

# PROPOSED SITE MODIFICATIONS

Amherst Development Park  
 6000 - 6040 N.Bailey Ave, Amherst, NY  
 BDC Property # 1723  
 SITE DEVELOPMENT DRAWINGS

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## OWNER/DEVELOPER:

NAME: BENDERSON DEVELOPMENT COMPANY, LLC  
 ADDRESS: 570 DELAWARE AVENUE, BUFFALO, NY 14202  
 CONTACT: DAVID ZUPPELLI  
 PHONE: 716 - 878 - 9683

 **BENDERSON DEVELOPMENT COMPANY, LLC**  
 570 Delaware Ave.  
 Buffalo, New York 14202

## SURVEYOR

NAME: KHEOPS ARCHITECTURE, ENGINEERING & SURVEY, DCP  
 ADDRESS: 300 PEARL STREET, BUFFALO, NY 14202  
 CONTACT: -  
 PHONE: 716-849-8739

## UTILITIES:

NATURAL GAS  
 NAME/TITLE: WILLIAM SCHNEIDER  
 COMPANY/DEPT: NATURAL FUEL GAS  
 ADDRESS: -  
 PHONE: 716 - 696 - 6460

TELEPHONE COMPANY  
 NAME/TITLE: JOHN HECKMAN  
 COMPANY/DEPT: VERIZON  
 ADDRESS: -  
 PHONE: 716 - 840 - 8603

ELECTRIC  
 NAME/TITLE: -  
 COMPANY/DEPT: NATIONAL GRID  
 ADDRESS: -  
 PHONE: -

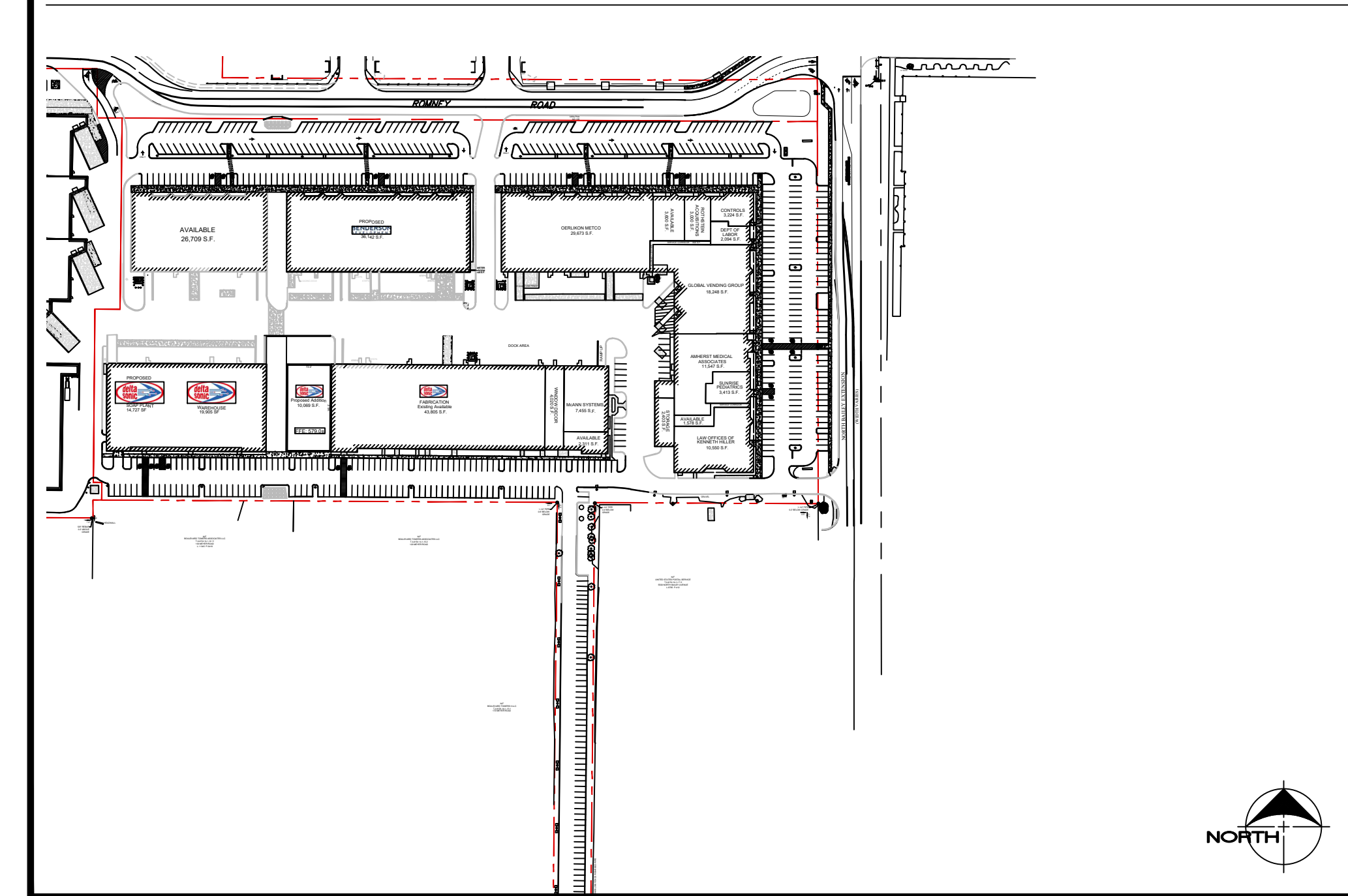
DIG SAFELY NEW YORK  
 PHONE: 1 - 800 - 962 - 7962 OR (811)

## AGENCIES:

ENGINEERING DEPARTMENT  
 NAME/TITLE: JEFF BURROUGHS  
 COMPANY/DEPT: TOWN OF AMHERST, NY - ENGINEERING DPT  
 ADDRESS: 1100 NORTH FOREST RD, WILLIAMSVILLE, NY  
 PHONE: 716 - 631 - 7154 EX 7418

BUILDING & PLUMBING DEPARTMENT  
 NAME/TITLE: -  
 COMPANY/DEPT: TOWN OF AMHERST, NY - BUILDING DPT  
 ADDRESS: 5583 MAIN STREET, WILLIAMSVILLE, NY 14221  
 PHONE: 716 - 631 - 7080

SITE LOCATION MAP 1:200



REGIONAL LOCATION MAP NTS



OFFICIAL TOWN USE ONLY

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
2	05.08.2024	DZ	Site Plan Update
3	06.12.2024	DZ	Site Updates
4	07.31.2024	DZ	Site Updates
5	08.12.2024	DZ	Site Updates
6	08.30.2024	DZ	Town Comments

SPECIAL INFORMATION:  
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PROPERTY NUMBER: #1723  
 AREA: -

**Amherst Development Park**  
 6000 - 6040 North Bailey Ave  
 Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
 ARCHITECT  
 PREPARED FOR  
**BENDERSON DEVELOPMENT**  
 570 DELAWARE AVE., BUFFALO, NY 14202  
 (716) 886-0211

SEAL

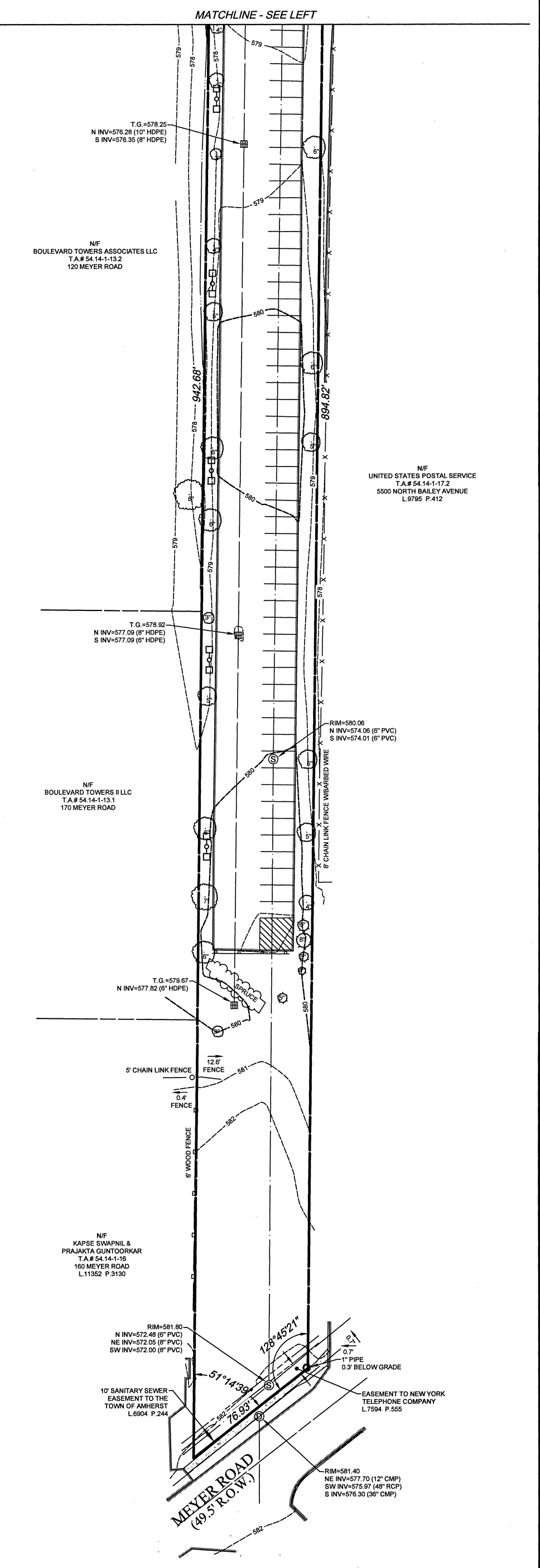
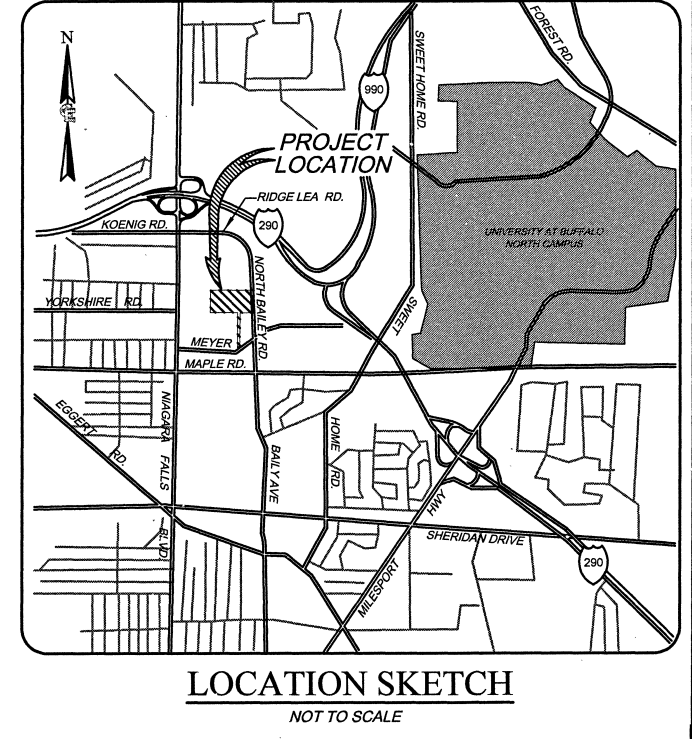
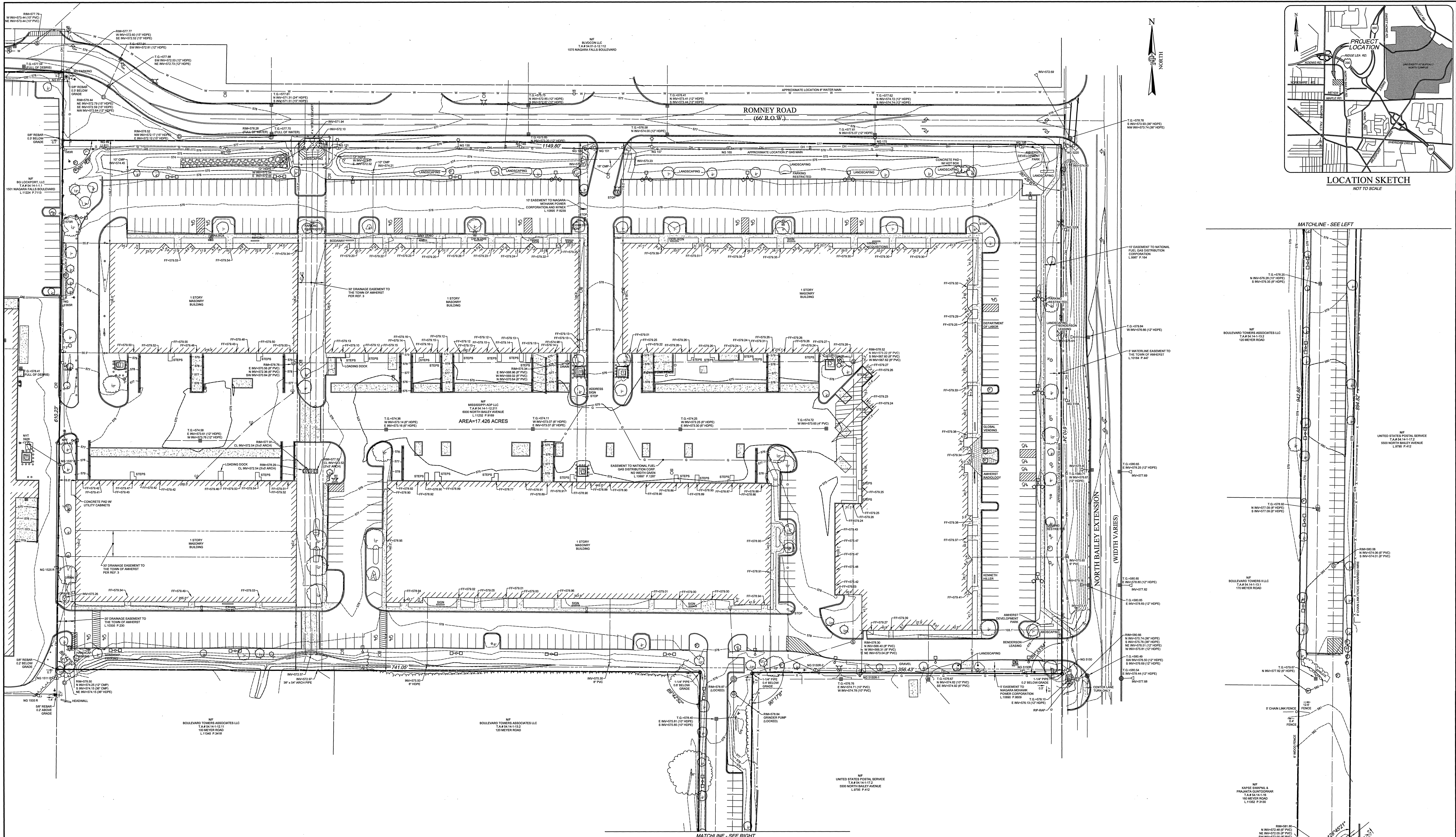


TITLE:  
**COVER SHEET**

SCALE:  
 NTS  
 DRAWN BY: DMZ  
 CHECKED BY: MAO  
 DATE: 11.16.2023

DRAWING NO.  
**C1.0**





**LINE LEGEND**

[Symbol]	SECTION/PARCEL BOUNDARY
[Symbol]	MIN. BUILDING SETBACK
[Symbol]	CATCH BASIN
[Symbol]	EXIST. EASEMENT LINE
[Symbol]	EXIST. RIGHT-OF-WAY LINE
[Symbol]	EXIST. EDGE OF PAVEMENT
[Symbol]	EXISTING WATER MAIN, VALVE, & HYDRANT
[Symbol]	EXISTING SANITARY SEWER & MANHOLE
[Symbol]	EXISTING DRAINAGE SEWER, FIELD INLET, INLET MANHOLE, MANHOLE, & END SECTION
[Symbol]	EXISTING OVERHEAD UTILITIES
[Symbol]	EXISTING UNDERGROUND UTILITIES
[Symbol]	EXISTING GAS
[Symbol]	EXISTING ELECTRIC
[Symbol]	EXISTING GUARD RAIL
[Symbol]	TREE HEDGE/EDGE OF WOODS
[Symbol]	EXISTING SWALE
[Symbol]	BARBED WIRE STOCKADE/CHAIN LINKED FENCE
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING SPOT ELEVATION @ X
[Symbol]	CONCRETE PAVED CONCRETE SIDEWALK

**SYMBOL LEGEND**

[Symbol]	DRAINAGE MANHOLE
[Symbol]	ELECTRIC MANHOLE
[Symbol]	ELECTRIC METER
[Symbol]	TELEPHONE MANHOLE
[Symbol]	TELEPHONE PEDESTAL
[Symbol]	PHONE BOOTH
[Symbol]	PEDESTRIAN POLE
[Symbol]	TRAFFIC CONTROL CABINET
[Symbol]	LAMP POST
[Symbol]	LIGHT POLE
[Symbol]	UTILITY POLE WITH LIGHT
[Symbol]	FLAG POLE
[Symbol]	MAILBOX
[Symbol]	POST
[Symbol]	SON
[Symbol]	TURNING ARROW
[Symbol]	HANDICAP
[Symbol]	STOP BAR
[Symbol]	TREE DECIDUOUS
[Symbol]	TREE CONIFEROUS
[Symbol]	BUSH

**EASEMENT NOTES**  
T.A.# 54.14-1-12.211

- EASEMENT MADE BY BULLVALE POWER CO. TO NEW YORK TELEPHONE COMPANY RECORDED OCTOBER 30, 1968 IN LIBER 7527 OF DEEDS, PAGE 64. (NOT PLATTABLE)
- EASEMENT MADE BY MARKET DEVELOPMENT CORPORATION OF NEW YORK TO NIAGARA MOHAWK POWER CORPORATION RECORDED SEPTEMBER 11, 1967 IN LIBER 7392 OF DEEDS, PAGE 41. (DOES NOT AFFECT PREMISES)
- RIGHT OF WAY MADE BY MARKET DEVELOPMENT CORPORATION OF NEW YORK TO NIAGARA MOHAWK POWER CORPORATION RECORDED SEPTEMBER 29, 1967 IN LIBER 7399 OF DEEDS, PAGE 58. (NOT PLATTABLE)
- EASEMENT FROM NIAGARA BOULEVARD TOWERS, INC. TO NIAGARA MOHAWK POWER CORPORATION AND NEW YORK TELEPHONE CO. RECORDED ON AUGUST 29, 1968 IN LIBER 7506 OF DEEDS, PAGE 503. (NOT PLATTABLE)
- EASEMENT RESERVED BY BULLVALE TOWERS CO. CONTAINED IN DEED RECORDED ON JULY 28, 1968 AT LIBER 8895 OF DEEDS, PAGE 528.

**SURVEY NOTES**

- TOPOGRAPHY SHOWN FROM A FIELD SURVEY BY COSTICH ENGINEERING ON 8/20/21 HORIZONTAL AND VERTICAL DATA OBTAINED THROUGH MYDOT CORRS NETWORK REFERENCED TO THE FOLLOWING MONUMENT:  
HAMBURG CORRS STATION  
-LATITUDE: 42-43.37 82028 (N)  
-LONGITUDE: 079-54-54 28658 (W)  
-ELLIPSOID: 312.558 METERS NAVD 83 (CORRS)

**REFERENCES**

- THE DEEDS AS SHOWN ON FILE AT THE ERIE COUNTY CLERKS OFFICE.
- ALTAIRPS LAND TITLE SURVEY PREPARED FOR DOR - PROJECT SAREE PROJECT, PREPARED BY BOCK & CLARK, HAVING PROJECT NO. 20190438-003, DATED 12/29/2018.
- ALTAIRPS LAND TITLE SURVEY 6000-840 NORTH BAILEY AVENUE, PREPARED BY TVGA CONSULTANTS, HAVING JOB NO. 2008-0595-00, DATED 07/20/08.

**UTILITY INFORMATION**

UTILITY INFORMATION PER LUPO DESIGN TICKET # 04201-000-825-00 DATED APRIL 23, 2021

1. CHARTER COMMUNICATIONS BUFFALO	317-575-7600 X2	NO CONFLICT
2. ERIE COUNTY WATER AUTHORITY	716-645-8207	UTILITIES PLOTTED
3. LIGHTOWER FIBER TECHNOLOGIES	888-852-0931 X2	NO RESPONSE
4. NATIONAL FUEL GAS - TONAWANDA	716-887-7431	UTILITIES PLOTTED
5. NATIONAL GRID - WEST - ELECTRIC	315-428-6319	NO CONFLICT
6. SUNOCO PIPELINE LP	716-869-7079	NO RESPONSE
7. TOWN OF AMHERST	716-831-7413	UTILITIES PLOTTED
8. VERIZON / BUFFALO	315-827-2515	UTILITIES PLOTTED

**SITE DATA**

T.A.# 54.14-1-12.211

- EXISTING ZONING: RD - RESEARCH AND DEVELOPMENT DISTRICT
- BULK REQUIREMENTS: REQUIRED

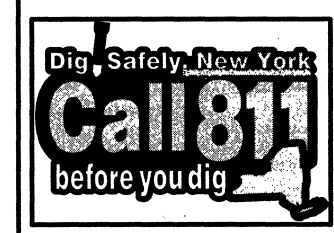
MIN. LOT AREA (SQ FT)	1 ACRE
MAX. LOT COVERAGE	NONE REQUIRED
MIN. LOT WIDTH (FT)	35
MAX. BUILDING HEIGHT (FT)	65 FEET
MIN. FRONT YARD SETBACK (FT)	20 FEET FOR BUILDINGS UP TO 35 FEET IN HEIGHT; 30 FEET FOR BUILDINGS GREATER THAN 35 FEET IN HEIGHT
MIN. SIDE YARD SETBACK (FT)	5 TO 10 FEET FOR BUILDINGS UP TO 30 FEET IN HEIGHT; 25 FEET FOR BUILDINGS GREATER THAN 30 FEET IN HEIGHT; PLUS 3 FEET FOR EACH FOOT OF HEIGHT OVER 35 FEET
MIN. REAR YARD SETBACK (FT)	15 FEET FOR BUILDINGS UP TO 30 FEET IN HEIGHT; 20 FEET FOR BUILDINGS GREATER THAN 30 FEET IN HEIGHT; PLUS 3 FEET FOR EACH FOOT OF HEIGHT OVER 35 FEET

**CERTIFICATION**

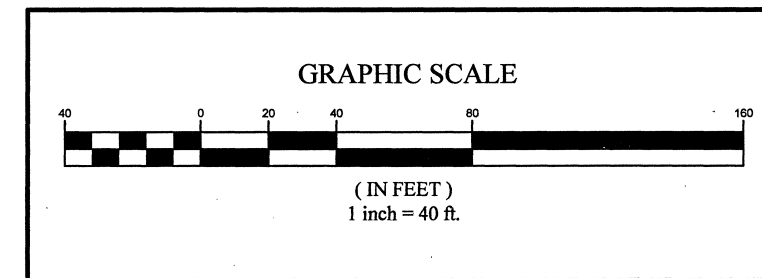
WE, COSTICH ENGINEERING, D.P.C., HEREBY CERTIFY TO:

THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON MAY 12, 2021 AND FROM THE REFERENCED LISTED HEREON. NO SEARCH OF RECORDS, OTHER THAN THOSE REFERENCED, WAS MADE FOR EASEMENTS OR ENCUMBRANCES AFFECTING THIS PARCEL.

By: *David T. Nickl* Date: 6-7-2021  
David T. Nickl, N.Y.E.L.S. No. 050449



EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR DEPTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER, THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.



NO.	DATE	REVISION	BY	CHKD.	PKL

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IF IN VIOLATION OF LAW FOR ANY REASON, UNDERSTANDING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, PROFESSIONAL LAND SURVEYOR, OR PROFESSIONAL GEOTECHNICAL ENGINEER, ANY PART OF THIS DOCUMENT IS TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF COSTICH ENGINEERING, D.P.C. ANY SUCH USE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO COSTICH ENGINEERING, D.P.C.

