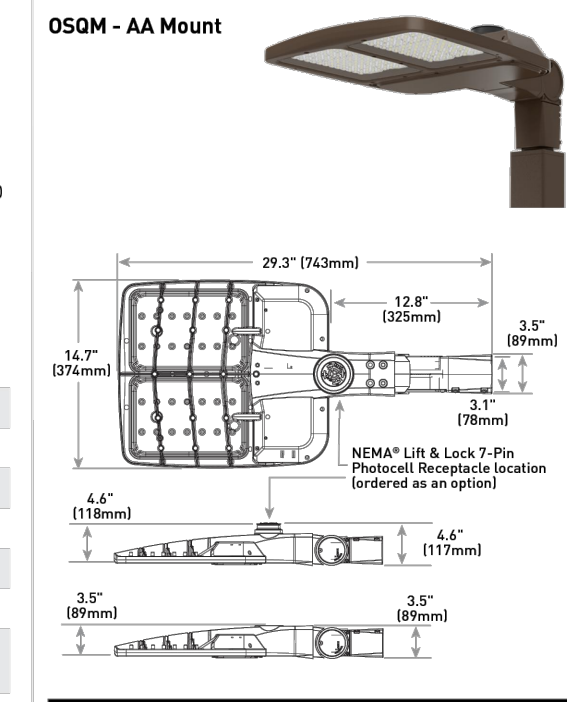
\* Lumen Package codes identify approximate light output only. Actual Lumen output levels vary by CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values.

\* Luminaire cones standard width 0.70 degrees.