PROJECT ENGINEER: M. O.B.  
DRAWN BY: G.M.S.  
CHECKED BY: G.M.S.  
TYPED BY: G.L.R.  
DATE: 6/1/2021  
SCALE: 1"=40'

**COSTICH ENGINEERING**

217 LAKE AVENUE  
ROCHESTER, NY 14609  
(585) 426-5300

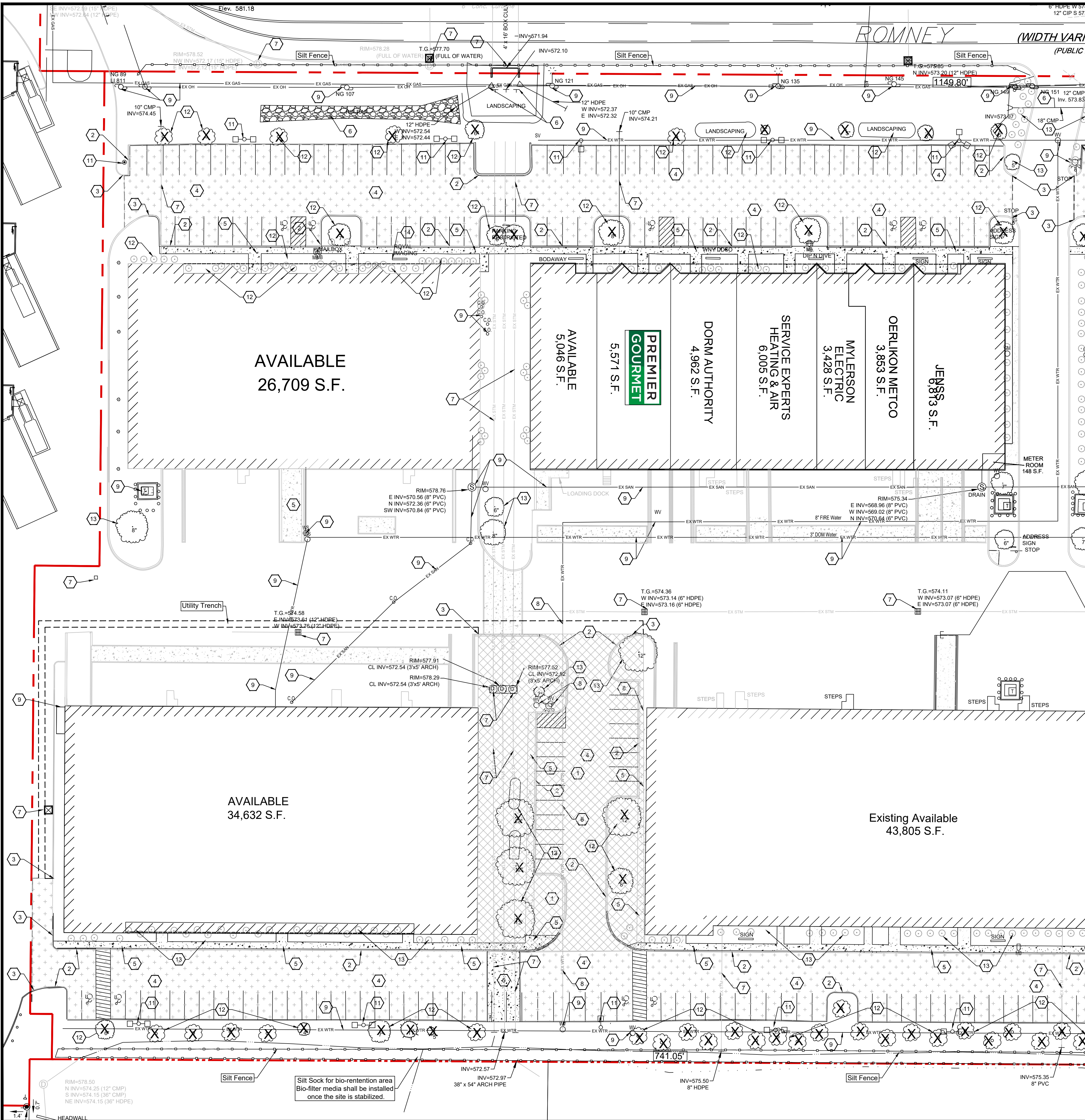
**EXISTING FEATURES**

LOCATION OF PROJECT: TAX PARCEL NO. 51.14-1-12.11  
TOWN LOT 14, TOWNSHIP 15, RANGE 7, COUNTY OF AMHERST, COUNTY OF ERIE, STATE OF NEW YORK  
CLIENT: NIAGARA MOHAWK DEVELOPMENT CO., INC. (FORMERLY NIAGARA MOHAWK DEVELOPMENT CO., INC.)  
570 DELAWARE AVENUE  
BUFFALO, NEW YORK 14203

TITLE OF PROJECT: 1723/5256 AMHERST DEVELOPMENT  
TITLE OF DRAWING: EXISTING FEATURES

V.A.110  
SHEET 1 OF 1





ROMNEY (WIDTH VARIES) (PUBLIC)

- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
  2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
  3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
  4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
  5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
  6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
  7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
  8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
  9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
  10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
  11. CONCRETE SIDEWALK SEALERS: REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.
    - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLED WATER HAS DISSIPATED.
    - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPROX. 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (1) COAT OF CHEMMASTERS - POLYUREAL EZ.
  12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
  13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

**DEMOLITION LEGEND:**

- Property Line
- Existing Electric
- Existing Gas
- Existing Water
- Existing Overhead Utility
- Existing Sanitary
- Existing Storm
- Existing Telecoms
- Saw Cut Line
- Silt Fence/Sock
- Inlet Protection
- Tree Removal
- Existing area to be removed.
- Existing Asphalt Pavement to be Removed. Sub-base to Remain.

- DEMOLITION NOTES: #**
1. Existing Area to be Cleared.
  2. Existing Curb to be removed.
  3. Limits of Curb Removal.
  4. Existing Asphalt Pavement to be removed.
  5. Existing Concrete Sidewalk/ Pavement/ Ramps to be removed.
  6. Existing Storm Drainage/CB to be removed.
  7. Existing Storm Drainage/CB to remain and be protected during Construction.
  8. Existing Utility Structure to be removed.
  9. Existing Utility Structure to remain and be protected during Construction.
  10. Existing Pylon Sign to remain and be protected during Construction.
  11. Existing Light Pole Base to be Relocated
  12. Existing Landscaping to be Removed
  13. Existing Landscaping to remain and be protected during construction.
  14. Existing Bollard/Signage to be removed.

Project Disturbance  
 Sub-Surface Disturbance: 3.92 Acres  
 Surface Disturbance: 3.03 Acres  
 Total Disturbance: 6.95 Acres.

DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
2	05.08.2024	DZ	Site Plan Update
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**811**  
 Know what's below.  
 Call before you dig.

PROPERTY NUMBER: #1723  
 AREA: -

**Amherst Development Park**  
 6000 - 6040 North Bailey Ave  
 Amherst, NY 14226

**PROPOSED  
 SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
 ARCHITECT  
 PREPARED FOR

**BENDERSON  
 DEVELOPMENT**  
 570 DELAWARE AVE., BUFFALO, NY 14202  
 (716) 886-0211

SEAL

TITLE: **Demolition and Erosion Control Plan (West)**

SCALE: 1:30  
 DRAWN BY: DMZ  
 CHECKED BY: MAO  
 DATE: 08.16.2023

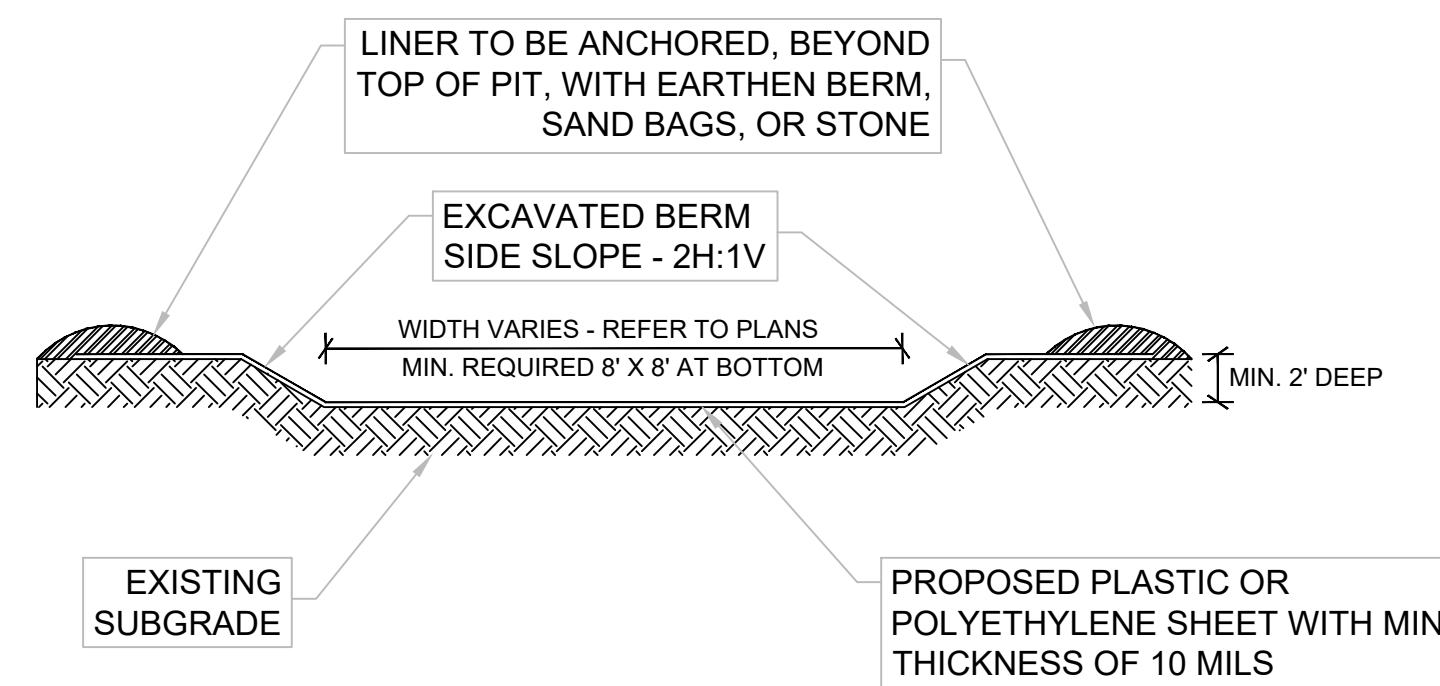
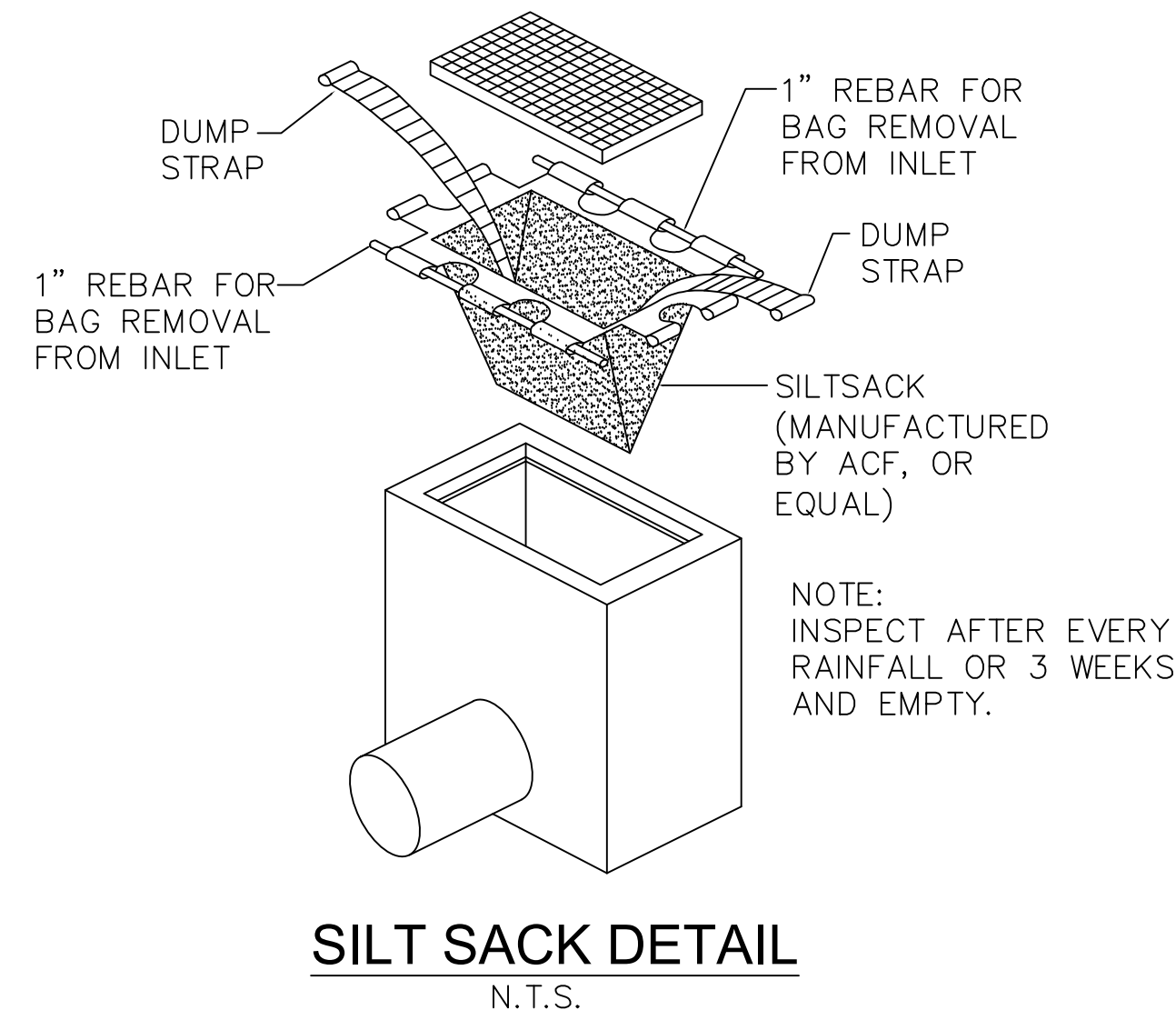
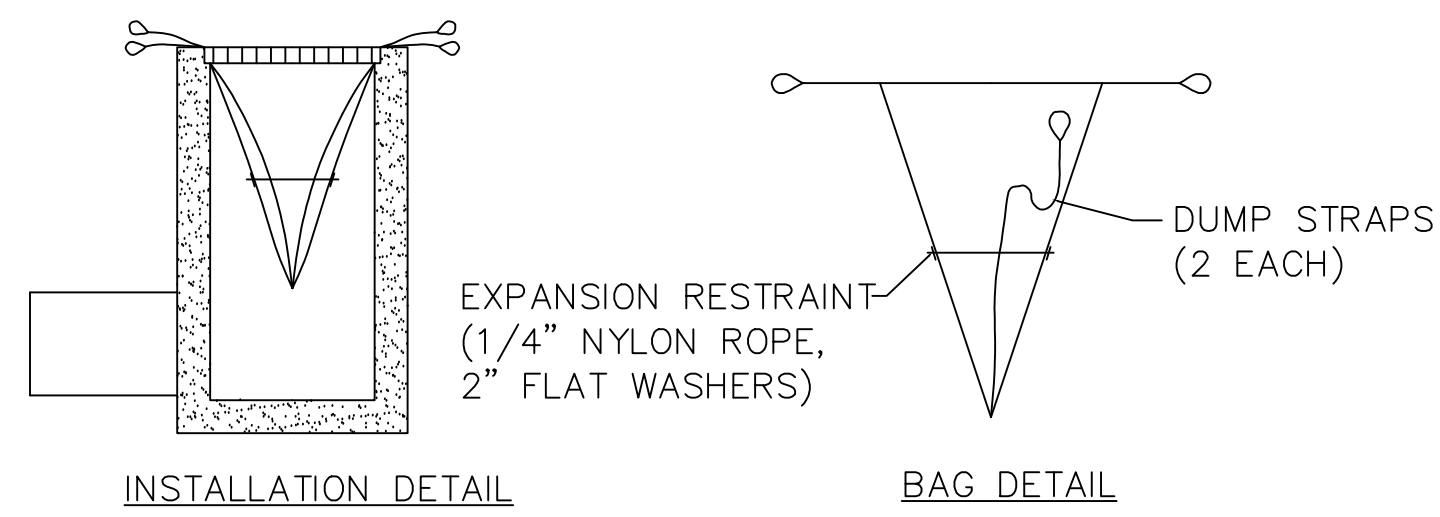
DRAWING NO. **C3.00**

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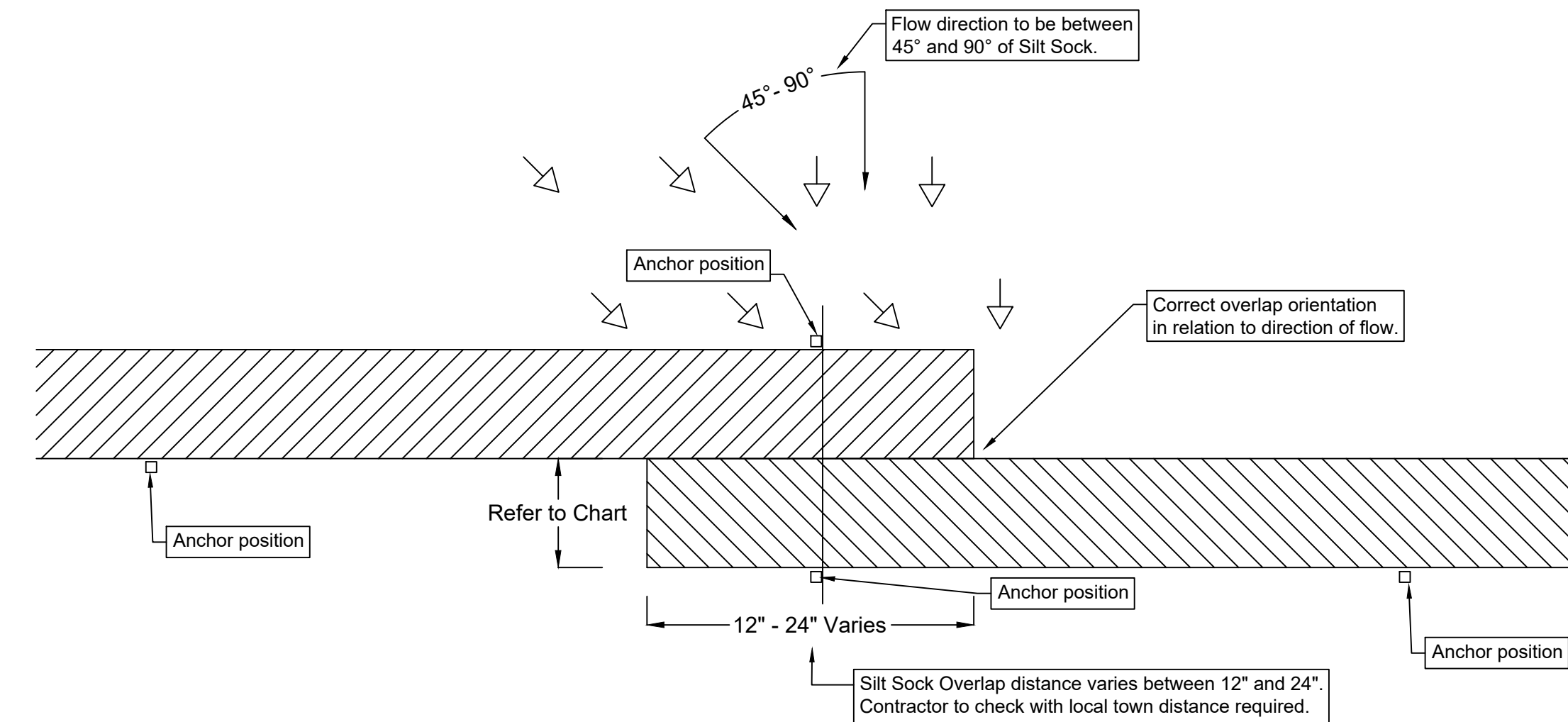
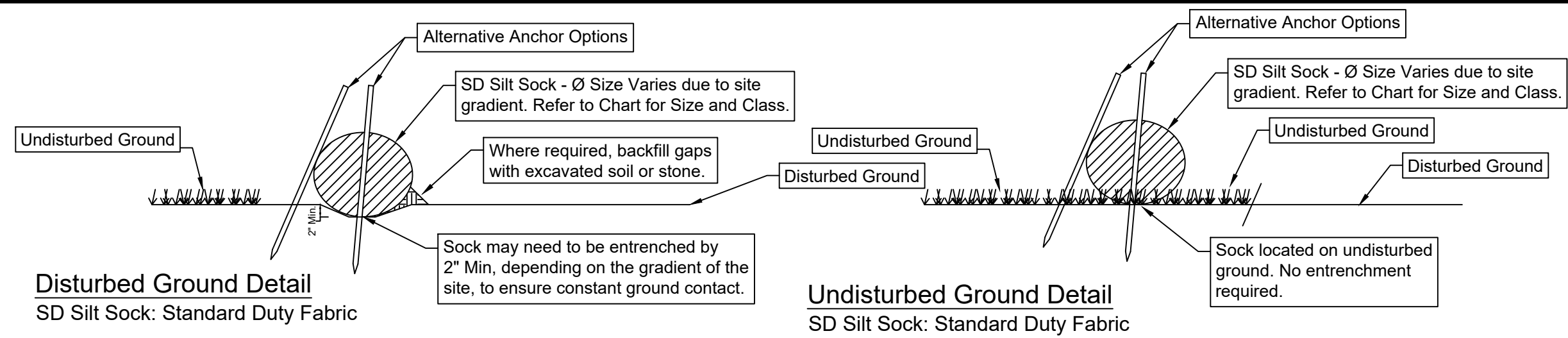




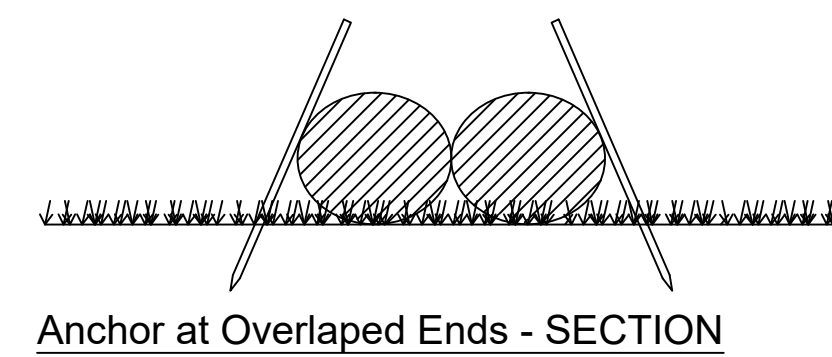




NOTES:  
1. CONSTRUCT TO 2016 NYSDEC BLUE BOOK DESIGN CRITERIA



1) Anchors required at the overlap section are to stay outside the Silt Sock and not pierce through the material. See alternative anchor positions in details above.



**Size & Class Chart**

Gradient	Diameter		
	8"	12"	18"
0 - 2%	30	55	75
2.1 - 5%	25	40	55
5.1 - 10%	15	30	40
10.1 - 33%	10	15	20
> 33%	5	10	15

**SD SILT SOCK DETAIL**  
SD Silt Sock: Standard Duty Fabric

**Notes:**

- Do not use sock below the normal watermark or perpendicular to flow in river and where the maximum incline is greater than 50%.
- Contractors should be aware of federal, state and local laws, rules regulations or permit requirements for the use of Silt Socks on site.
- Sock should be positioned on the outline of the area to be protected, but must be installed between 45° to 90° from directions of flow.
- Sock may be required to be entrenched a minimum of 2" on disturbed ground to ensure constant ground contact.
- All gaps and ruts must be backfilled with soil or sock material.
- Sock overlap should be in the direction of the flow. Overlap amount will be between 12" and 24". Contractor to check with local town for requirements.
- If sediment collects to 1/2 the height of the sock, then a second sock may be stacked immediately up slope of the original instead of removing the sediment.
- Sock joint is where two sock sections meet on a level grade, overlap and adjoining ends, tightening the ends together, and anchoring through each end. Where two sections meet on un-level ground, j-hook higher elevated end, anchor, and begin new section just below. Back fill any gaps.
- Sock should be inspected and repaired as needed.
- If ruts begin under the sock they should be backfilled with soil and compacted so that the ground and sock have continuous contact.
- If sock rolls out of place, the sock should be repositioned and secured with additional anchors.
- Tears in the Sock fabric may be repaired by wrapping a new piece of fabric over the sock and securing, or by place a second sock immediately up slope with the required overlap beyond deformation.
- A section of sock should be replaced whenever it has weakened to such an extent that the efficiency is reduced or diminished. Weakening can occur because the natural mesh fabric breaks down over time of from being moved/dragged on site.
- Sock should be replaced when sediment has built up and has been removed three times.
- All sediment in disturbed area next to sock must be removed and correctly disposed of before the sock can be removed.
- When removing, cut sock open and spread the filler material around. The netting should be removed from site.
- Sock should be installed before works commence on site.

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No.	DATE	BY	REMARKS
6	08.30.2024	DZ	Town Comments

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6000 - 6040 North Bailey Ave  
Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR  
**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL



TITLE:  
**Demolition and Erosion Control Details**

SCALE:  
NTS  
DRAWN BY:  
DMZ  
CHECKED BY:  
MAO  
DATE:  
08.16.2023

DRAWING NO.  
**C3.10**

OFFICIAL TOWN USE ONLY



TOWN OF AMHERST, NY ZONING ANALYSIS

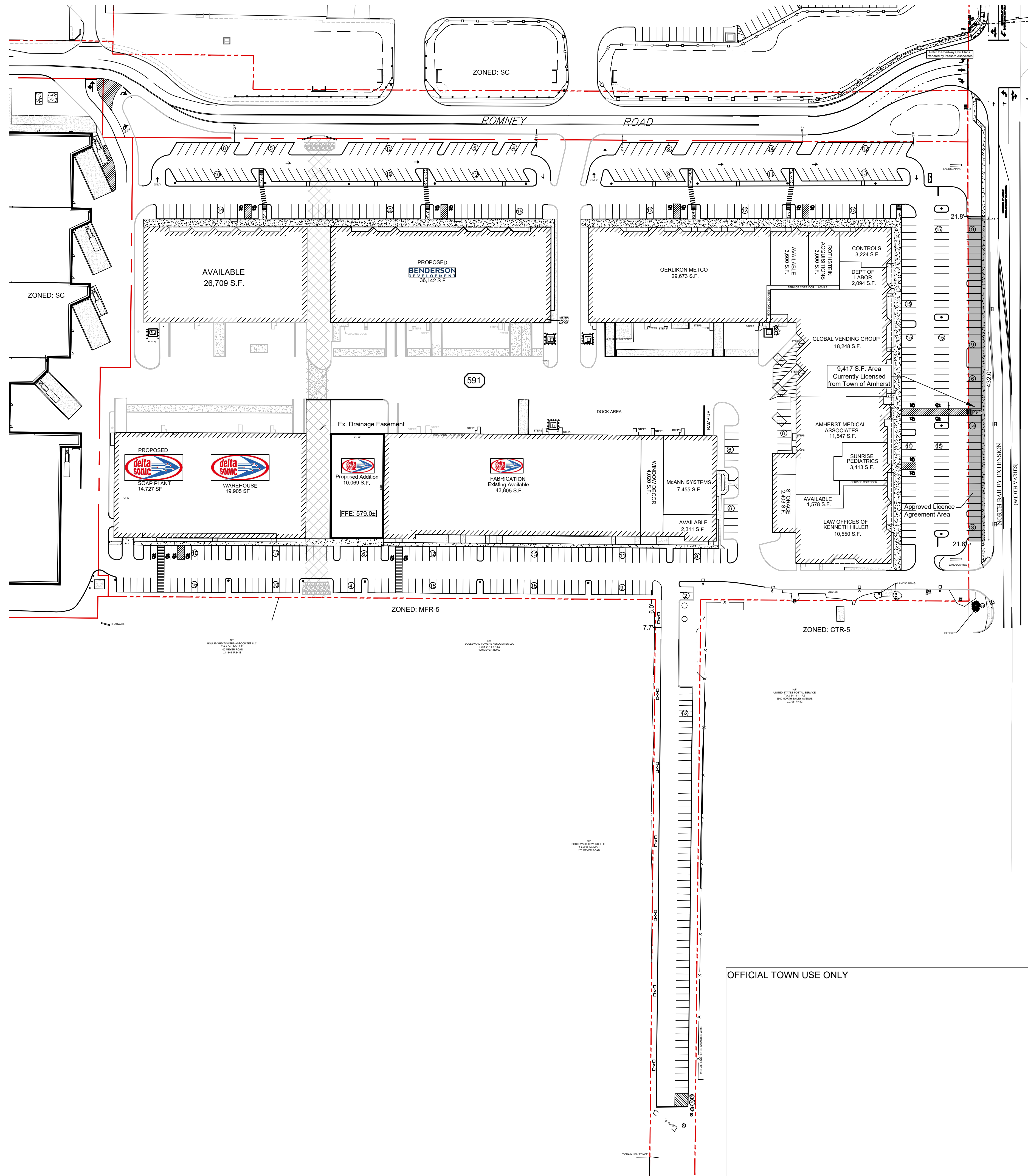
ZONED (RD)	REQUIRED	PROVIDED
	R-D	R-D
MIN LOT AREA	1 AC	17.14 AC
MAX. BUILDING HEIGHT	65'	<30'
BUILDING SETBACKS:		
FRONT YARD	40'	102.3'
SIDE YARD	15'	16.7'
REAR YARD	15'	48.4'
PARKING / ROAD/AUX SETBACKS:		
FRONT - ROMNEY ROAD	25'	0.3'
FRONT - N BAILEY	25'	*0'
REAR YARD	10'	6.0'

- \* Setback variance previously granted along North Bailey Road
- License Agreement along North Bailey has been previously granted
- Romney Road Pavement/Parking Setback - 14.5'
- N. Bailey Pavement/Parking Setback - 11.7'

PROPOSED PARKING ANALYSIS

USE	CODE	S.F. USAGE	REQUIRED	PROVIDED
WAREHOUSE	1 / 1000 S.F.	177,407 SF	178 Spaces	
MEDICAL	1 / 150 S.F.	14,960 SF	100 Spaces	
RETAIL/OFFICE	1 / 200 S.F.	62,106 SF	311 Spaces	
<b>TOTAL</b>		<b>254,252 SF</b>	<b>589 Spaces</b>	<b>591 Spaces</b>
STALL SIZE			9' X 19'	9' X 19'

\*Refer alternative parking study for site required parking



DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
2	05.08.2024	DZ	Site Plan Update
4	07.31.2024	DZ	Site Updates
5	08.12.2024	DZ	Site Updates

SPECIAL INFORMATION:  
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PROPERTY NUMBER: #1723  
AREA:

**Amherst Development Park**  
6000 - 6040 North Bailey Ave  
Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT

**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL



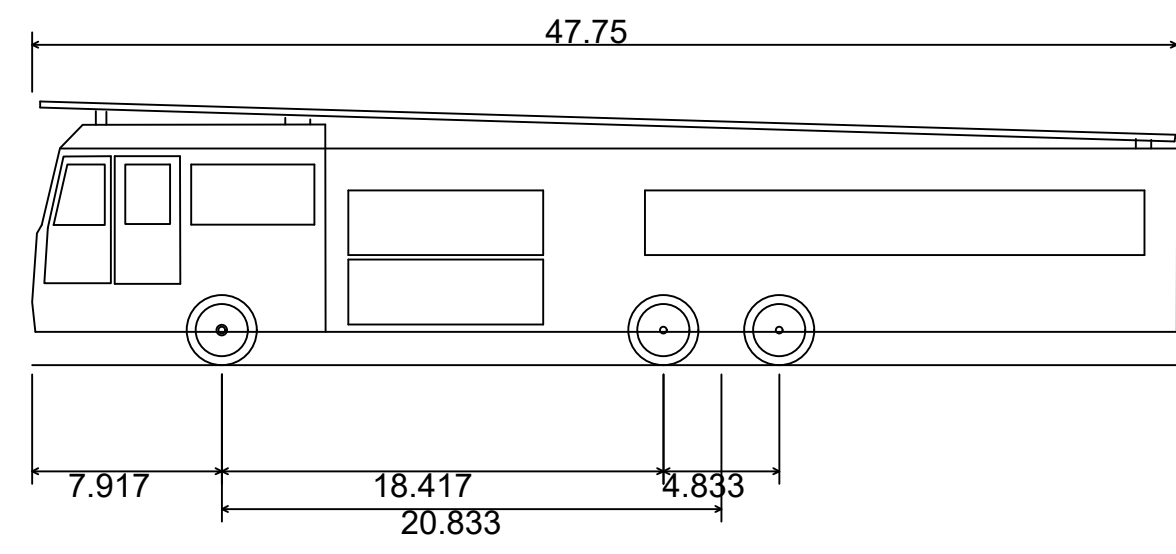
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**Overall Site Plan**

SCALE: 1:70  
DRAWN BY: DMZ  
CHECKED BY: MAO  
DATE: 11.06.2023

DRAWING NO. **C4.0**

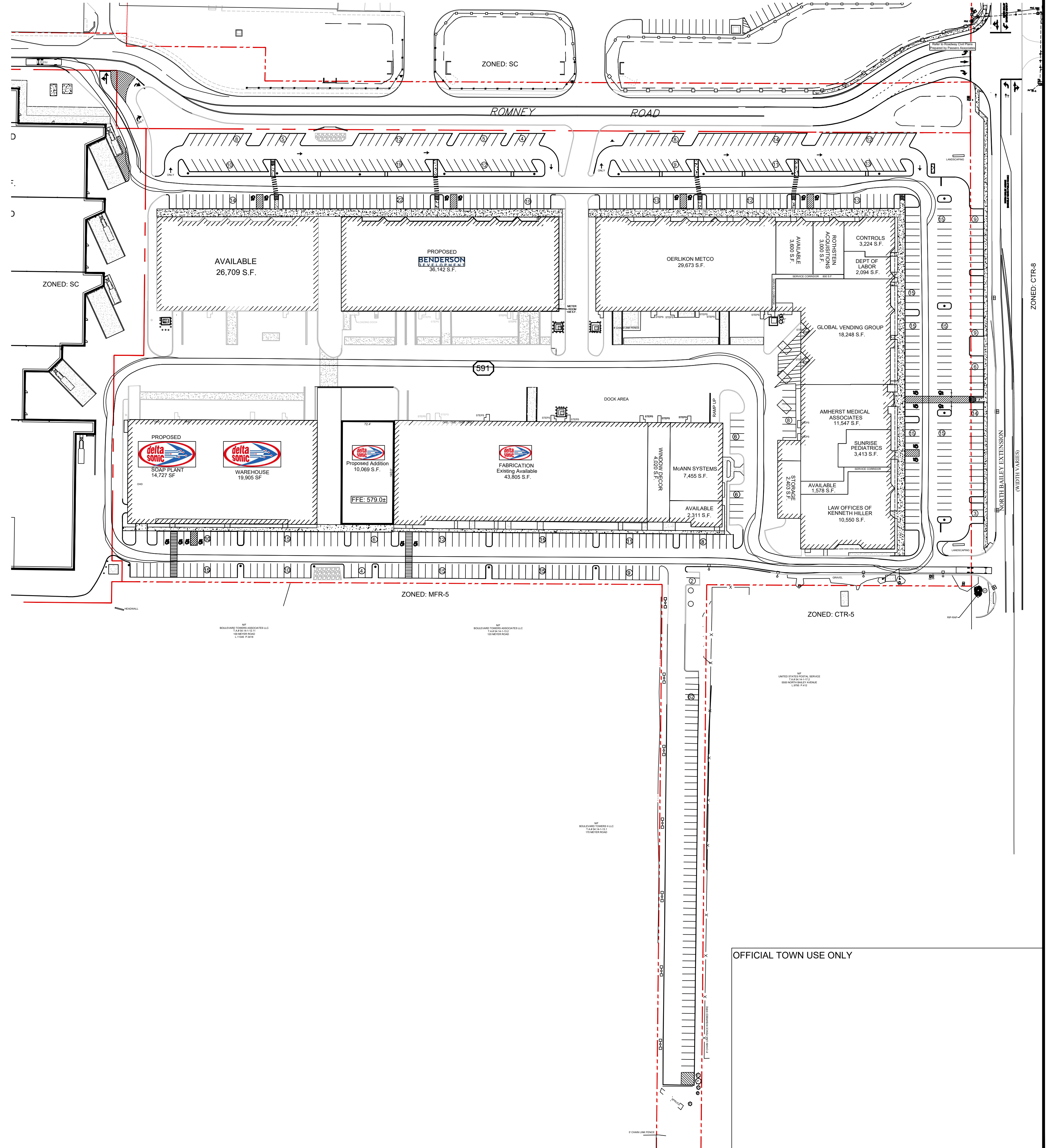
OFFICIAL TOWN USE ONLY





E-ONE HP95 Mid Mount  
 Overall Length  
 Overall Width  
 Overall Body Height  
 Min Body Ground Clearance  
 Track Width  
 Lock-to-lock time  
 Max Wheel Angle

47.750ft  
 8.333ft  
 11.000ft  
 1.393ft  
 8.333ft  
 6.00s  
 45.00°



DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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811  
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 Amherst, NY 14226

**PROPOSED  
 SITE MODIFICATIONS**

CONSULTANT

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 ARCHITECT  
 PREPARED FOR  
**BENDERSON  
 DEVELOPMENT**  
 570 DELAWARE AVE., BUFFALO, NY 14202  
 (716) 886-0211

SEAL

TITLE:  
**Fire Truck  
 Turning Plan**

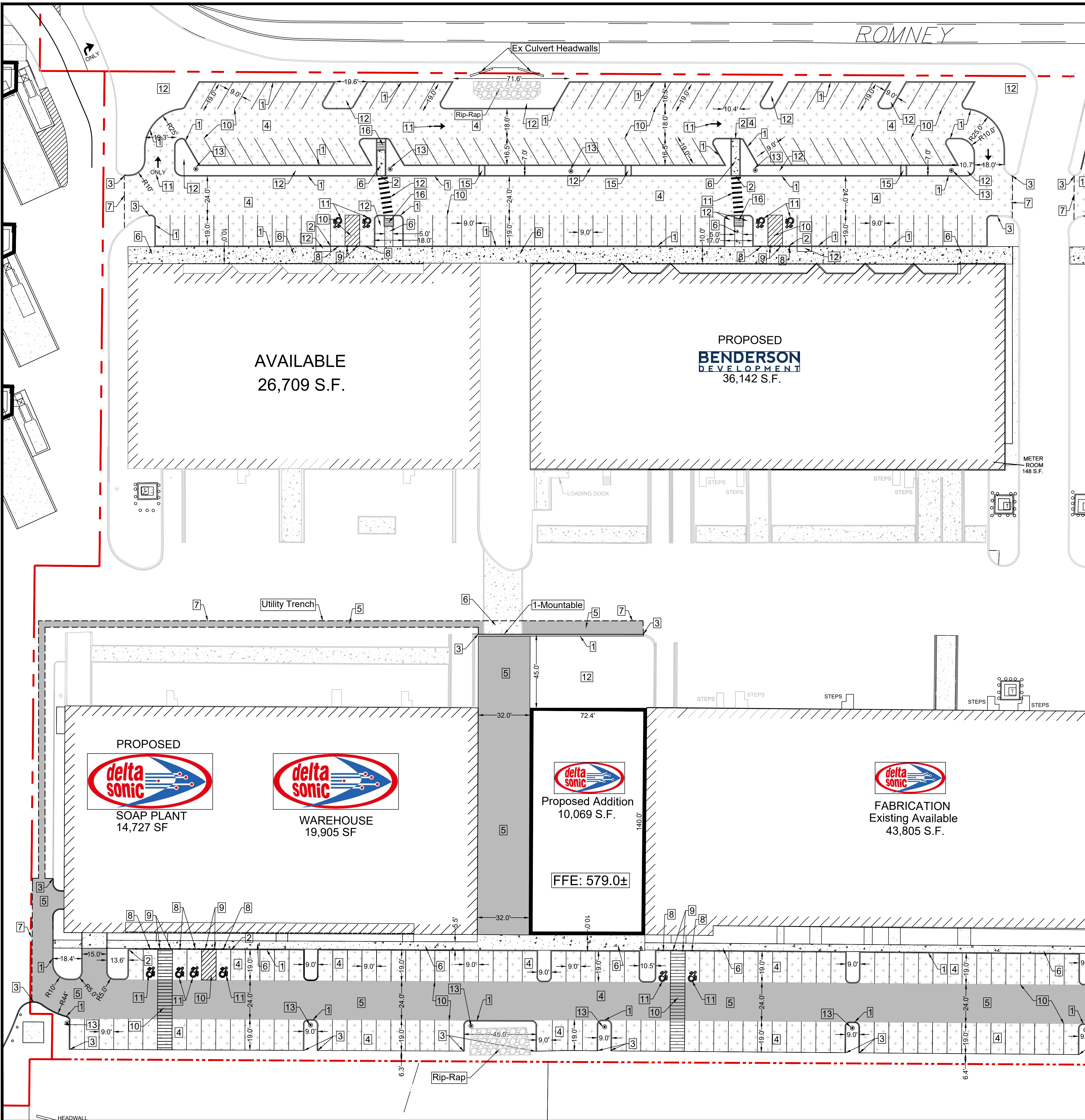
SCALE:  
 1:70  
 DRAWN BY: DMZ  
 CHECKED BY: MAO  
 DATE: 08.30.2024

DRAWING NO.  
**C4.01**

OFFICIAL TOWN USE ONLY



ROMNEY



- GENERAL NOTES:**
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  5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
  6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
  7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
  8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
  9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
  10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
  11. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
  - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
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  12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
  13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

**SITE LEGEND:**

- Property line
- 6" Curb (typ.)
- Proposed sign & pole
- Proposed Concrete Sidewalk
- Proposed Standard Duty Pavement
- Proposed Heavy Duty Pavement

\* All curb radii are 3ft unless noted.  
\* Refer to General Notes, Construction Details and Architectural Plans for Concrete Sealer information.

- SITE NOTES: #**
1. Proposed 6" concrete Curb.
  2. Proposed Flush Concrete Curb.
  3. Match into Existing Curb or runoff over 2'.
  4. Proposed Standard Duty Pavement.
  5. Proposed Heavy Duty Pavement.
  6. Proposed Concrete Pavement/Sidewalk.
  7. Match into Existing Pavement.
  8. Proposed "Handicapped Parking Only" sign.
  9. Proposed "No Parking" sign.
  10. 4" Yellow Pavement Stripe (at 2' c-c in no parking zones).
  11. Proposed White Pavement symbol (stop bar, directional arrows, accessibility symbol, text)
  12. Proposed Landscape Area.
  13. Proposed Light Pole Base
  14. Proposed Mill and Overlay Asphalt Pavement
  15. Proposed 3' Wide Curb Opening
  16. Proposed Curb Return Ramp

NB: All curb Radii to be 3' unless otherwise noted.

**DRAWING REVISIONS:**

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2	05.08.2024	DZ	Site Plan Update
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Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR

**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL

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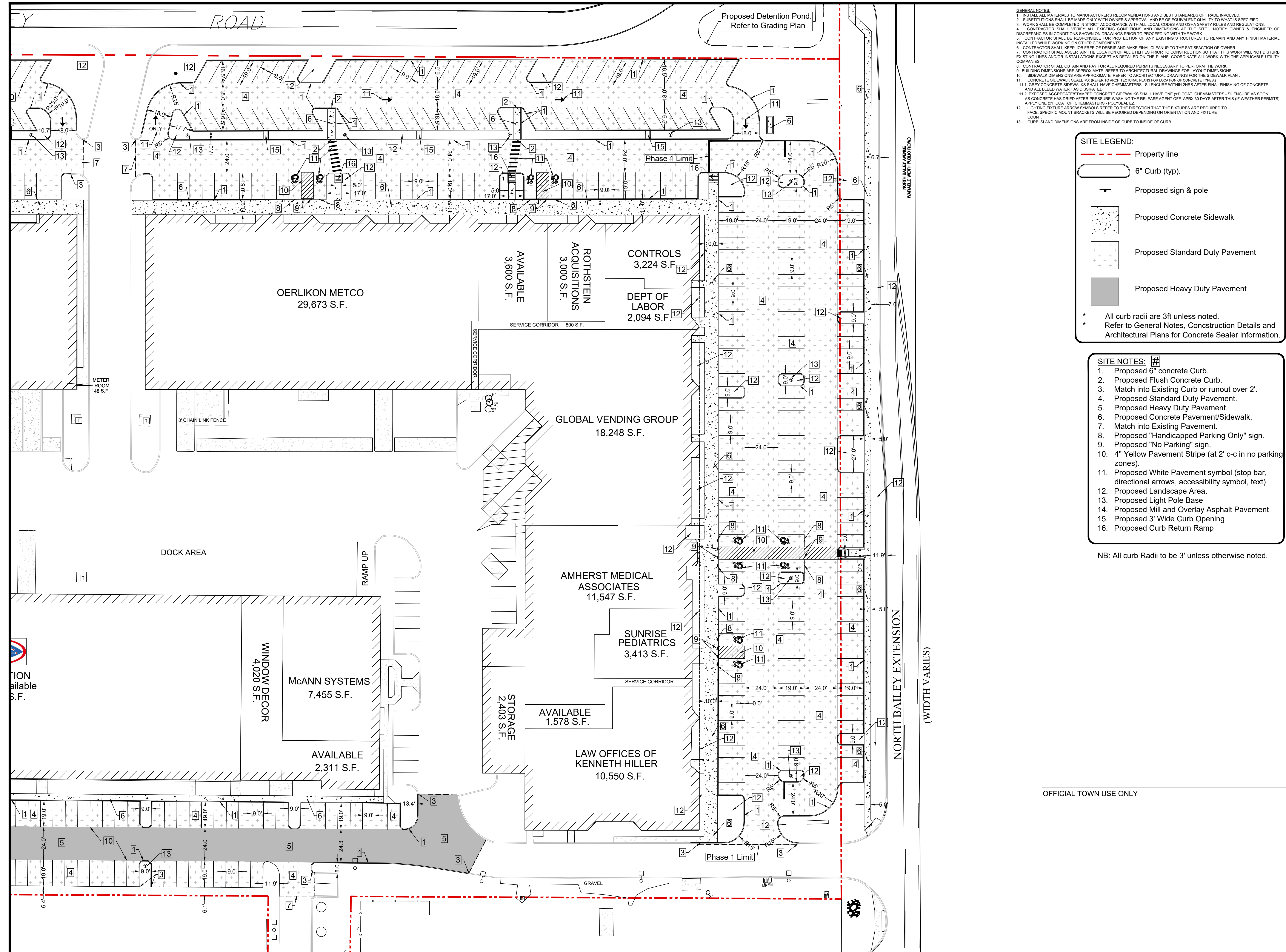
DATE: 08.16.2023

Detailed Site Plan (West)

SCALE: 1:30  
DRAWN BY: DMZ  
CHECKED BY: MAO  
DATE: 08.16.2023

DRAWING NO. C4.10





Proposed Detention Pond.  
Refer to Grading Plan

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  13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

**SITE LEGEND:**

- Property line
- 6" Curb (typ.)
- Proposed sign & pole
- Proposed Concrete Sidewalk
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- Proposed Heavy Duty Pavement

\* All curb radii are 3ft unless noted.  
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  15. Proposed 3' Wide Curb Opening
  16. Proposed Curb Return Ramp

NB: All curb Radii to be 3' unless otherwise noted.

**DRAWING REVISIONS:**

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4	07.31.2024	DZ	Site Updates

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Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR

**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL

TITLE:  
**Detailed Site Plan (East)**

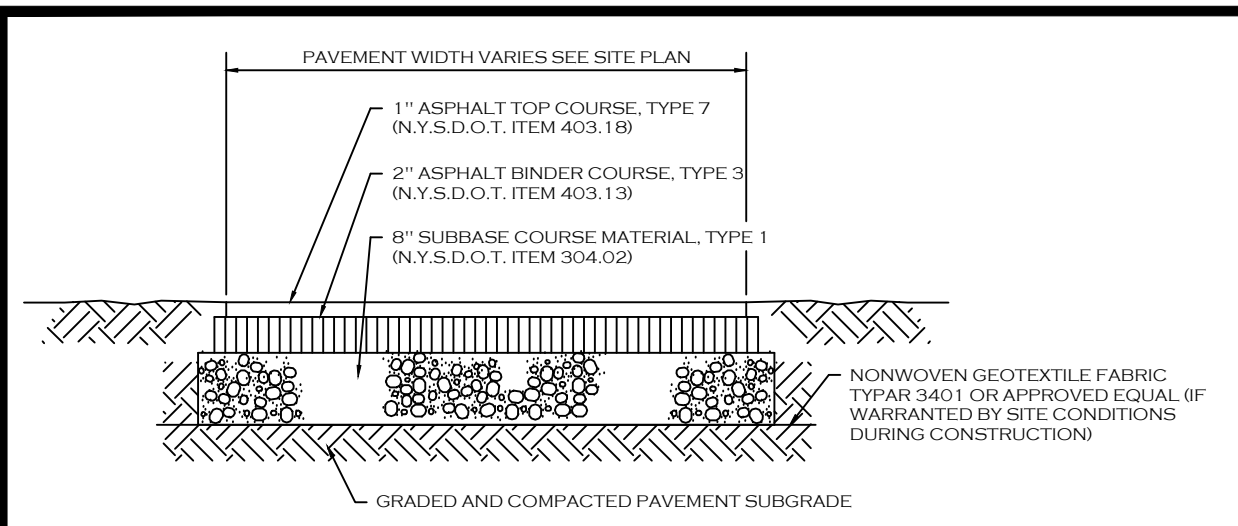
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DRAWN BY: DMZ  
CHECKED BY: MAO  
DATE: 08.16.2023

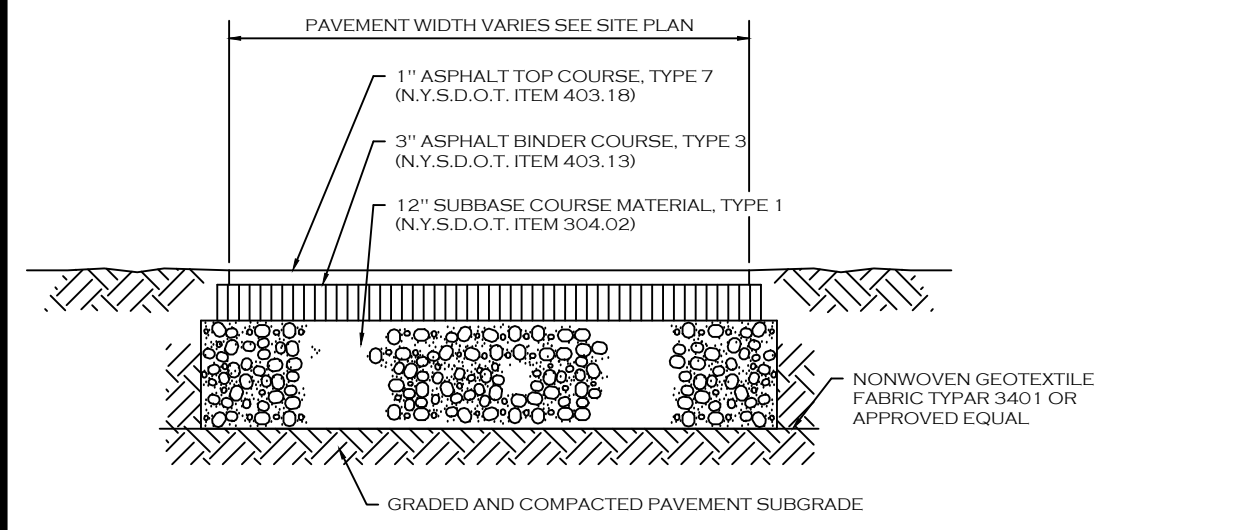
DRAWING NO.: **C4.11**

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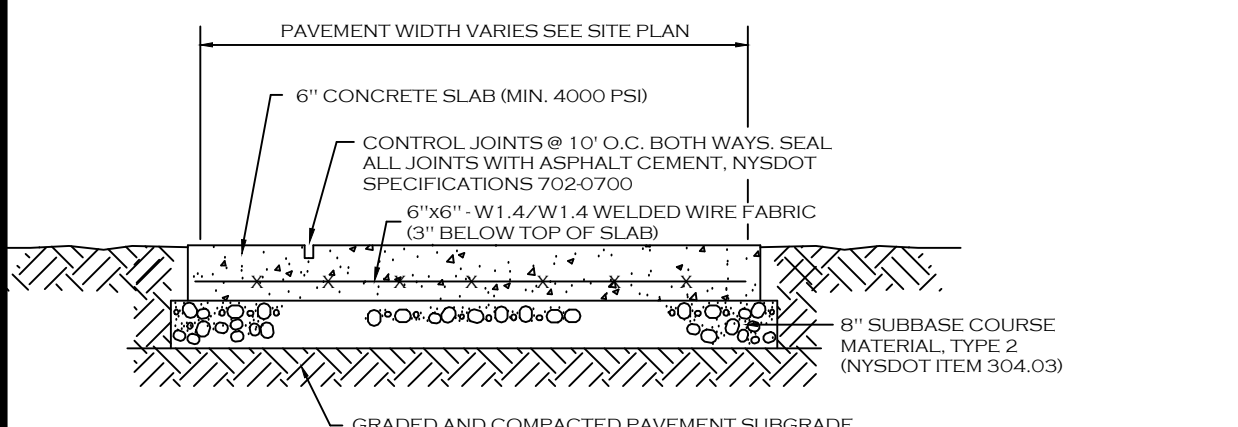