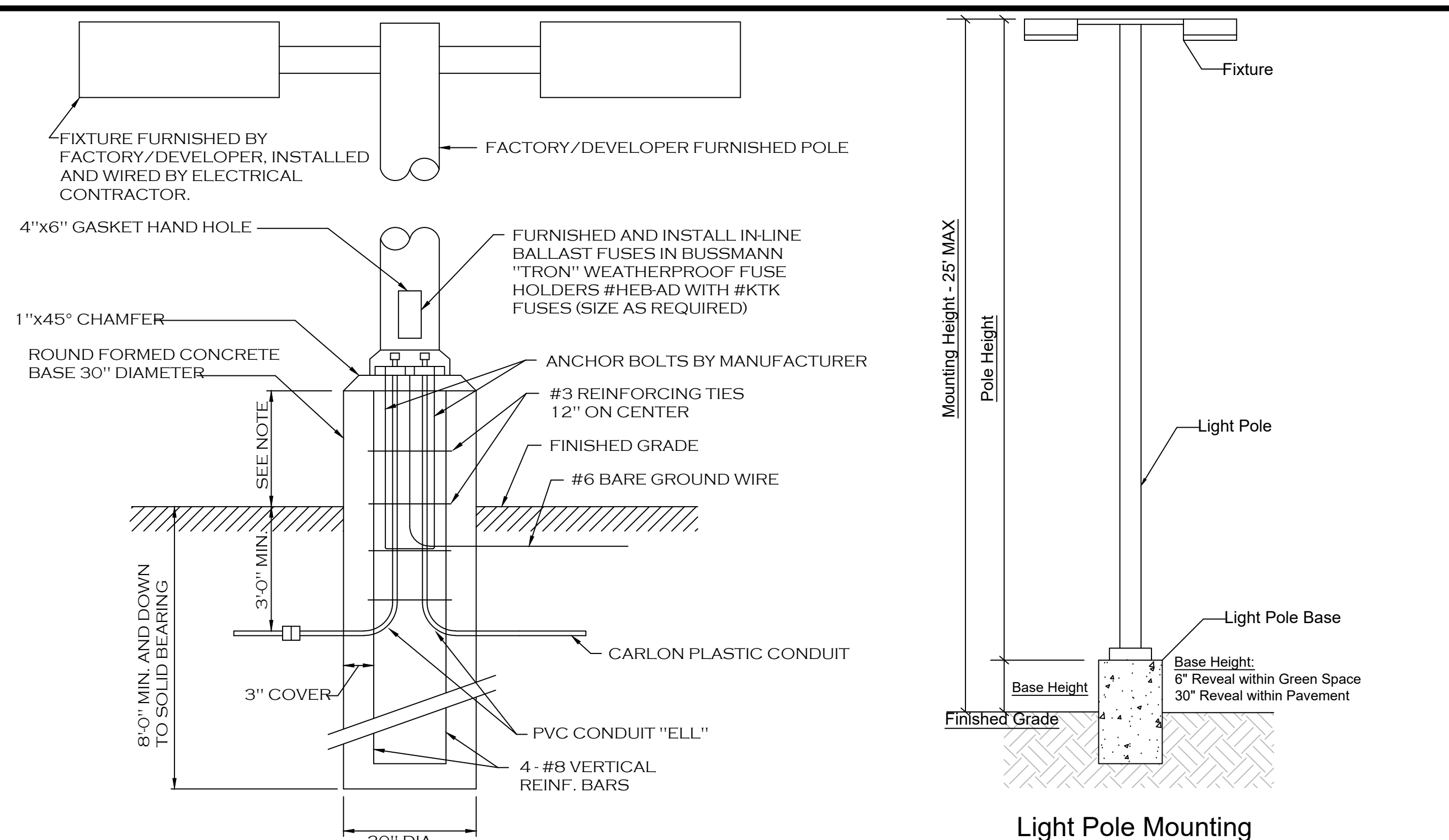


**CREE LIGHTING**

US: [cree.com](http://cree.com) 8000 236-6800  
Canada: [cree.com](http://cree.com) 8000 473-1234



OSQM - AA Mount



**NOTES:**

- FOR LOCATIONS OF FOUNDATIONS SEE SITE PLAN
- FOR LIGHT FIXTURE ORDERING INFORMATION SEE SITE LIGHTING PLAN
- LIGHT POLE BASE EXPOSURE ABOVE GRADE SHALL BE:  
IN CURBED ISLANDS: 6" ABOVE TOP OF CURB ELEVATION  
IN PAVEMENT: 30" ABOVE GRADE  
IN NON-CURBED GRASS AREAS: 6" ABOVE GRADE

**LIGHT POLE FOUNDATION**

**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
4	07.31.2024	DZ	Site Updates
10	02.05.2025	DZ	Town Comments

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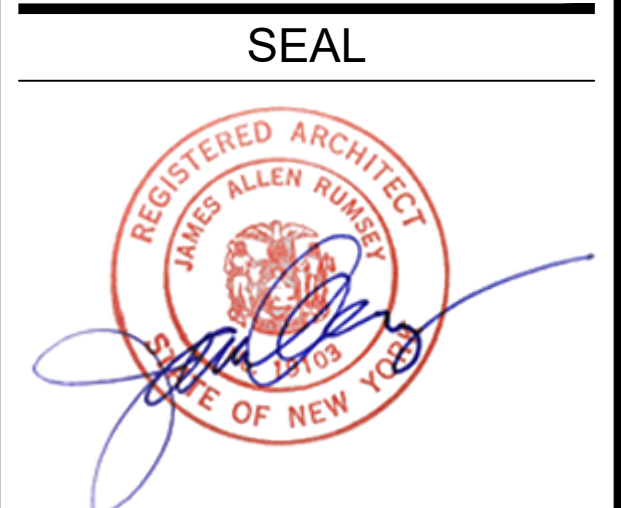
PROPERTY NUMBER: #1723  
AREA: -

**Amherst Development Park**  
6000 - 6040 North Bailey Ave  
Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR  
**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211



TITLE:  
**Lighting Details**

SCALE:  
NTS

DRAWN BY: DMZ  
DRAWING NO. C8.10

CHECKED BY: MAO  
DATE: 08.16.2023

OFFICIAL TOWN USE ONLY