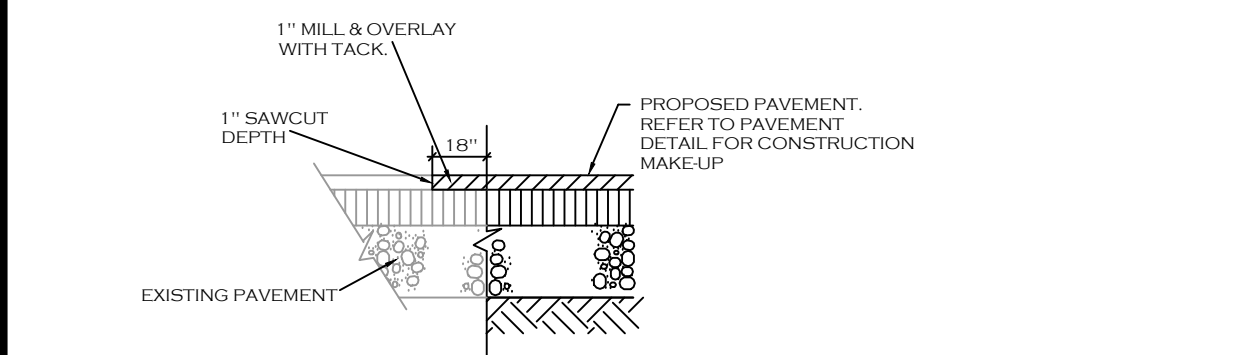
**STANDARD DUTY ASPHALT SECTION**



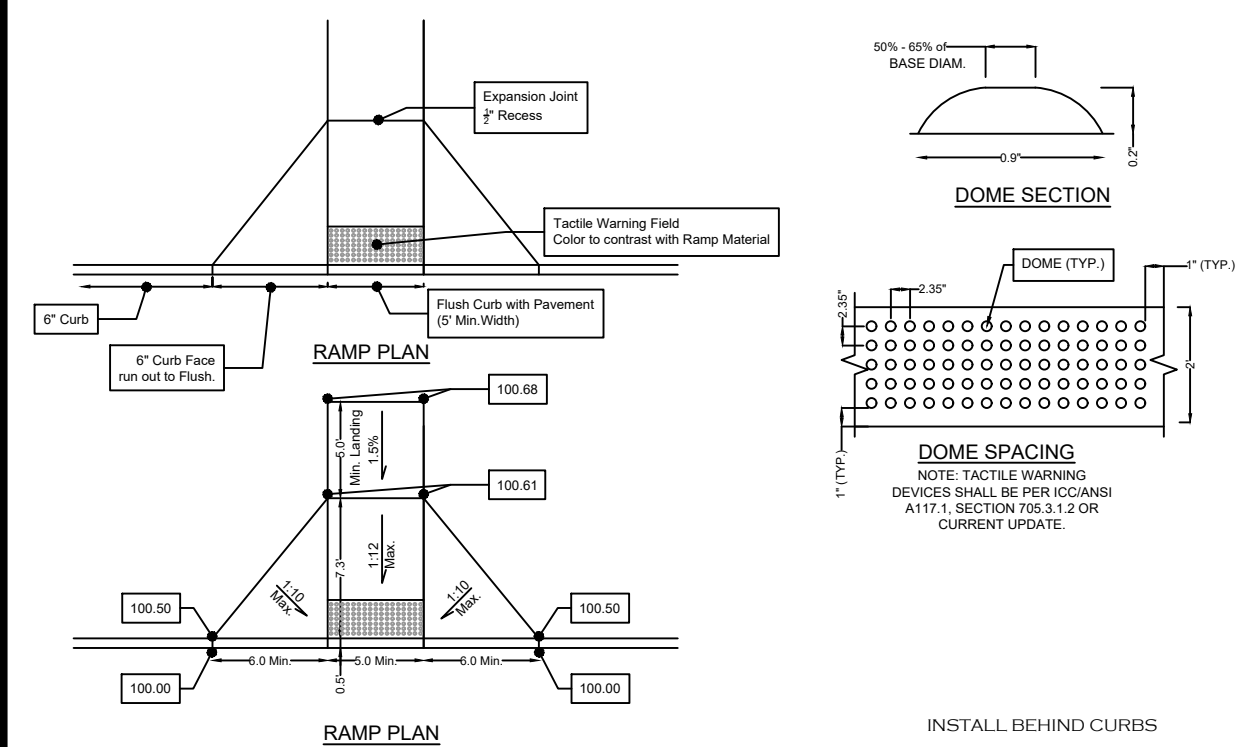
**HEAVY DUTY ASPHALT SECTION**



**CONCRETE PAVEMENT (INC DUMPSTER)**



**PAVEMENT TRANSITION DETAIL (ASPHALT PAVEMENT)**

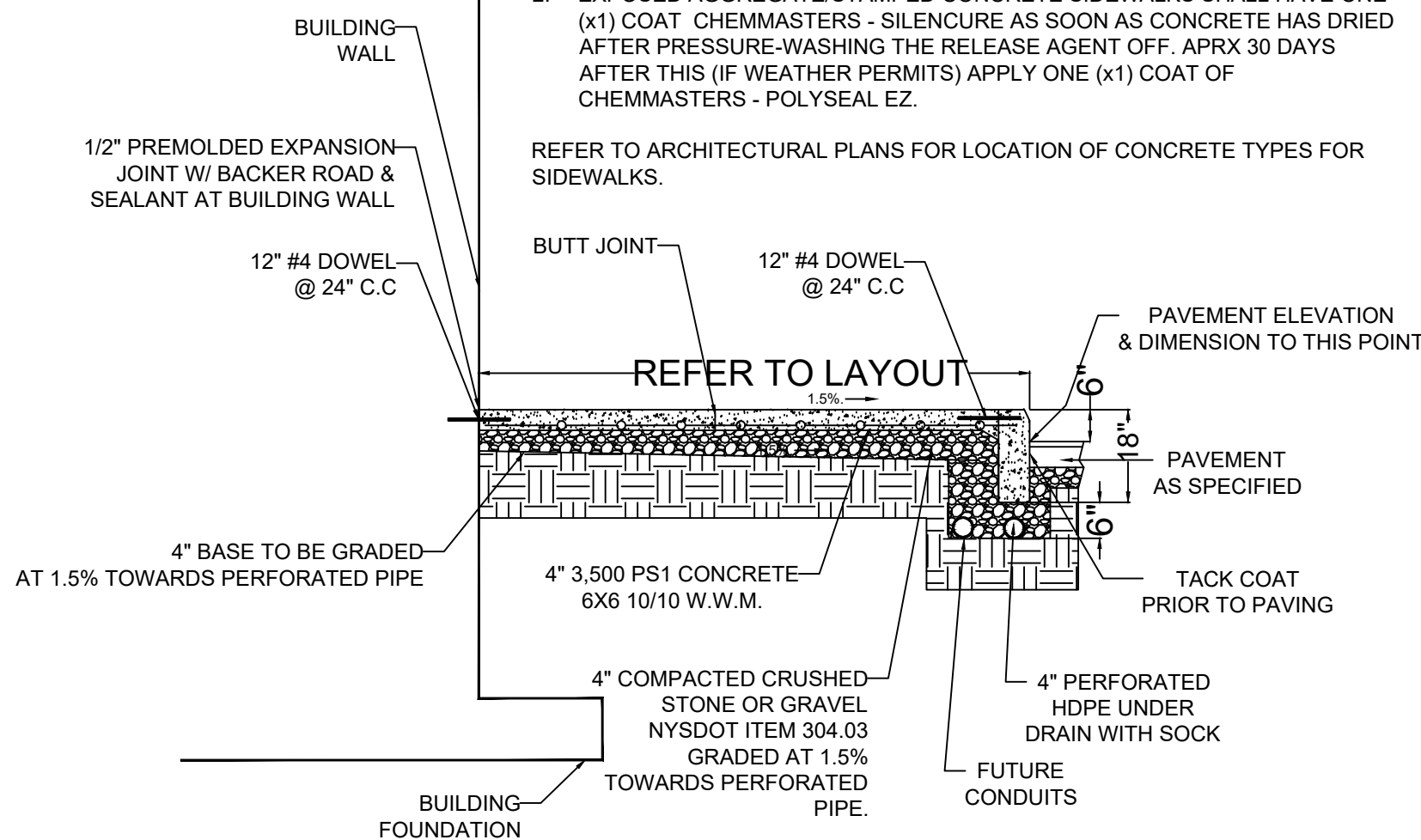


**SIDEWALK CURB RAMP DETAIL**

- NOTES:**
- CONCRETE SIDEWALK AND DRIVEWAY MATERIAL SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 608-3
  - BUTT JOINTS TO BE AT 5'-0" O.C. BOTH WAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYS DOT 702-0700.

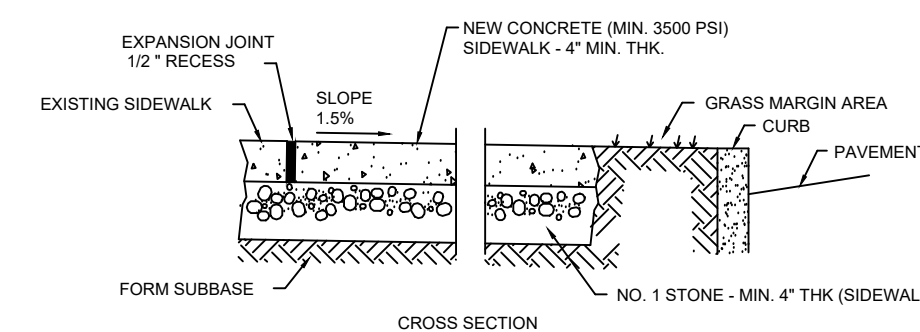
- CONCRETE SIDEWALK SEALERS:**
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  - EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (1) COAT OF CHEMMASTERS - POLYSEAL EZ.

REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES FOR SIDEWALKS.



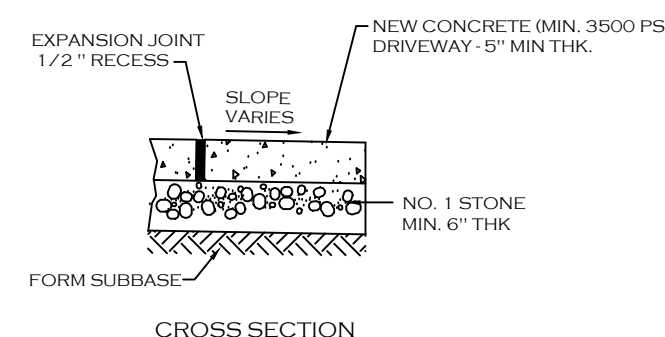
**BUILDING SIDEWALK DETAIL**

CONTRACTOR TO VERIFY WITH OWNER ON CURB DETAIL



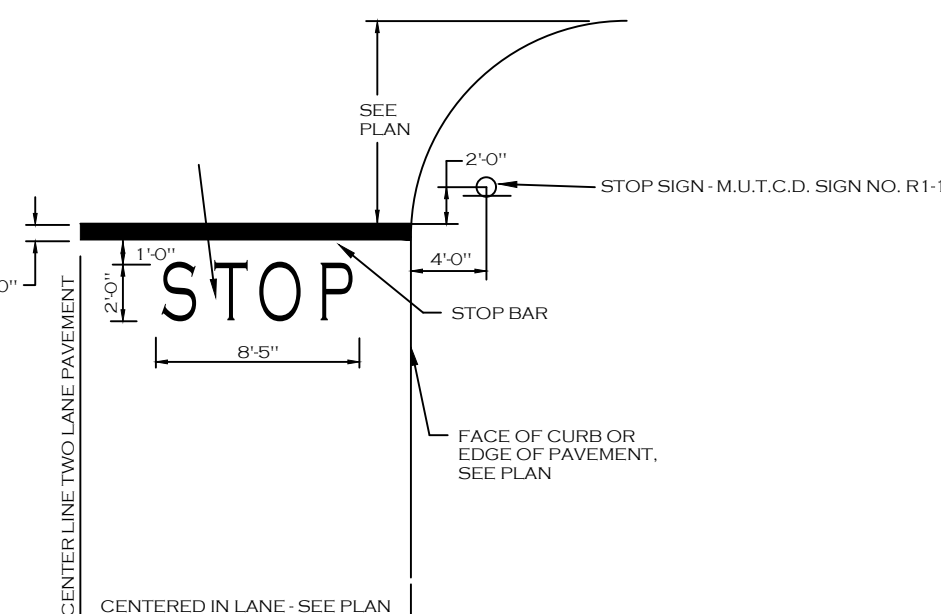
- NOTES:**
- CONTROL JOINTS TO BE AT 5'-0" O.C. BOTH WAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYS DOT 702-0700
  - CONCRETE SIDEWALK MATERIAL SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 608-3
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**STANDARD CONCRETE SIDEWALK**



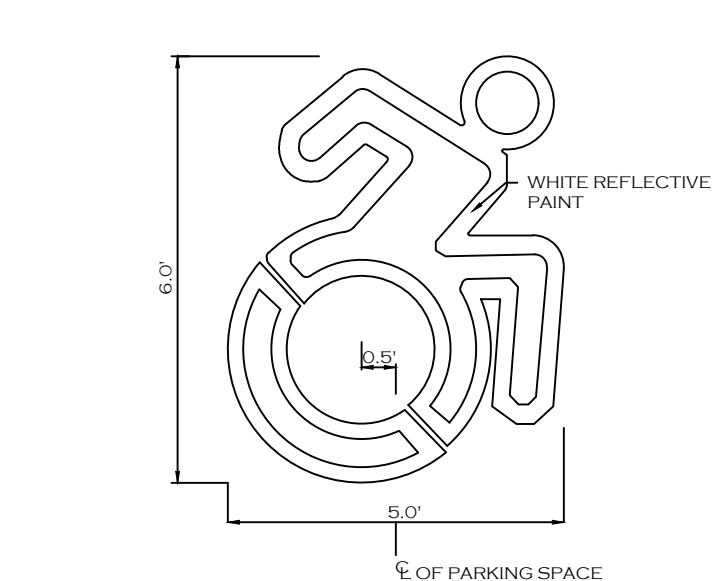
- NOTES:**
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**RPZ ENCLOSURE PAD**

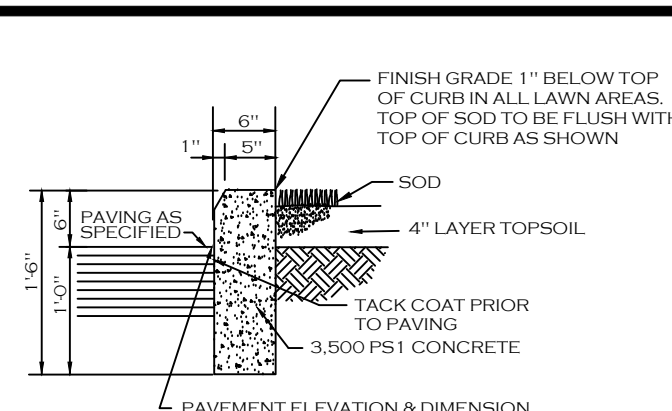


**STOP BAR DETAIL**

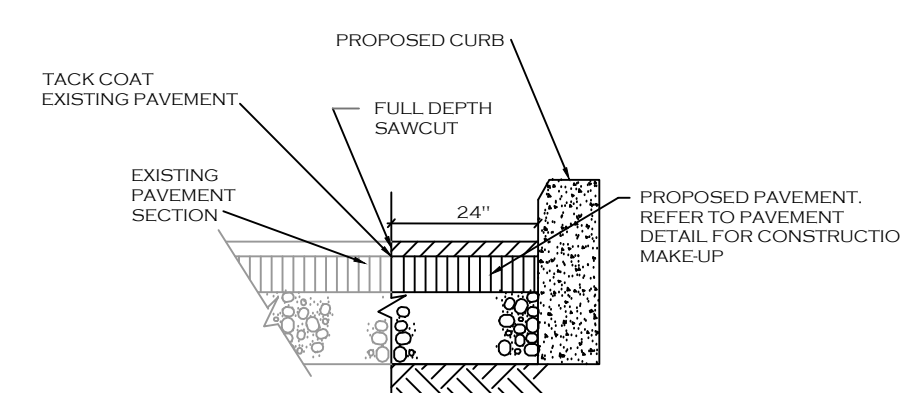
**HANDICAP / NO PARKING SIGNS**



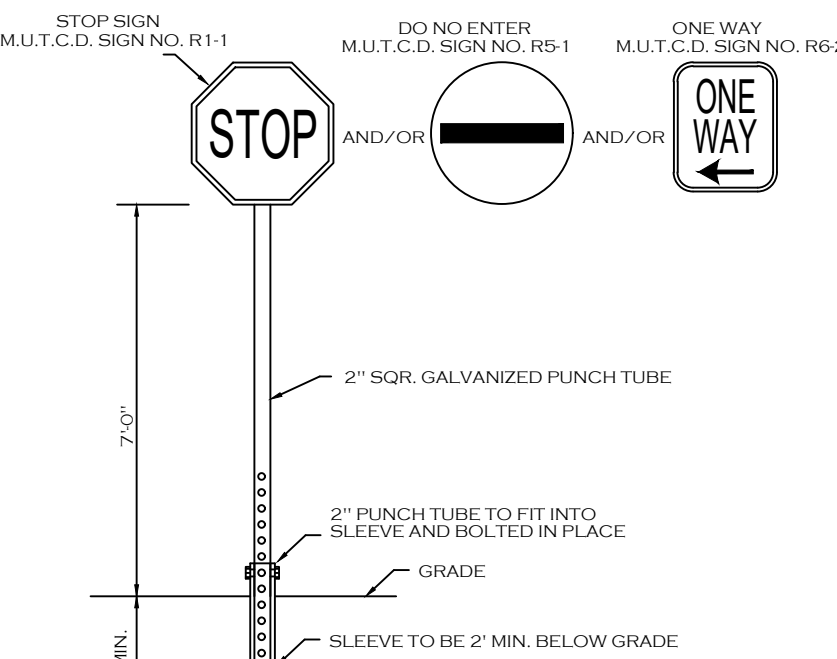
**INTERNATIONAL ACCESSIBILITY SYMBOL**



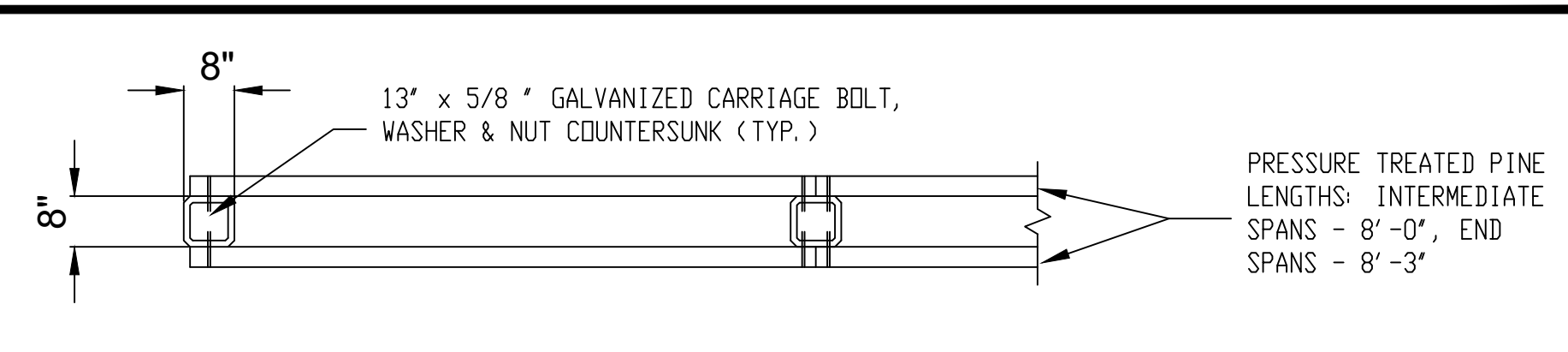
**TYPE "A" CONCRETE CURB**



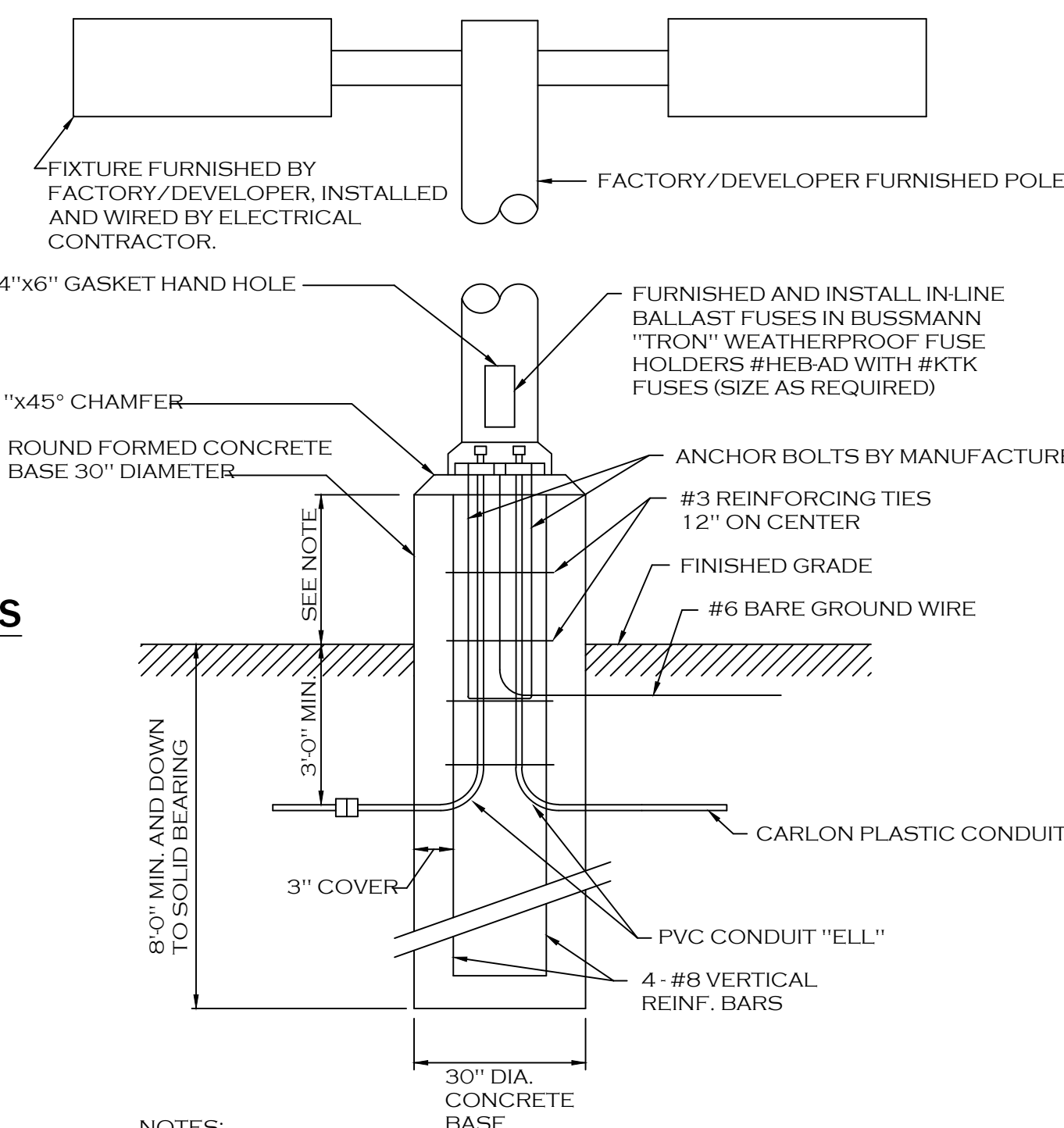
**CURB AND PAVEMENT TRANSITION DETAIL**



**"STOP" / "NO ENTRY" / "ONE WAY" SIGNS**



**WOODEN GUIDE RAIL**



**LIGHT POLE FOUNDATION**

- NOTES:**
- FOR LOCATIONS OF FOUNDATIONS SEE SITE PLAN
  - FOR LIGHT FIXTURE ORDERING INFORMATION SEE SITE LIGHTING PLAN
  - LIGHT POLE BASE EXPOSURE ABOVE GRADE SHALL BE:
    - IN CURBED ISLANDS: 6" ABOVE TOP OF CURB ELEVATION
    - IN PAVEMENT: 30" ABOVE GRADE
    - IN NON-CURBED GRASS AREAS: 6" ABOVE GRADE

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SEAL

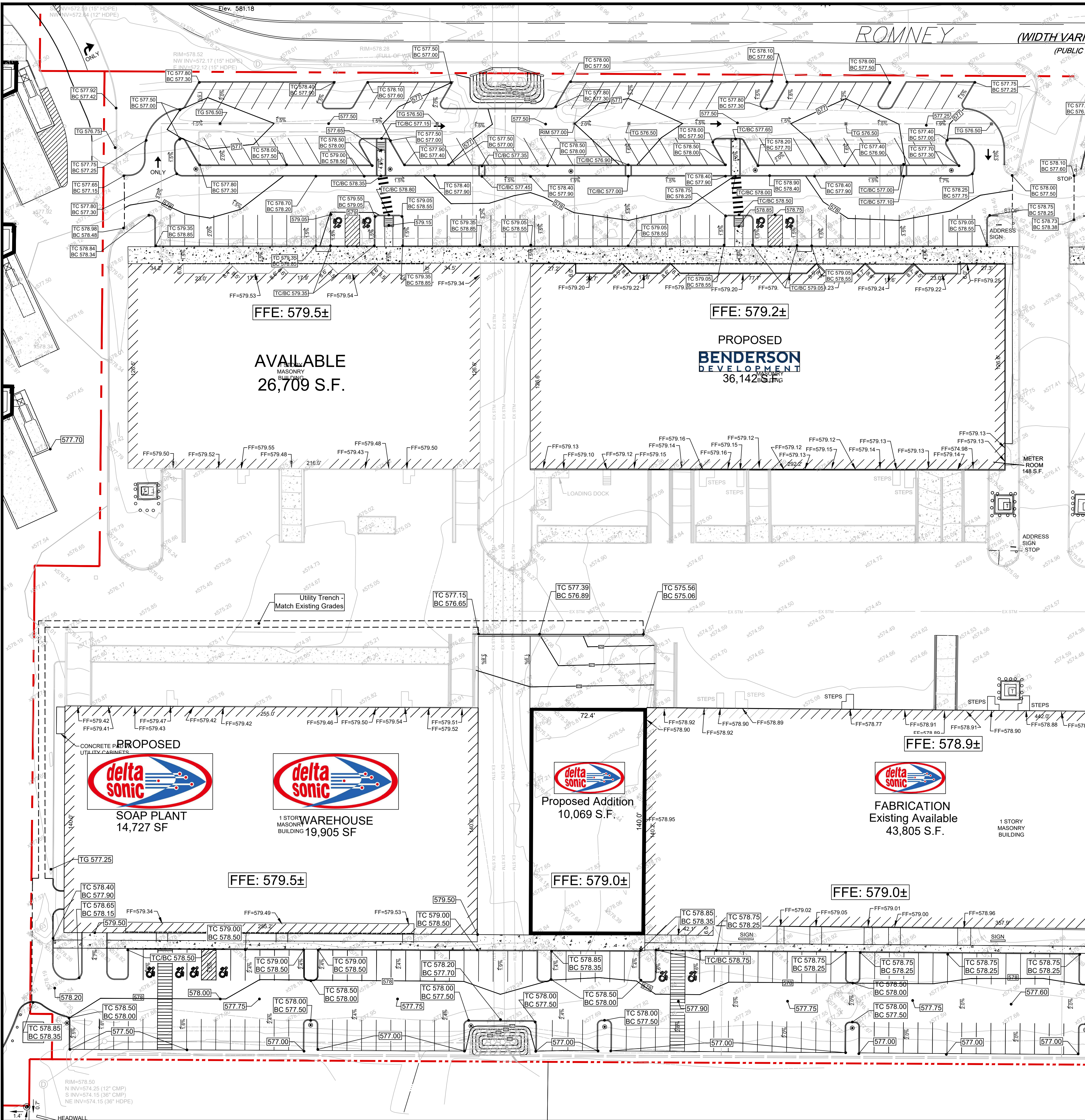


TITLE: **Construction Details**

SCALE: NTS  
DRAWN BY: DMZ  
CHECKED BY: MAO  
DATE: 08.16.2023

**C4.20**





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**GRADING LEGEND:**

- Property Line
- 6" Curb (typ.)
- ⊠ Catch Basin - Top of Grade
- ### Proposed Contour Line
- ### Slope Direction

**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
2	05.08.2024	DZ	Site Plan Update
4	07.31.2024	DZ	Site Updates
5	08.12.2024	DZ	Site Updates

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 AREA: -

**Amherst Development Park**  
 6000 - 6040 North Bailey Ave  
 Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
 ARCHITECT  
 PREPARED FOR  
**BENDERSON DEVELOPMENT**  
 570 DELAWARE AVE., BUFFALO, NY 14202  
 (716) 886-0211

SEAL

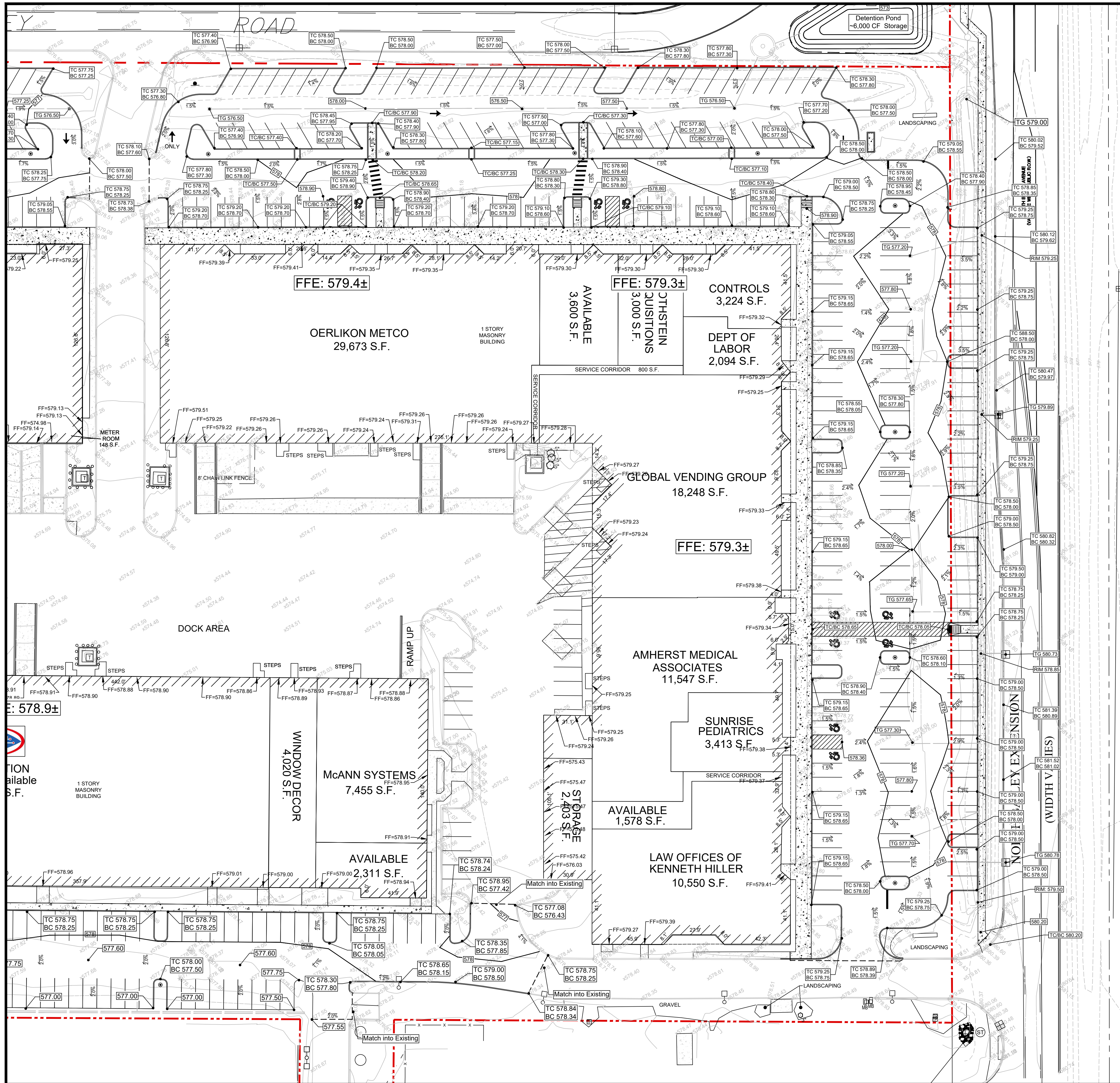
OFFICIAL TOWN USE ONLY

TITLE: **Grading Plan (West)**

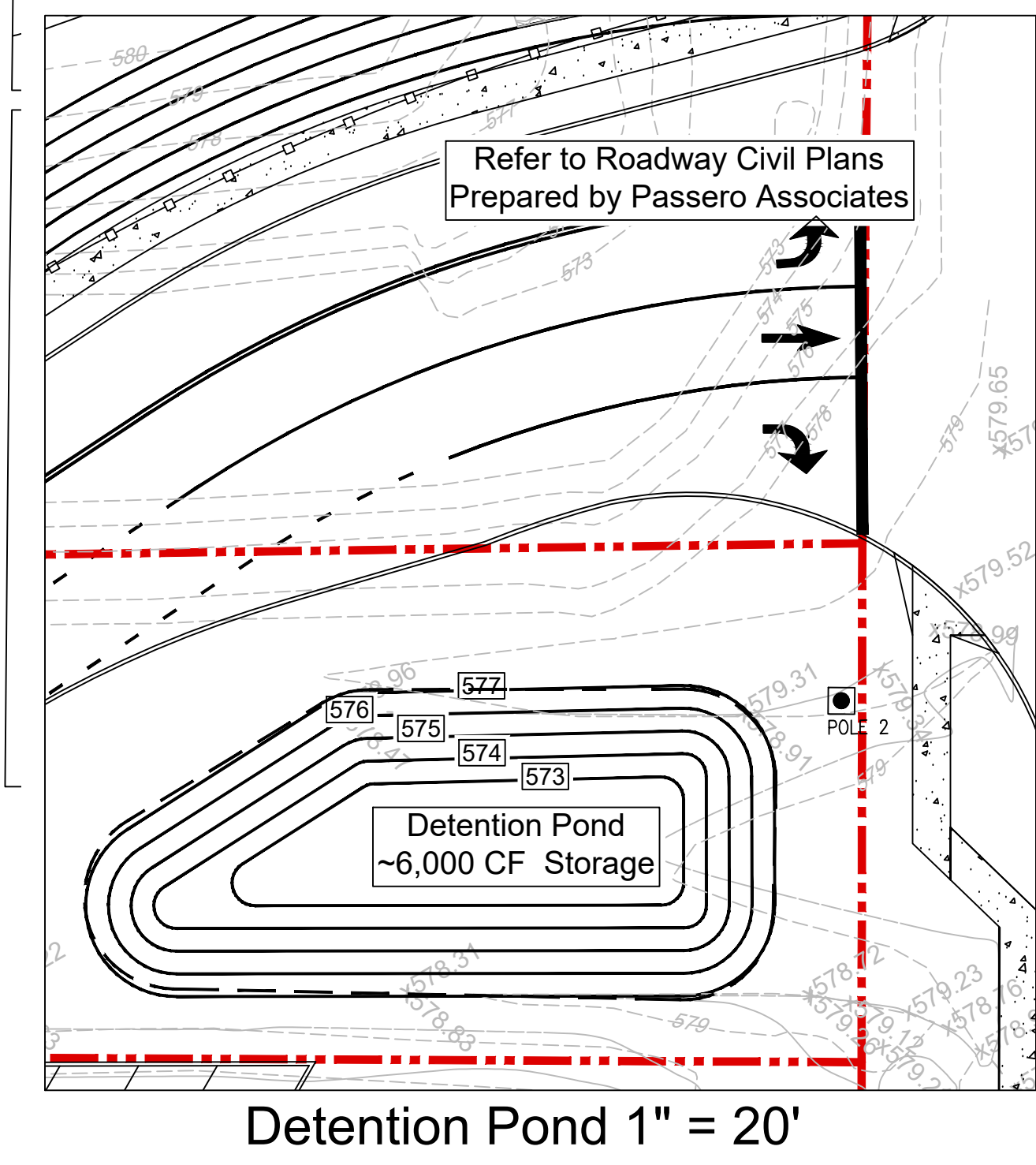
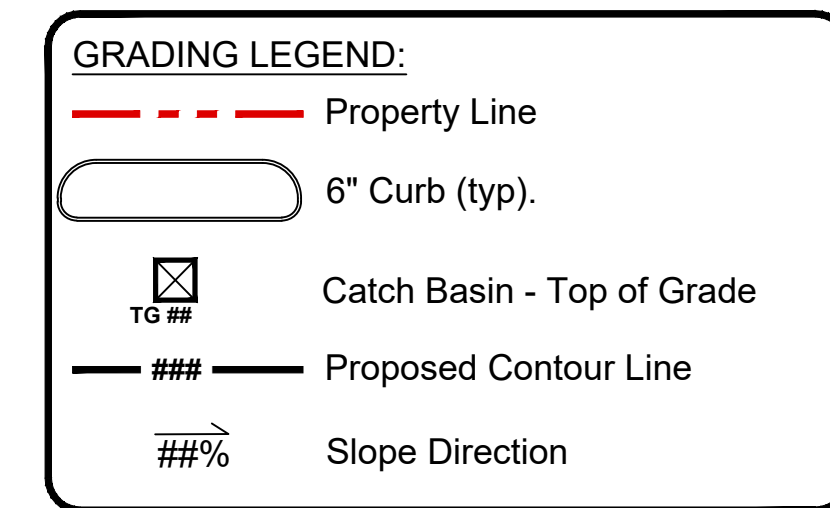
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 CHECKED BY: MAO  
 DATE: 11.08.2023

DRAWING NO. **C5.00**





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  11. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLAN FOR LOCATION OF CONCRETE TYPES).
  - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLED WATER HAS DISSIPATED.
  - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) AND ALL BLED WATER HAS DISSIPATED.
  12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE LOCATION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
  13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.



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SEAL

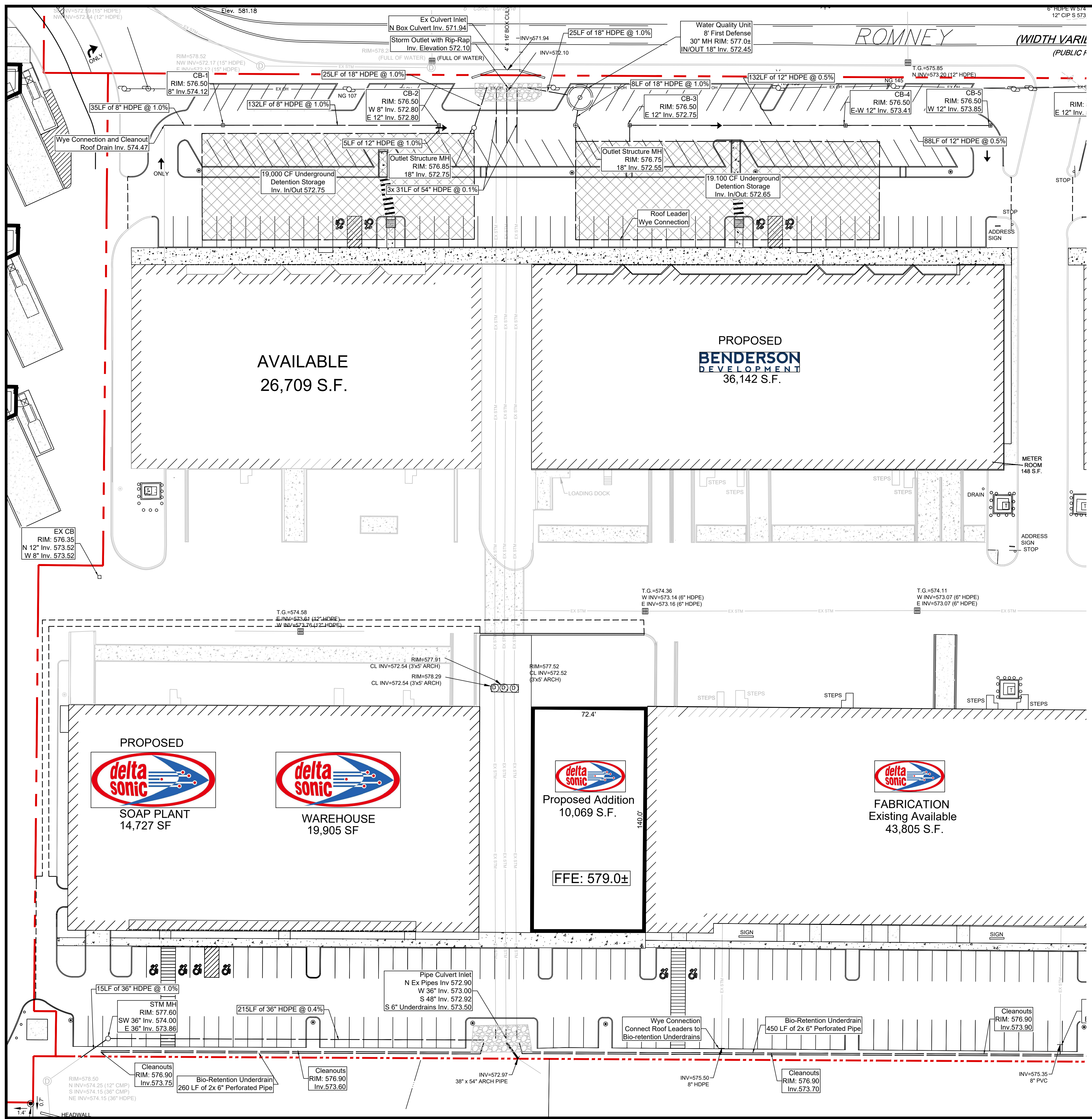


TITLE: **Grading Plan (East)**

SCALE: 1:30  
 DRAWN BY: DMZ  
 CHECKED BY: MAO  
 DATE: 11.08.2023

DRAWING NO. **C5.01**





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**DRAINAGE LEGEND:**

- PROPERTY LINE
- - - PROPOSED STORMWATER
- 6" CURB TYP.
- CO / WC PROPOSED STORM CLEAN OUT / WYE CONNECTION
- ☒ CB - # PROPOSED CATCH BASIN

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6	08.30.2024	DZ	Town Comments

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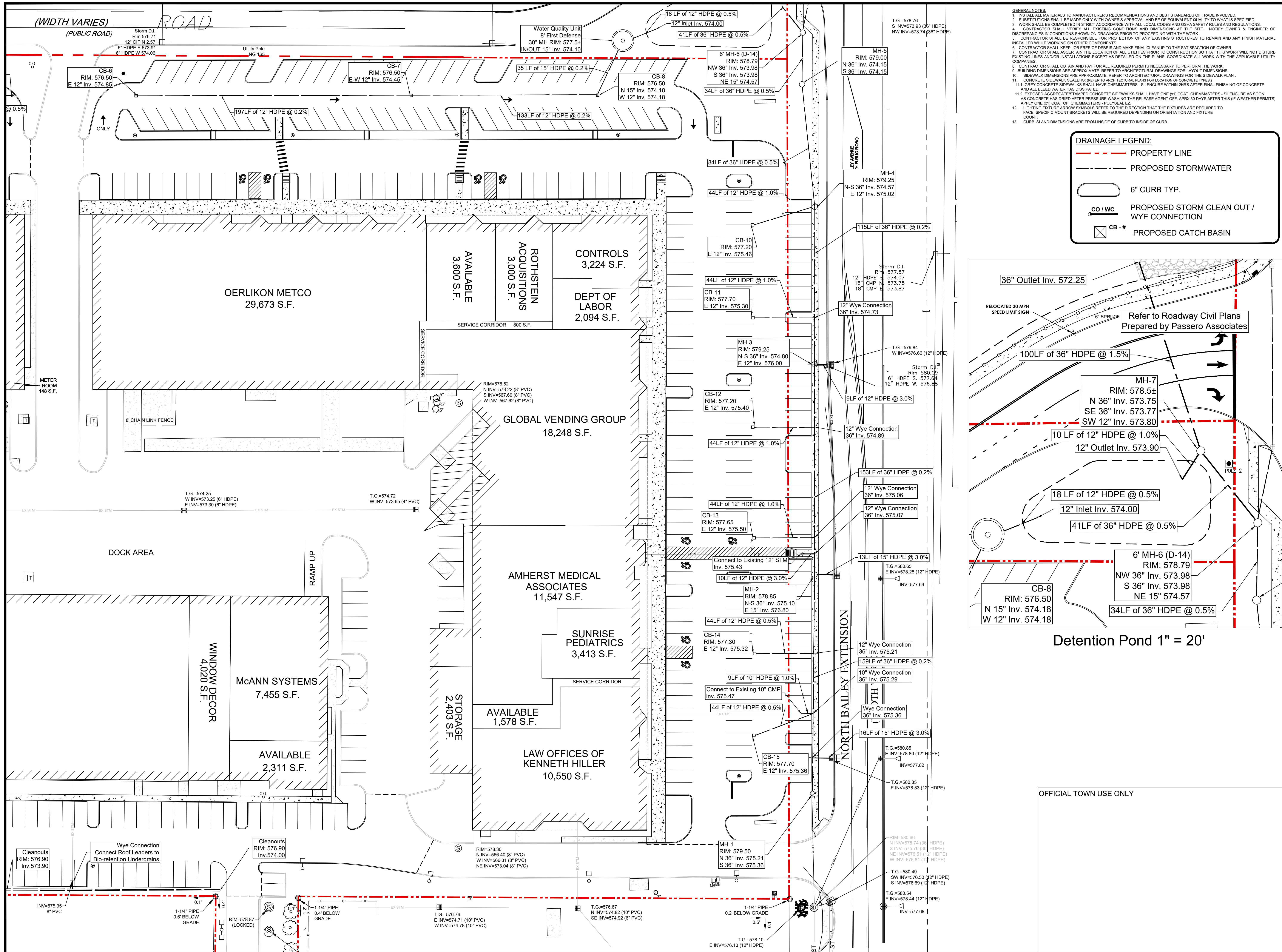
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TITLE: **Drainage Plan (West)**

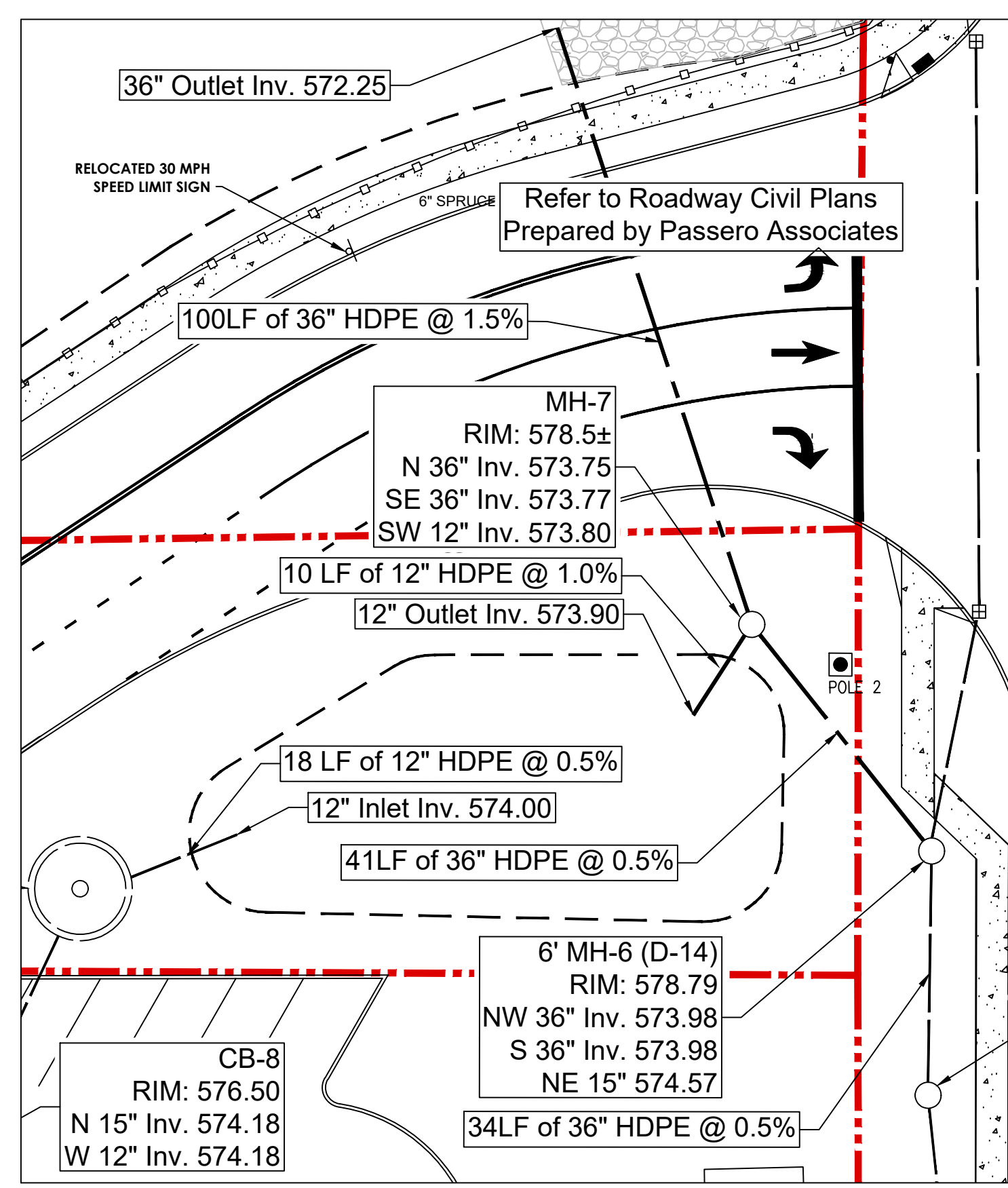
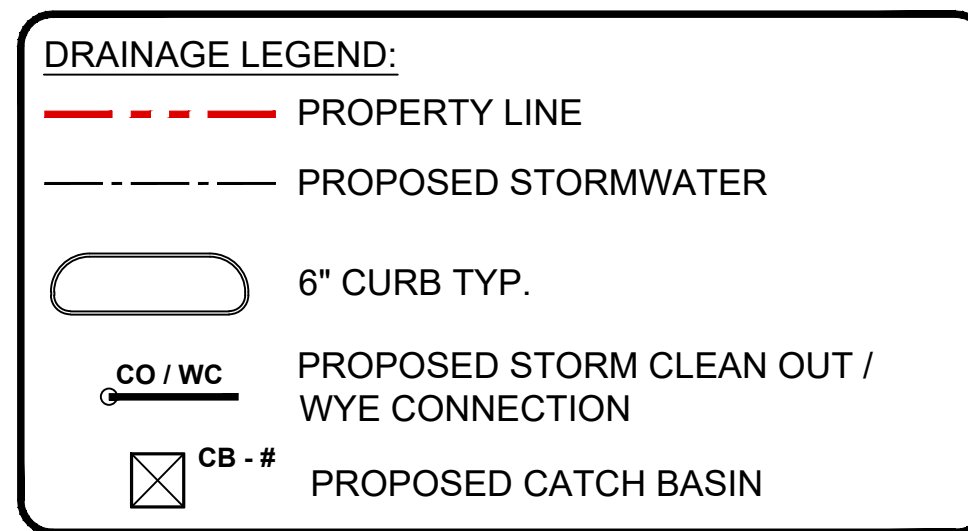
SCALE: 1:30  
 DRAWN BY: DMZ  
 CHECKED BY: MAO  
 DATE: 11.08.2023

DRAWING NO. **C5.10**





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SEAL



TITLE: **Drainage Plan (East)**

SCALE: 1:30

DRAWN BY: DMZ

CHECKED BY: MAO

DATE: 11.08.2023

DRAWING NO. **C5.11**

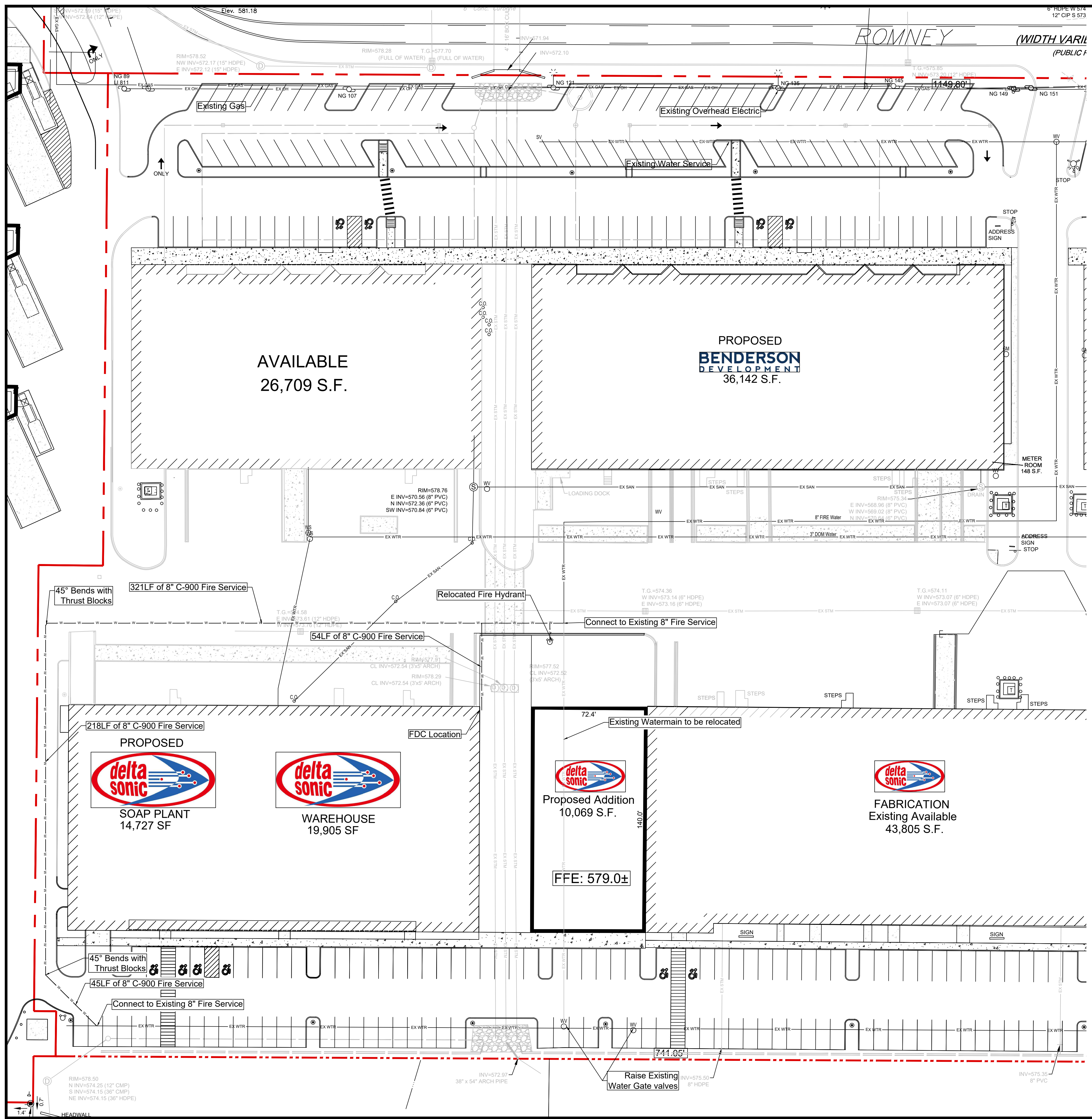






MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D FINAL FILL: FILL MATERIAL FOR LAYER 1 STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'C' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEERS PLANS CHECK PLANS FOR PAVEMENT SUBBASE REQUIREMENTS.	N/A	PRIOR TO SITE DESIGN ENGINEER'S PLANS, PAVED INSTALLATIONS MAY HAVE STRONGER MATERIAL AND PREPARATION REQUIREMENTS.
C INITIAL FILL: FILL MATERIAL FOR LAYER 1 STARTS FROM THE TOP OF THE 'B' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <math>30\%</math> FINER OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M45 A-1, A-2, A-3 OR AASHTO M47 3, 3.57, 4, 4.67, 5, 5.6, 5.7, 5.8, 5.9, 6, 6.1, 6.2, 6.3, 6.4, 6.5, 6.6, 6.7, 6.8, 6.9, 7, 7.1, 7.2, 7.3, 7.4, 7.5, 7.6, 7.7, 7.8, 7.9, 8, 8.1, 8.2, 8.3, 8.4, 8.5, 8.6, 8.7, 8.8, 8.9, 9, 9.1, 9.2, 9.3, 9.4, 9.5, 9.6, 9.7, 9.8, 9.9, 10, 10.1, 10.2, 10.3, 10.4, 10.5, 10.6, 10.7, 10.8, 10.9, 11, 11.1, 11.2, 11.3, 11.4, 11.5, 11.6, 11.7, 11.8, 11.9, 12, 12.1, 12.2, 12.3, 12.4, 12.5, 12.6, 12.7, 12.8, 12.9, 13, 13.1, 13.2, 13.3, 13.4, 13.5, 13.6, 13.7, 13.8, 13.9, 14, 14.1, 14.2, 14.3, 14.4, 14.5, 14.6, 14.7, 14.8, 14.9, 15, 15.1, 15.2, 15.3, 15.4, 15.5, 15.6, 15.7, 15.8, 15.9, 16, 16.1, 16.2, 16.3, 16.4, 16.5, 16.6, 16.7, 16.8, 16.9, 17, 17.1, 17.2, 17.3, 17.4, 17.5, 17.6, 17.7, 17.8, 17.9, 18, 18.1, 18.2, 18.3, 18.4, 18.5, 18.6, 18.7, 18.8, 18.9, 19, 19.1, 19.2, 19.3, 19.4, 19.5, 19.6, 19.7, 19.8, 19.9, 20, 20.1, 20.2, 20.3, 20.4, 20.5, 20.6, 20.7, 20.8, 20.9, 21, 21.1, 21.2, 21.3, 21.4, 21.5, 21.6, 21.7, 21.8, 21.9, 22, 22.1, 22.2, 22.3, 22.4, 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56.9, 57, 57.1, 57.2, 57.3, 57.4, 57.5, 57.6, 57.7, 57.8, 57.9, 58, 58.1, 58.2, 58.3, 58.4, 58.5, 58.6, 58.7, 58.8, 58.9, 59, 59.1, 59.2, 59.3, 59.4, 59.5, 59.6, 59.7, 59.8, 59.9, 60, 60.1, 60.2, 60.3, 60.4, 60.5, 60.6, 60.7, 60.8, 60.9, 61, 61.1, 61.2, 61.3, 61.4, 61.5, 61.6, 61.7, 61.8, 61.9, 62, 62.1, 62.2, 62.3, 62.4, 62.5, 62.6, 62.7, 62.8, 62.9, 63, 63.1, 63.2, 63.3, 63.4, 63.5, 63.6, 63.7, 63.8, 63.9, 64, 64.1, 64.2, 64.3, 64.4, 64.5, 64.6, 64.7, 64.8, 64.9, 65, 65.1, 65.2, 65.3, 65.4, 65.5, 65.6, 65.7, 65.8, 65.9, 66, 66.1, 66.2, 66.3, 66.4, 66.5, 66.6, 66.7, 66.8, 66.9, 67, 67.1, 67.2, 67.3, 67.4, 67.5, 67.6, 67.7, 67.8, 67.9, 68, 68.1, 68.2, 68.3, 68.4, 68.5, 68.6, 68.7, 68.8, 68.9, 69, 69.1, 69.2, 69.3, 69.4, 69.5, 69.6, 69.7, 69.8, 69.9, 70, 70.1, 70.2, 70.3, 70.4, 70.5, 70.6, 70.7, 70.8, 70.9, 71, 71.1, 71.2, 71.3, 71.4, 71.5, 71.6, 71.7, 71.8, 71.9, 72, 72.1, 72.2, 72.3, 72.4, 72.5, 72.6, 72.7, 72.8, 72.9, 73, 73.1, 73.2, 73.3, 73.4, 73.5, 73.6, 73.7, 73.8, 73.9, 74, 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107.3, 107.4, 107.5, 107.6, 107.7, 107.8, 107.9, 108, 108.1, 108.2, 108.3, 108.4, 108.5, 108.6, 108.7, 108.8, 108.9, 109, 109.1, 109.2, 109.3, 109.4, 109.5, 109.6, 109.7, 109.8, 109.9, 110, 110.1, 110.2, 110.3, 110.4, 110.5, 110.6, 110.7, 110.8, 110.9, 111, 111.1, 111.2, 111.3, 111.4, 111.5, 111.6, 111.7, 111.8, 111.9, 112, 112.1, 112.2, 112.3, 112.4, 112.5, 112.6, 112.7, 112.8, 112.9, 113, 113.1, 113.2, 113.3, 113.4, 113.5, 113.6, 113.7, 113.8, 113.9, 114, 114.1, 114.2, 114.3, 114.4, 114.5, 114.6, 114.7, 114.8, 114.9, 115, 115.1, 115.2, 115.3, 115.4, 115.5, 115.6, 115.7, 115.8, 115.9, 116, 116.1, 116.2, 116.3, 116.4, 116.5, 116.6, 116.7, 116.8, 116.9, 117, 117.1, 117.2, 117.3, 117.4, 117.5, 117.6, 117.7, 117.8, 117.9, 118, 118.1, 118.2, 118.3, 118.4, 118.5, 118.6, 118.7, 118.8, 118.9, 119, 119.1, 119.2, 119.3, 119.4, 119.5, 119.6, 119.7, 119.8, 119.9, 120, 120.1, 120.2, 120.3, 120.4, 120.5, 120.6, 120.7, 120.8, 120.9, 121, 121.1, 121.2, 121.3, 121.4, 121.5, 121.6, 121.7, 121.8, 121.9, 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136.7, 136.8, 136.9, 137, 137.1, 137.2, 137.3, 137.4, 137.5, 137.6, 137.7, 137.8, 137.9, 138, 138.1, 138.2, 138.3, 138.4, 138.5, 138.6, 138.7, 138.8, 138.9, 139, 139.1, 139.2, 139.3, 139.4, 139.5, 139.6, 139.7, 139.8, 139.9, 140, 140.1, 140.2, 140.3, 140.4, 140.5, 140.6, 140.7, 140.8, 140.9, 141, 141.1, 141.2, 141.3, 141.4, 141.5, 141.6, 141.7, 141.8, 141.9, 142, 142.1, 142.2, 142.3, 142.4, 142.5, 142.6, 142.7, 142.8, 142.9, 143, 143.1, 143.2, 143.3, 143.4, 143.5, 143.6, 143.7, 143.8, 143.9, 144, 144.1, 144.2, 144.3, 144.4, 144.5, 144.6, 144.7, 144.8, 144.9, 145, 145.1, 145.2, 145.3, 145.4, 145.5, 145.6, 145.7, 145.8, 145.9, 146, 146.1, 146.2, 146.3, 146.4, 146.5, 146.6, 146.7, 146.8, 146.9, 147, 147.1, 147.2, 147.3, 147.4, 147.5, 147.6, 147.7, 147.8, 147.9, 148, 148.1, 148.2, 148.3, 148.4, 148.5, 148.6, 148.7, 148.8, 148.9, 149, 149.1, 149.2, 149.3, 149.4, 149.5, 149.6, 149.7, 149.8, 149.9, 150, 150.1, 150.2, 150.3, 150.4, 150.5, 150.6, 150.7, 150.8, 150.9, 151, 151.1, 151.2, 151.3, 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195.5, 195.6, 195.	





- GENERAL NOTES:**
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
  2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
  3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
  4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
  5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
  6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
  7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
  8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
  9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
  10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
  11. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLAN FOR LOCATION OF CONCRETE TYPES).
  - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLED WATER HAS DISSIPATED.
  - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYUREAL EZ.
  12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
  13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

- SANITARY SEWER NOTES:**
1. THE CONTRACTOR IS ADVISED THAT A TRENCH SHIELD AND/OR SHORING DESIGNED IN ACCORDANCE WITH OSHA STANDARDS SHALL BE USED IN ALL OPEN TRENCH EXCAVATIONS.
  2. ANY CONTRACTOR AND/OR PLUMBER PERFORMING WORKING IN A CONFINED SPACE (ie MANHOLES, WETWELLS, CHAMBERS) OWNED BY THE TOWN MUST CERTIFY TO THE TOWN THAT THEY HAVE THEIR OWN CONFINED SPACE ENTRY PROGRAM THAT MEETS OR EXCEEDS OSHA'S REGULATIONS. CERTIFICATION MUST BE NOTARIZED BY A NOTARY PUBLIC.
  3. CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS OF THE TOWN AND NEW YORK STATE CODES.
  4. IF ANY PROPOSED SEWER LATERAL RUNS UNDER PAVED AREA AND HAS LESS THAN 4" COVER, CONCRETE ENCASUREMENT IS REQUIRED. IF MORE THAN 4" COVER IS PROVIDED IN PAVED AREAS SELECT FILL IS REQUIRED.
  5. THE CONTRACTOR MUST NOTIFY THE TOWN ENGINEER OFFICE AND THE PLUMBING INSPECTOR 24 HOURS IN ADVANCE OF CONSTRUCTION.
  6. CLEANOUTS ARE REQUIRED EVERY 100' AND AT CHANGE IN DIRECTION.
  7. ABANDONED SANITARY SEWER CONNECTIONS FROM THE SITE, IF ANY, REQUIRE PROOF OF A DISTRICT PERMIT FOR DISCONNECTION PRIOR TO THE NEW CONNECTION BEING MADE.

- UTILITY NOTES:**
1. PROVIDE FITTINGS AND BLOCKING AS NECESSARY AT ALL BENDS IN WATER LINES.
  2. WHERE UTILITIES ARE INSTALLED IN EXISTING PAVEMENT, LANDSCAPED AREA ETC. ANY ITEMS REMOVED/DAMAGED SHALL BE REPLACED IN KIND.
  3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS NECESSARY: STATE, COUNTY, AND TOWN.
  4. WATER MAINS TO HAVE MINIMUM 5FT COVER.

**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
2	05.08.2024	DZ	Site Plan Update
4	07.31.2024	DZ	Site Updates
5	08.12.2024	DZ	Site Updates
6	08.30.2024	DZ	Town Comments

**SPECIAL INFORMATION:**  
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.  
SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.  
**NOTICE**  
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #2709 OF THE STATE EDUCATION LAW.

**811**  
Know what's below.  
Call before you dig.

PROPERTY NUMBER: #1723  
AREA: -

**Amherst Development Park**  
6000 - 6040 North Bailey Ave  
Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR

**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL

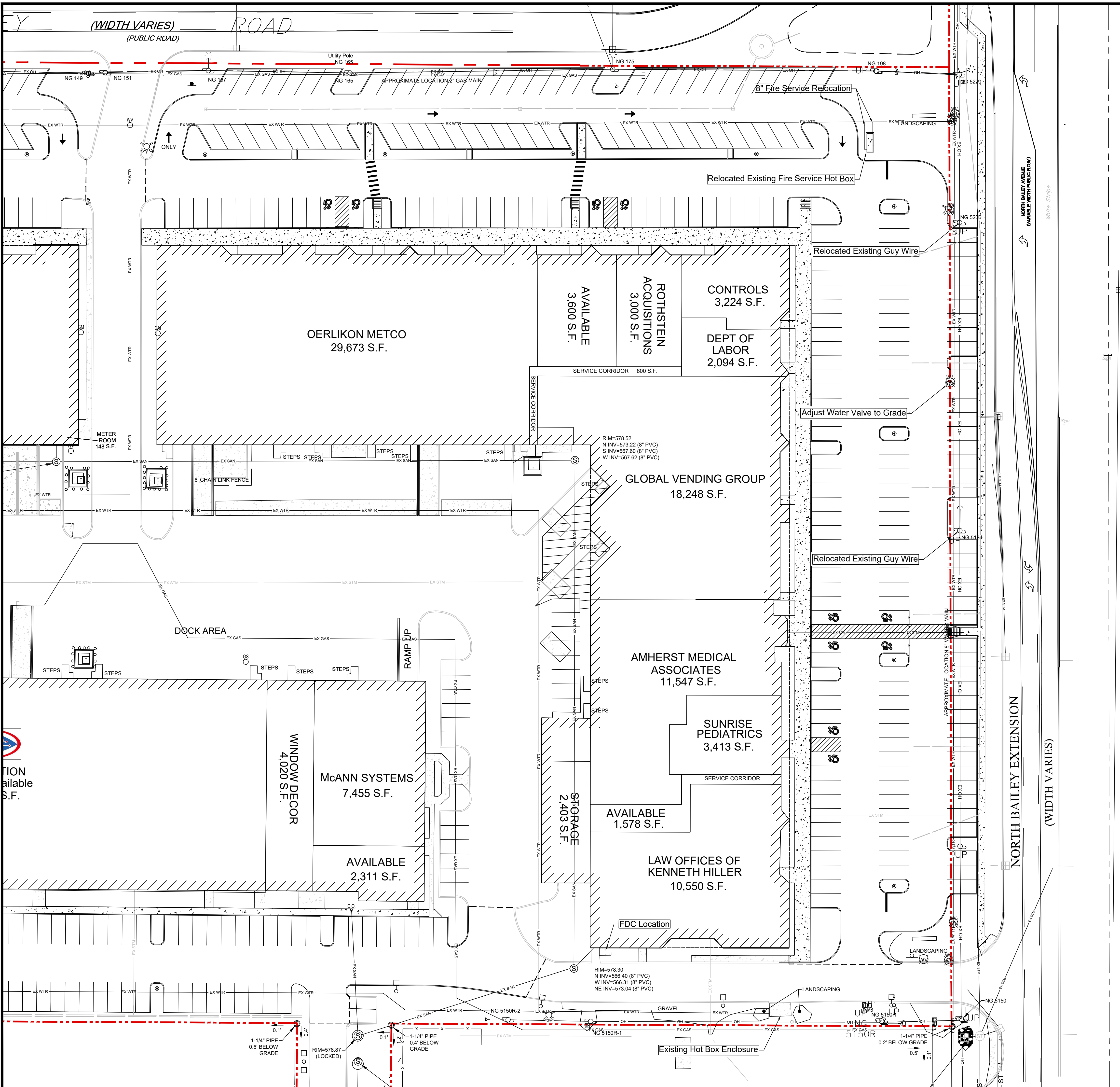
OFFICIAL TOWN USE ONLY

TITLE: Utility Plan (West)

SCALE: 1:30  
DRAWN BY: DMZ  
CHECKED BY: MAO  
DATE: 08.16.2023

DRAWING NO. **C6.00**





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  7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
  8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
  9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
  10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
  11. CONCRETE SIDEWALK SEALERS (REF. TO ARCHITECTURAL PLAN FOR LOCATION OF CONCRETE TYPES).
  - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLED WATER HAS DISSIPATED.
  - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPROX. 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
  12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
  13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

- SANITARY SEWER NOTES:**
1. THE CONTRACTOR IS ADVISED THAT A TRENCH SHIELD AND/OR SHORING DESIGNED IN ACCORDANCE WITH OSHA STANDARDS SHALL BE USED IN ALL OPEN TRENCH EXCAVATIONS.
  2. ANY CONTRACTOR AND/OR PLUMBER PERFORMING WORKING IN A CONFINED SPACE (ie MANHOLES, WETWELLS, CHAMBERS) OWNED BY THE TOWN MUST CERTIFY TO THE TOWN THAT THEY HAVE THEIR OWN CONFINED SPACE ENTRY PROGRAM THAT MEETS OR EXCEEDS OSHA'S REGULATIONS. CERTIFICATION MUST BE NOTARIZED BY A NOTARY PUBLIC.
  3. CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS OF THE TOWN AND NEW YORK STATE CODES.
  4. IF ANY PROPOSED SEWER LATERAL RUNS UNDER PAVED AREA AND HAS LESS THAN 4" COVER, CONCRETE ENCASUREMENT IS REQUIRED. IF MORE THAN 4" COVER IS PROVIDED IN PAVED AREAS SELECT FILL IS REQUIRED.
  5. THE CONTRACTOR MUST NOTIFY THE TOWN ENGINEER OFFICE AND THE PLUMBING INSPECTOR 24 HOURS IN ADVANCE OF CONSTRUCTION.
  6. CLEANOUTS ARE REQUIRED EVERY 100' AND AT CHANGE IN DIRECTION.
  7. ABANDONED SANITARY SEWER CONNECTIONS FROM THE SITE, IF ANY, REQUIRE PROOF OF A DISTRICT PERMIT FOR DISCONNECTION PRIOR TO THE NEW CONNECTION BEING MADE.

- UTILITY NOTES:**
1. PROVIDE FITTINGS AND BLOCKING AS NECESSARY AT ALL BENDS IN WATER LINES.
  2. WHERE UTILITIES ARE INSTALLED IN EXISTING PAVEMENT, LANDSCAPED AREA ETC. ANY ITEMS REMOVED/DAMAGED SHALL BE REPLACED IN KIND.
  3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS NECESSARY: STATE, COUNTY, AND TOWN.
  4. WATER MAINS TO HAVE MINIMUM 8" COVER.

**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
4	07.31.2024	DZ	Site Updates
6	08.30.2024	DZ	Town Comments

**SPECIAL INFORMATION:**  
 ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.  
 SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.  
**NOTICE**  
 UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #2709 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: #1723  
 AREA: -

**Amherst Development Park**  
 6000 - 6040 North Bailey Ave  
 Amherst, NY 14226

**PROPOSED  
 SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
 ARCHITECT  
 PREPARED FOR

**BENDERSON  
 DEVELOPMENT**  
 570 DELAWARE AVE., BUFFALO, NY 14202  
 (716) 886-0211

SEAL



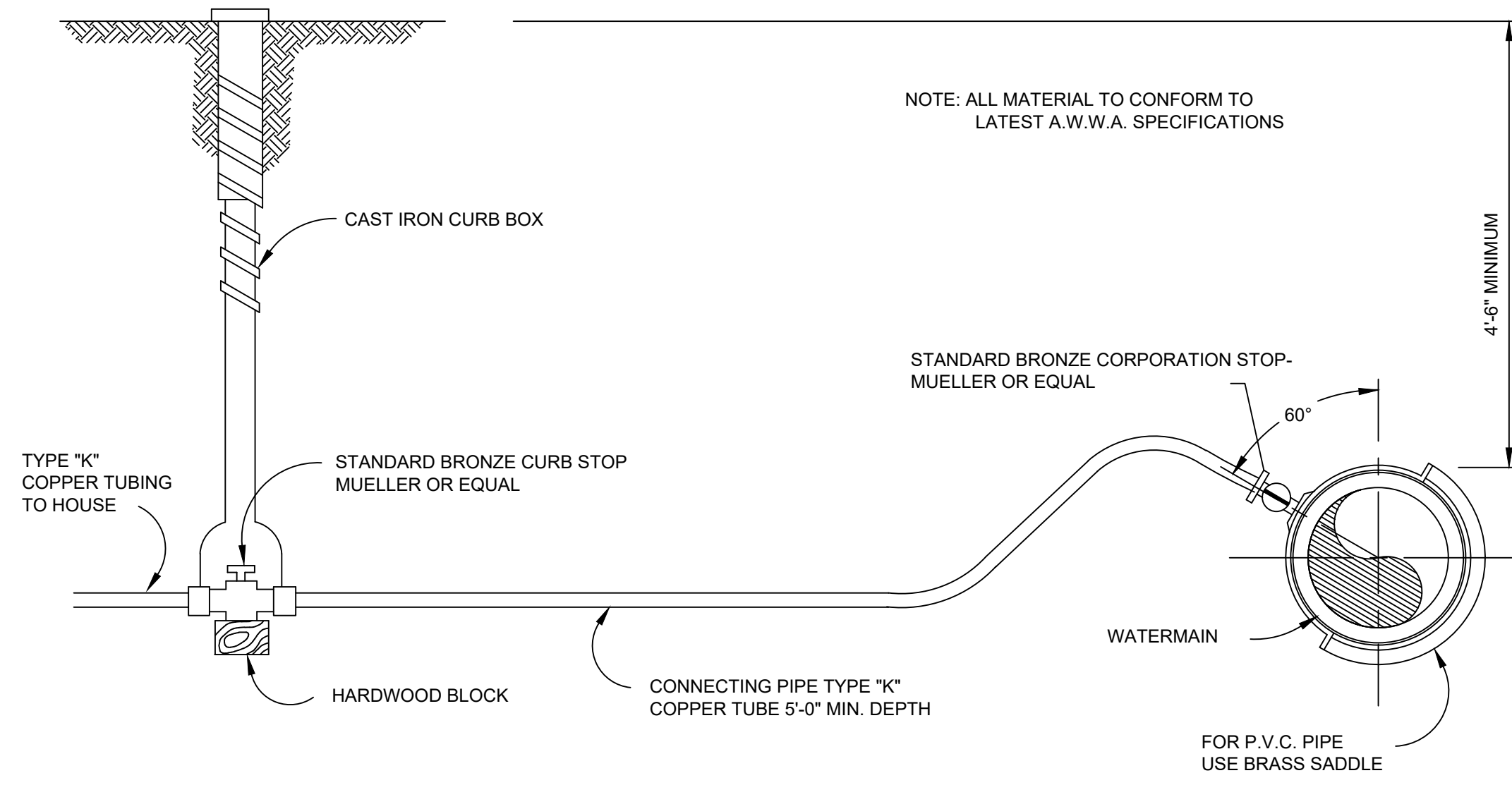
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SCALE: 1:30  
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 CHECKED BY: MAO  
 DATE: 08.16.2023

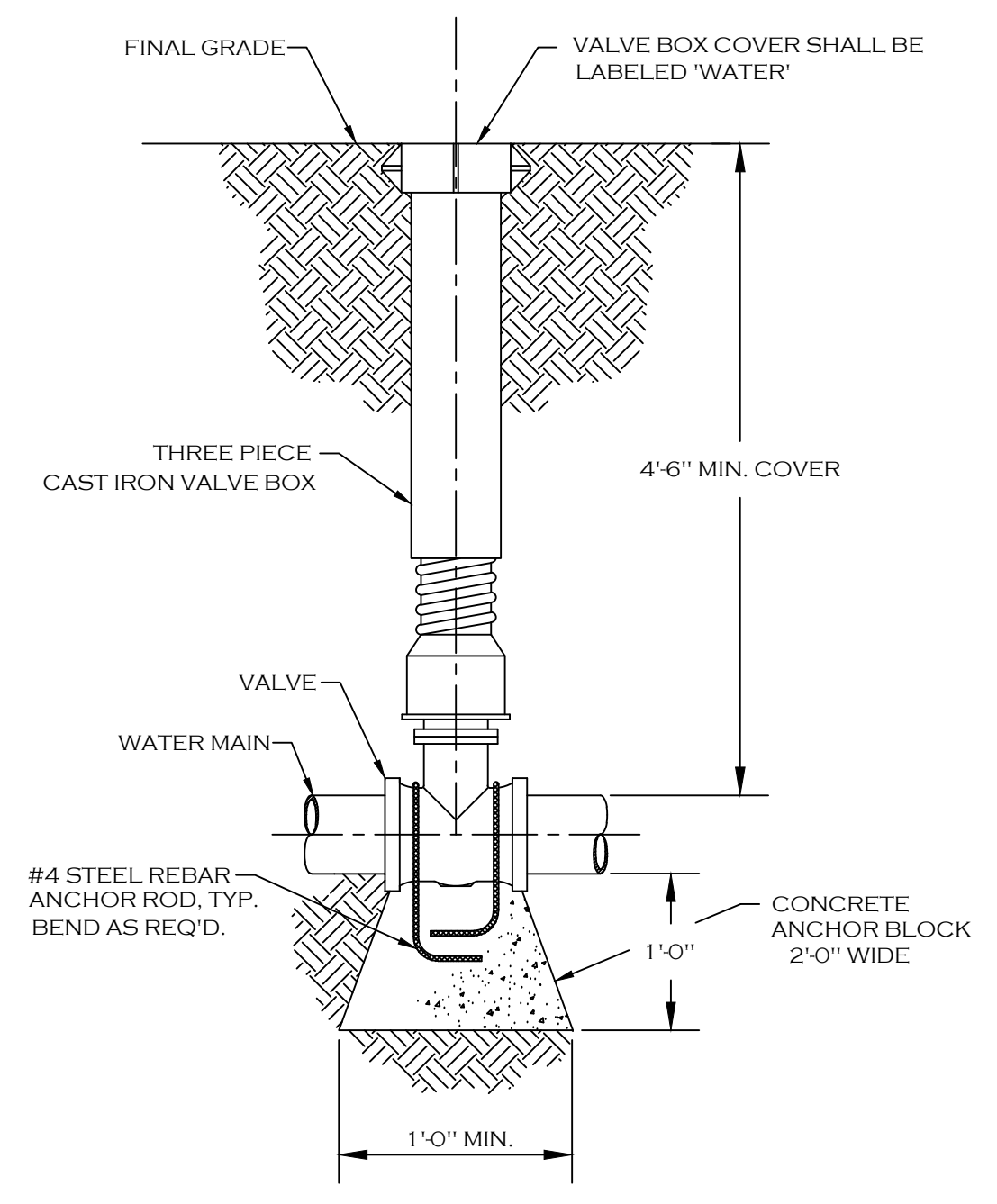
DRAWING NO. **C6.01**

OFFICIAL TOWN USE ONLY

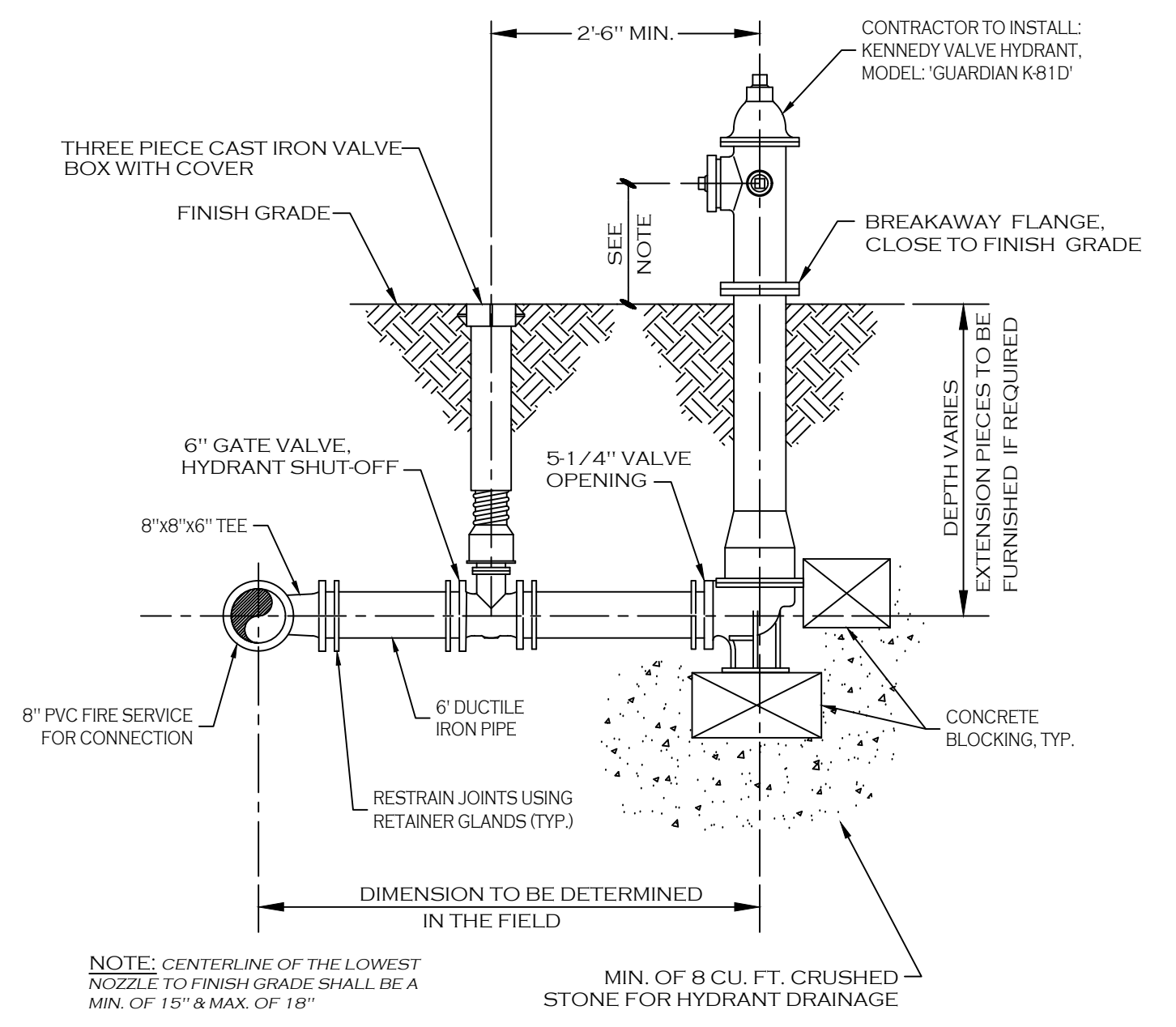




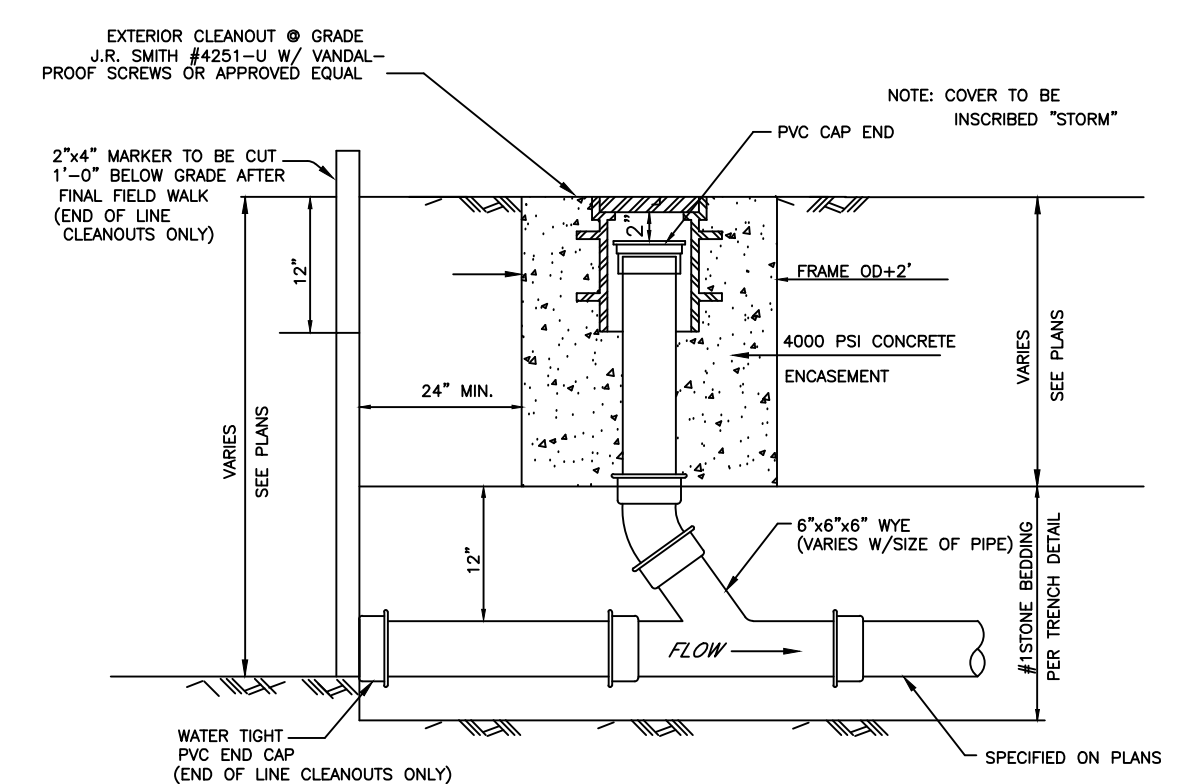
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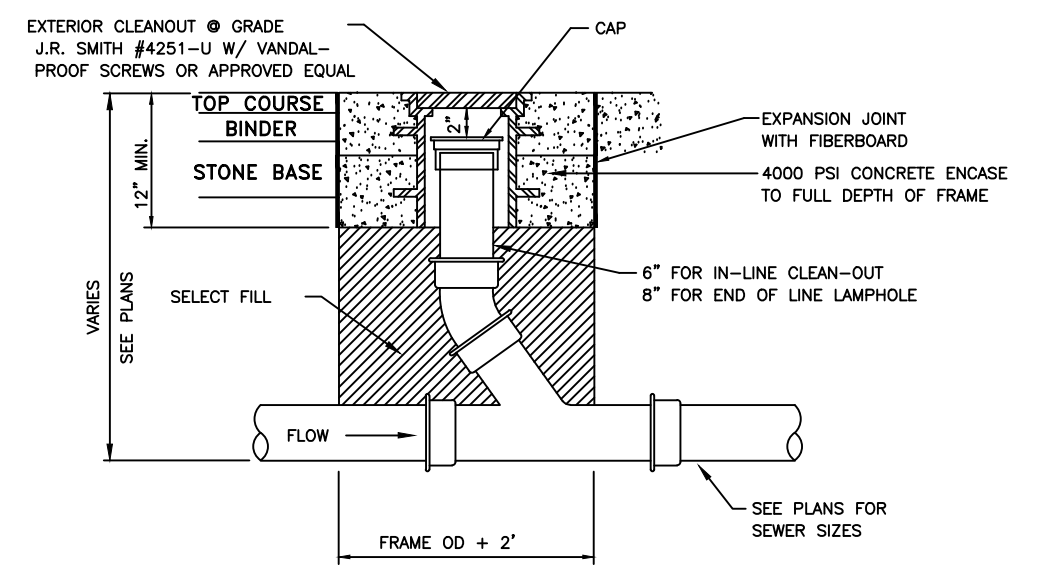
**TYPICAL GATE VALVE DETAIL**



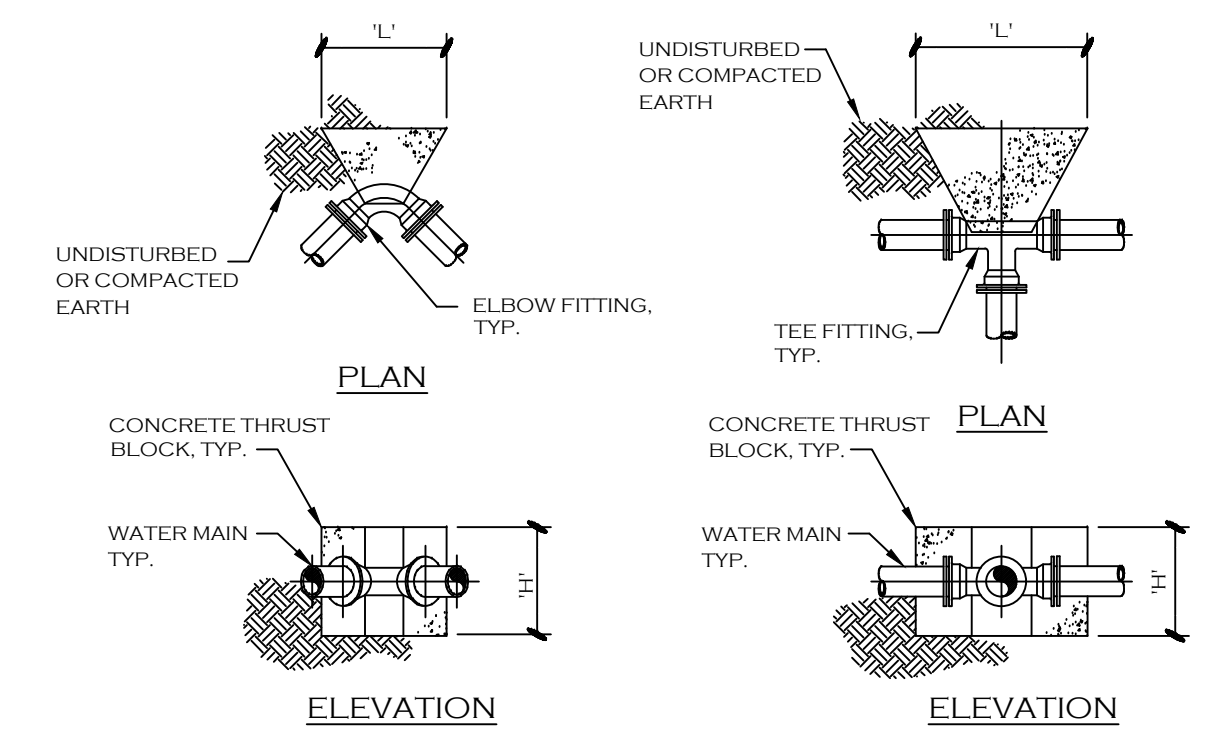
**TYPICAL FIRE HYDRANT ASSEMBLY DETAIL**



**CLEANOUT IN LANDSCAPED AREAS**  
NOT TO SCALE



**CLEANOUT IN PAVED AREAS**  
NOT TO SCALE



**DIMENSION SCHEDULE**

PIPE SIZE	90° ELBOW		45° ELBOW		22.5° ELBOW		11.25° ELBOW	
	'H'	'L'	'H'	'L'	'H'	'L'	'H'	'L'
4"	1.5'	2.0'	1.0'	2.0'	1.0'	1.0'	1.0'	1.0'
6"	2.0'	2.5'	1.5'	2.0'	1.0'	1.5'	1.0'	1.5'
8"	2.5'	3.5'	2.0'	2.5'	1.5'	1.5'	1.0'	2.0'
10"	3.0'	4.5'	2.5'	3.0'	1.5'	3.0'	1.0'	2.5'
12"	3.5'	5.0'	3.0'	3.5'	2.5'	2.5'	1.5'	2.5'

**DIMENSION SCHEDULE**

PIPE SIZE	TEE OR TAP SLEEVE	
	'H'	'L'
4"	1.5'	1.0'
6"	1.5'	2.5'
8"	1.5'	3.5'
10"	2.5'	3.5'
12"	3.5'	3.5'

**THRUST BLOCK SCHEDULE**  
WATER MAIN

OFFICIAL TOWN USE ONLY

**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS

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PROPERTY NUMBER: #1723

AREA: -

**Amherst Development Park**  
6000 - 6040 North Bailey Ave  
Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY  
ARCHITECT  
PREPARED FOR

**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE., BUFFALO, NY 14202  
(716) 886-0211

SEAL



TITLE:  
**Utility Details**

SCALE:  
NTS

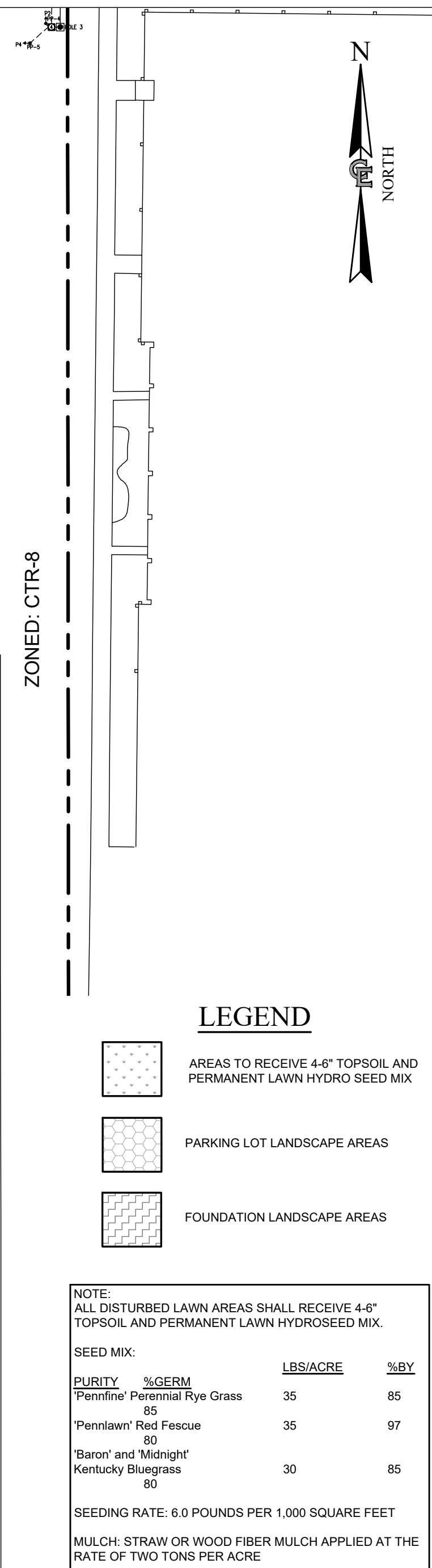
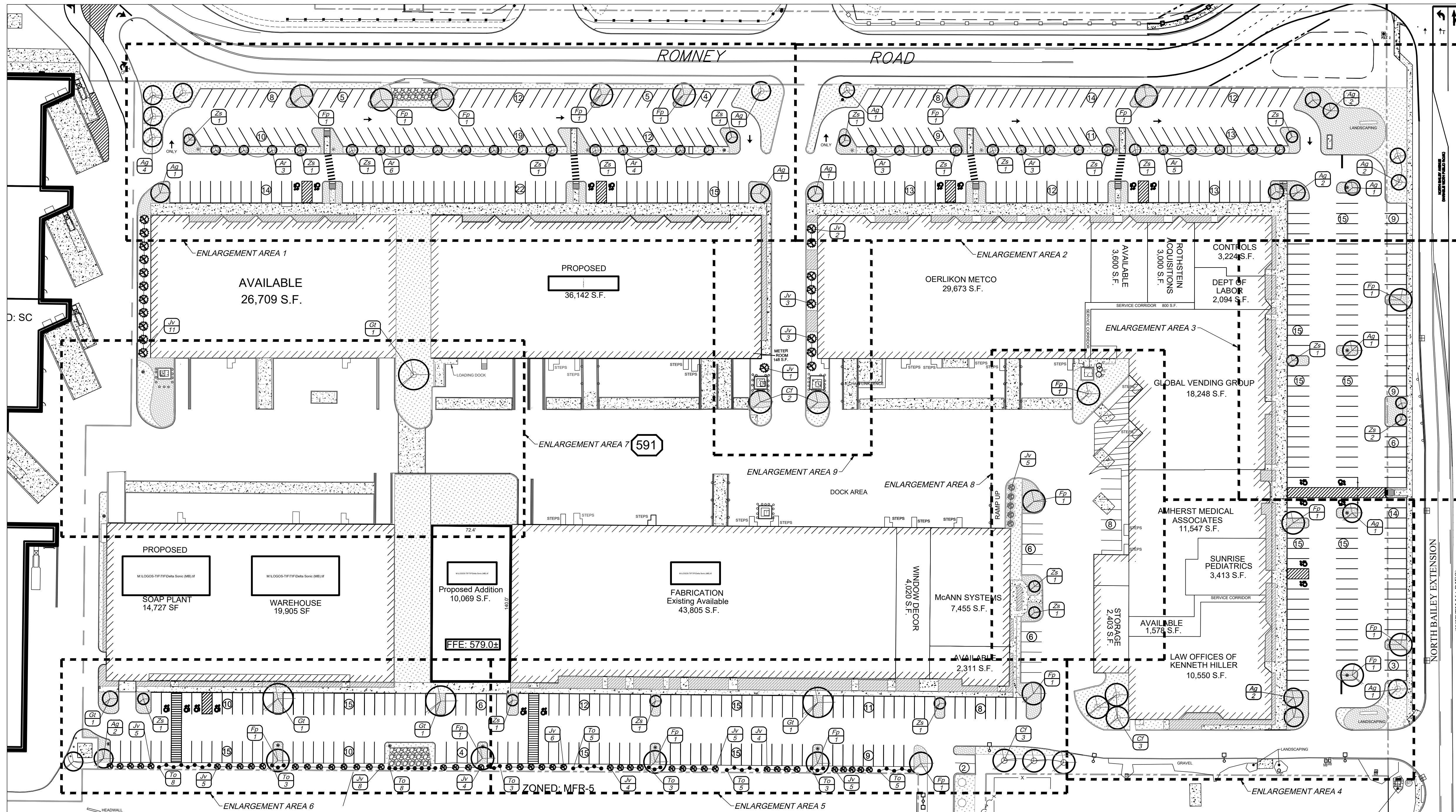
DRAWN BY: DMZ

CHECKED BY: MAO

DATE: 08.16.2023

DRAWING NO. **C6.10**





Revisions	No.	Revision/Issue	Date
	01	Revised based on site plan changes	2024-08-21

**Notes & References**

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

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Applicant

**BENDERSON DEVELOPMENT**

570 DELAWARE AVE. BUFFALO, NY 14202  
PHONE: (716) 882-0111 FAX: (716) 882-7749  
WWW.BENDERSON.COM

PROJECT NO.: 1910

Landscape Architect's Seal

Landscape Architect

**COSTICH ENGINEERING**

• CIVIL ENGINEERING  
• LAND SURVEYING  
• LANDSCAPE ARCHITECTURE

217 LAKE AVENUE  
ROCHESTER, NY 14609  
(585) 458-3020

Project Name and Address

**AMHERST DEVELOPMENT PARK - BUILDING ADDITIONS**  
6000-6040 N. Bailey Avenue  
Amherst, New York 14226

Drawing Name

**OVERALL LANDSCAPE PLAN**

Sheet: 1 OF 5  
Date: 06/12/2024  
Scale: 1"=50'

Drawing Number: C-7.0

**PLANT SCHEDULE**

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE
<b>EVERGREEN TREES</b>						
71	Jv	JUNIPERUS VIRGINIANA 'EMERALD SENTINEL'	EASTERN RED CEDAR	6-8' HT.	BB	HT. 10-20', SP. 7-8'
43	To	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6-8' HT.	BB	HT. 15', SP. 3-4'
<b>ORNAMENTAL / DECIDUOUS TREES</b>						
23	Ag	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6-8' HT.	BB	HT. 15-25', SP. 15-25'
24	Ar	ACER RUBRUM 'JFS-KW78'	ARMSTRONG GOLD MAPLE	2.5-3" CAL.	BB	HT. 30-40', SP. 10-12'
8	Cf	CORNUS FLORIDA	FLOWERING DOGWOOD	6-8' HT.	BB	HT. 15-30', SP. 15-30'
19	Fp	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	1.75-2" CAL.	BB	HT. 20-30', SP. 20-30'
5	Gt	GLEDITSIA TRIACANTHOS INERM.	THORNLESS HONEY LOCUST	2.5-3" CAL.	BB	HT. 60-80', SP. 60-80'
21	Zs	ZELKOVA SERRATA 'CITY SPRITE'	CITY SPRITE ZELKOVA	2.5-3" CAL.	BB	HT. 45', SP. 15'
<b>SHRUBS</b>						
219	Am	ARONIA MELANOCARPA	LOWSCAPE MOUND CHOKEBERRY	NO. 3 (24" MIN)	CONT.	HT. 1-2', SP. 1.5-2'
68	Ig	ILEX GLABRA 'STRONG BOX'	STRONGBOX INKBERRY HOLLY	HT. 24" MIN	BB	HT. 2-3', SP. 2-3'
86	Iv	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	HT. 24" MIN	CONT.	HT. 3-5', SP. 4-6'
87	Ra	ROSA 'RADTKO'	DOUBLE KNOCKOUT ROSE	NO. 3 (24" MIN)	CONT.	HT. 2-5', SP. 6-8'
342	Rm	ROSA MEIGALPIO	RED DRIFT GROUNDCOVER ROSE	NO. 3 (24" MIN)	CONT.	HT. 1-1.5', SP. 2-2.5'
92	Sj	SPHRAEA JAPONICA 'GOLDMOUND'	GOLDMOUND SPIREA	HT. 24" MIN	CONT.	HT. 2-3', SP. 4'
104	Tx	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	HT. 24" MIN	CONT.	HT. 3-4', SP. 4-6'

85	Vl	VIBURNUM CARLESII 'KOREAN SPICE'	KOREAN SPICE VIBURNUM	HT. 24" MIN	CONT.	HT. 3.5', SP. 4-5'
<b>PERENNIALS &amp; GRASSES</b>						
205	Ca	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	NO. 2	CONT.	HT. 4-6', SP. 2-3'
68	Ha	HAKONECHLOA MACRA 'ALL GOLD'	ALL GOLD JAPANESE FOREST GRASS	NO. 3	CONT.	HT. 1.5', SP. 1.5'
591	He	HEMEROCALLIS X 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	NO. 1	CONT.	HT. 1-1.5', SP. 1-1.5'
49	Ir	IRIS PALLIDA 'VARIEGATA'	VARIEGATED SWEET IRIS	BULB	CONT.	HT. 2', SP. 1'
332	Nf	NEPETA HYBRID 'CAT'S PAJAMAS'	CAT'S PAJAMAS' CATMINT	NO. 3	CONT.	HT. 18-20" SP. 18-20"
155	Pc	PANICUM VIRGATUM 'CHEYENNE SKY'	CHEYENNE SKY SWITCHGRASS	NO. 3	CONT.	HT. 2-3', SP. 1.5-2'
328	Pe	PENNISETUM ALOPECUROIDES 'LEMON SQUEEZE'	LEMON SQUEEZE FLOWERING FOUNTAIN GRASS	NO. 3	CONT.	HT. 2.5-3', SP. 2-2.5'
28	Pv	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCHGRASS	NO. 2	CONT.	HT. 3-4', SP. 3-4'
122	Ss	SEDUM 'AUTUMN JOY'	AUTUMN JOY STONE CROP SEDUM	NO. 2	CONT.	HT. 18-24", SP. 18-24"

**ABBREVIATIONS:**  
BB-BALLED & BURLAPPED  
BR-BARE ROOT  
CAL-CALIPER IN INCHES  
CONT-CONTAINER  
HT-HEIGHT  
NO-#GALLON SIZE  
SP-SPREAD

**NOTES:**  
- CALIPER TO BE MEASURED 6" ABOVE GRADE  
- PLANT SYMBOLS REPRESENT 2/3 MATURE SIZE

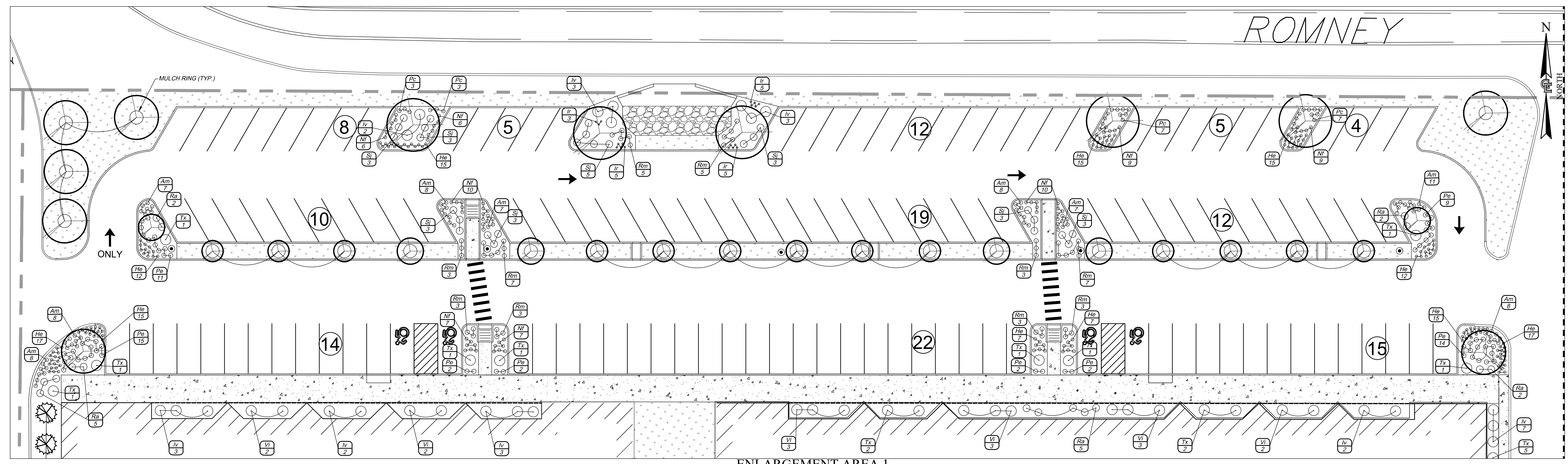
**GREENSPACE CALCULATIONS**

	EXISTING	REQUIRED	PROPOSED
TOTAL PARCEL AREA =	746,480 SF	--	(NO CHANGE)
TOTAL GREENSPACE AREA =	±182,069 SF (24.4%)	--	±110,211 SF (14.8%)

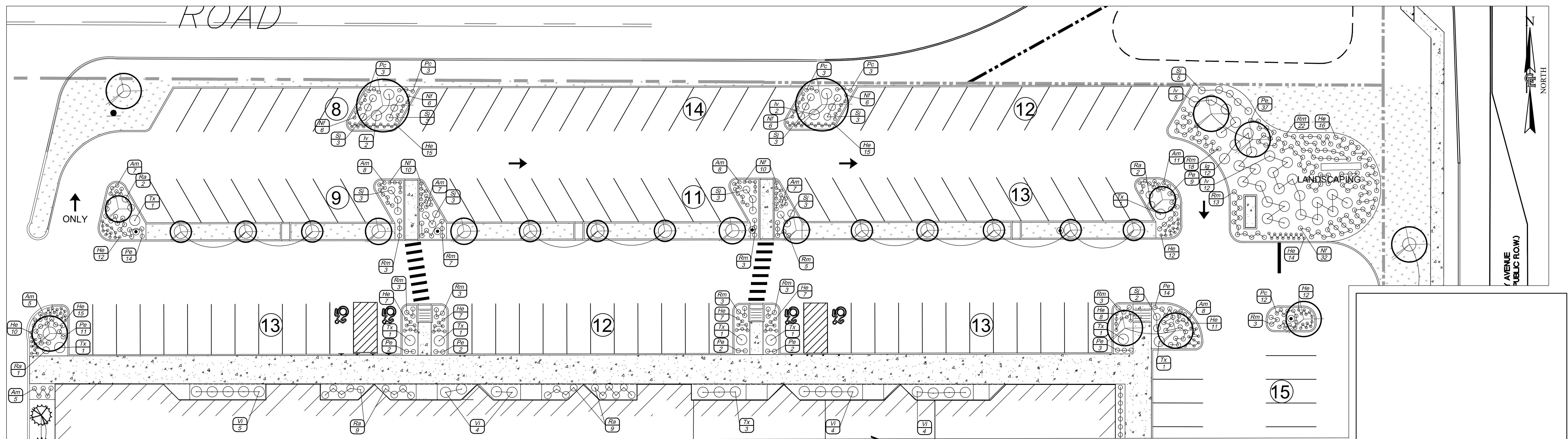
**LANDSCAPE NOTES**

- LANDSCAPE CONTRACTOR SHALL SECURE CURRENT PLANS AND SPECIFICATIONS FOR PROPER CONSTRUCTION METHODS AND MATERIAL OF ALL LANDSCAPING PRIOR TO COMMENCING WORK.
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1 (LATEST EDITION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF.
- THE CONTRACTOR SHALL PERFORM A ROUGH FIELD TAKEOFF OF ALL PLANT MATERIAL AND SHRUB BEDS. CONTACT OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL. LOCATIONS SHOWN ON THE PLANS CONVEY DESIGN INTENT ONLY. ACTUAL LOCATIONS WILL BE AS DIRECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST. SHOULD LOCATION OF TREES BE WITHIN 5' OF UNDERGROUND UTILITIES, RELOCATE SAID TREES TO A MINIMUM OF 5' FROM BALL TO UTILITIES.
- SHOULD LOCATION OF TREES BE WITHIN 20' OF OVERHEAD WIRES, RELOCATE SAID TREES TO A MINIMUM OF 20' FROM WIRES.
- ALL TREES AND SHRUBS SHALL RECEIVE A 3" LAYER OF BLACK SHREDDED HARDWOOD BARK MULCH.
- ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY AT THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
- NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR OWNER'S PROJECT LANDSCAPE ARCHITECT.
- ANY PLANT WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING, BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, AND REMOVAL OF STAKES AND GUYS) AND NEWLY ESTABLISHED LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- ALL AREAS DISTURBED BY UTILITY INSTALLATION AND SITE GRADING ACTIVITY SHALL RECEIVE 6" APPROVED TOPSOIL (TO A COMPACTED DEPTH OF 6", UNLESS OTHERWISE SPECIFIED BY THE GOVERNING MUNICIPALITY) BE FINE GRADES, SEEDED, MULCHED, AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ANY IRRIGATION COMPONENT DAMAGED DURING SITE OR LANDSCAPE RENOVATIONS MUST BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.
- A ONE YEAR GUARANTEE SHALL BE PROVIDED ON ALL PLANT MATERIALS FROM THE DATE OF PROVISIONAL ACCEPTANCE.
- PLANTING BACKFILL MIXTURE SHALL CONSIST OF 3 PARTS TOPSOIL AND 1 PART COMPOST THOROUGHLY MIXED. PLANTING SOIL DEPTH SHALL BE 3" MINIMUM, AND BE FREE FROM CONSTRUCTION DEBRIS AND FOREIGN MATERIALS.
- STAKE TREES IMMEDIATELY AFTER PLANTING.
- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. IF ANY TREE IS LOCATED CLOSER THAN 5' TO AN UNDERGROUND UTILITY, IT SHALL BE RELOCATED TO A LOCATION THAT IS A MINIMUM OF 5' AWAY AS MEASURED FROM THE ROOTBALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.





ENLARGEMENT AREA 1  
SCALE: 1" = 20'



ENLARGEMENT AREA 2  
SCALE: 1" = 20'

Revisions	No.	Revision/Issue	Date
	01	Revised based on site plan changes	2024-08-21

**Notes & References**

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

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Applicant

**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE. BUFFALO, NY 14202  
PHONE: (716) 882-0111 FAX: (716) 882-7797  
WWW.BENDERSON.COM

PROJECT NO. 1910



Landscape Architect

**COSTICH ENGINEERING**

- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

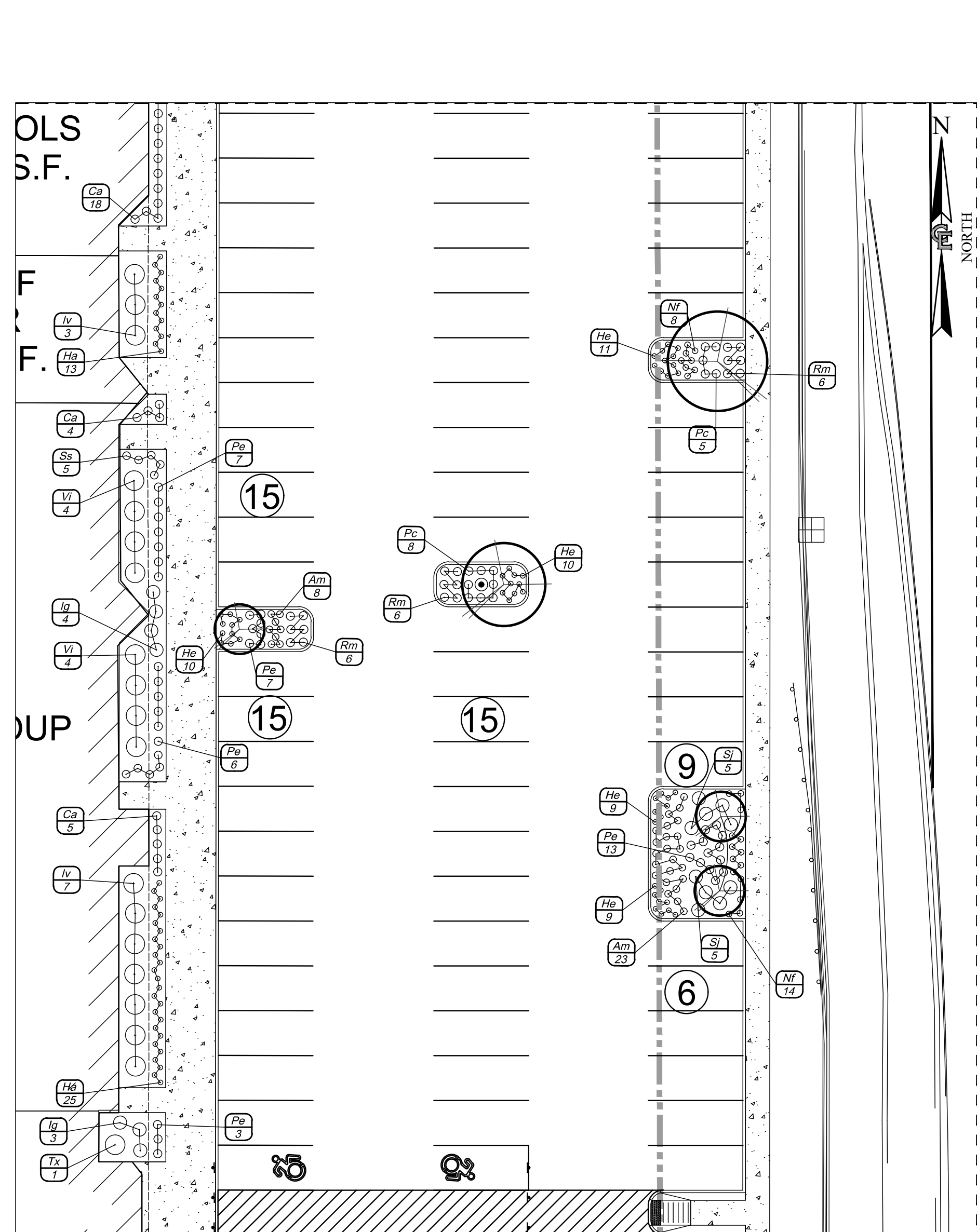
217 LAKE AVENUE  
ROCHESTER, NY 14609  
(585) 459-3020

Project Name and Address

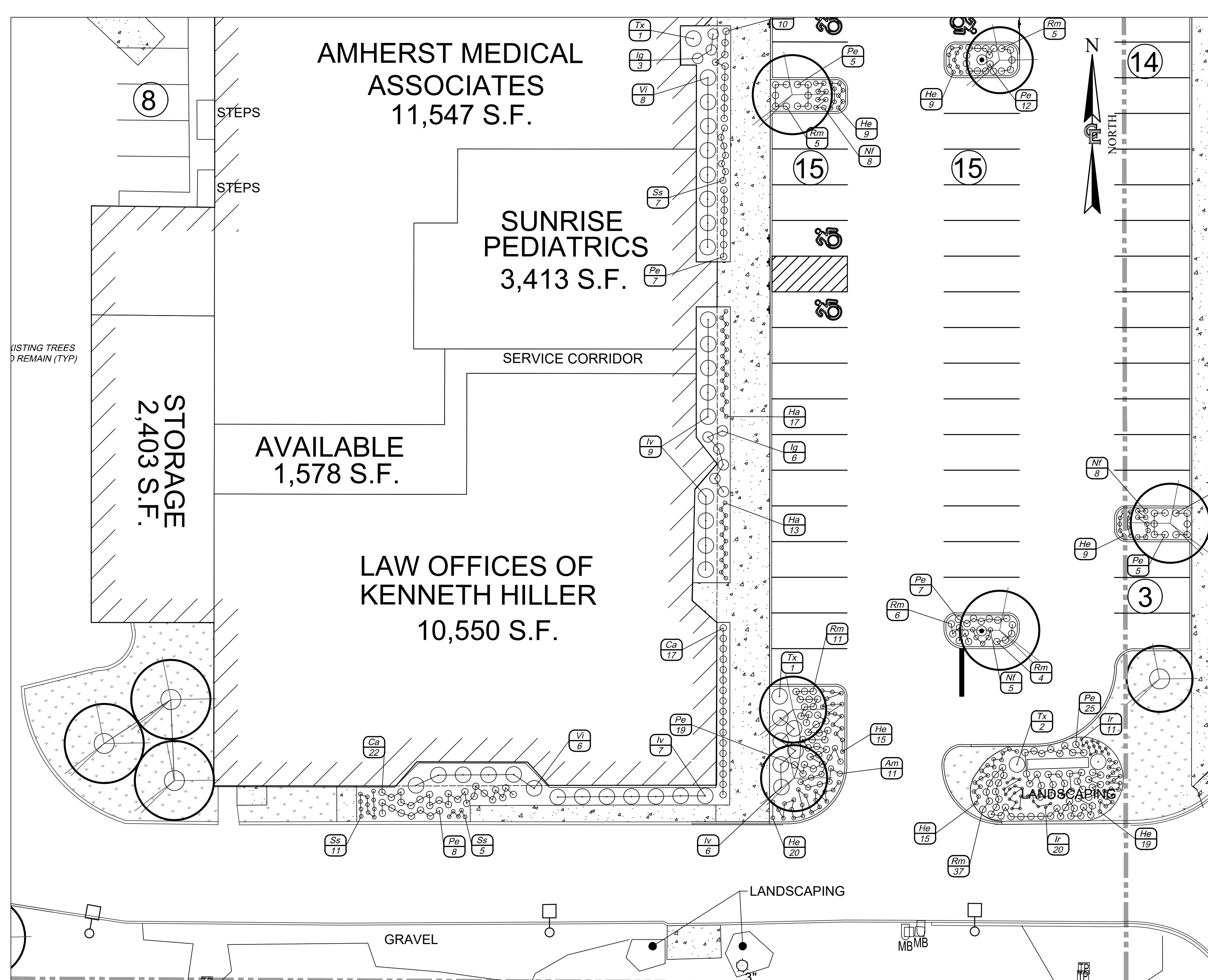
**AMHERST DEVELOPMENT PARK - BUILDING ADDITIONS**  
6000-6040 N. Bailey Avenue  
Amherst, New York 14226

Drawing Name	
LANDSCAPE PLAN ENLARGEMENT AREAS	
Sheet	Drawing Number
2 OF 5	C-7.1
Date	Scale
6/12/2024	1"=20'

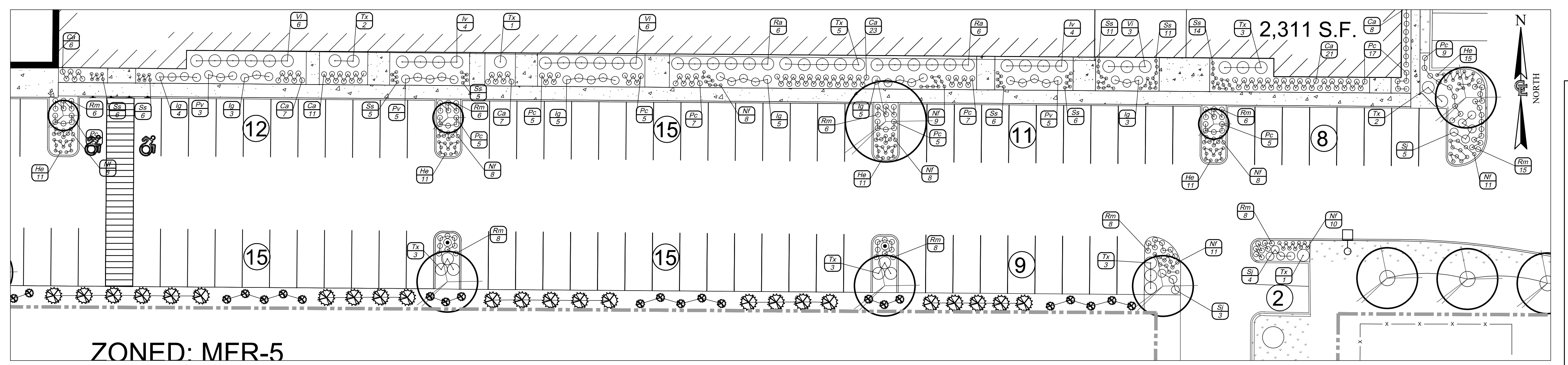




ENLARGEMENT AREA 3  
SCALE: 1" = 20'



ENLARGEMENT AREA 4  
SCALE: 1" = 20'



ENLARGEMENT AREA 5  
SCALE: 1" = 20'

MATCHLINE (SEE SHEET C-7.0)



Revisions	No.	Revision/Issue	Date
	01	Revised based on site plan changes	2024-08-21

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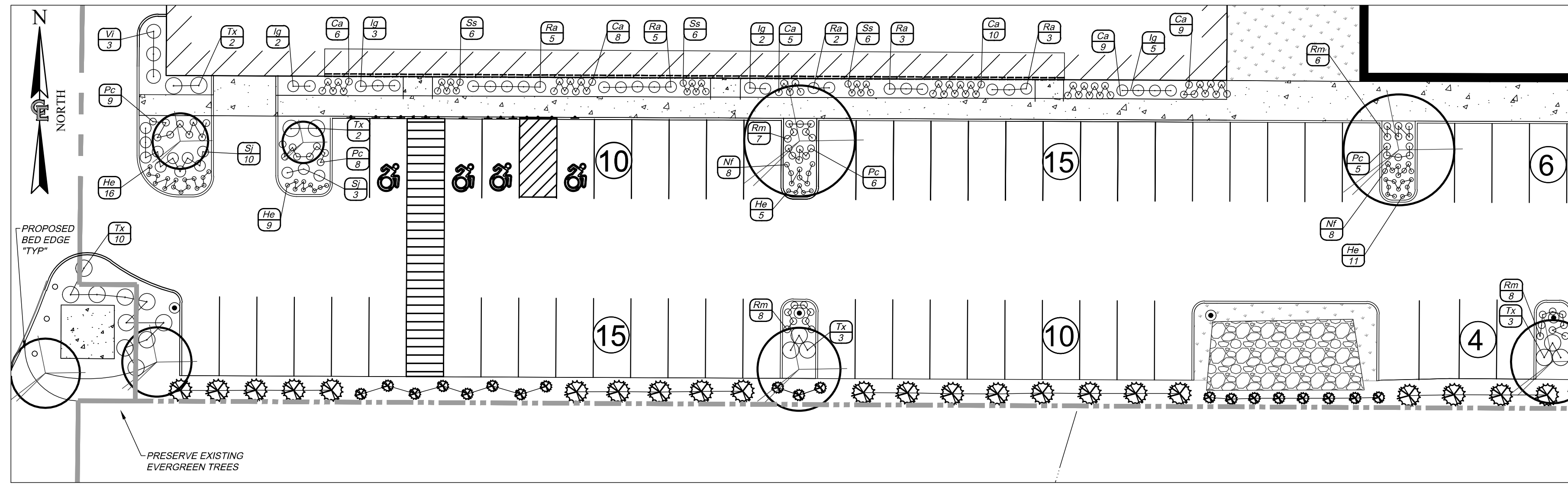
**AMHERST DEVELOPMENT PARK - BUILDING ADDITIONS**  
6000-6040 N. Bailey Avenue  
Amherst, New York 14226

Drawing Name

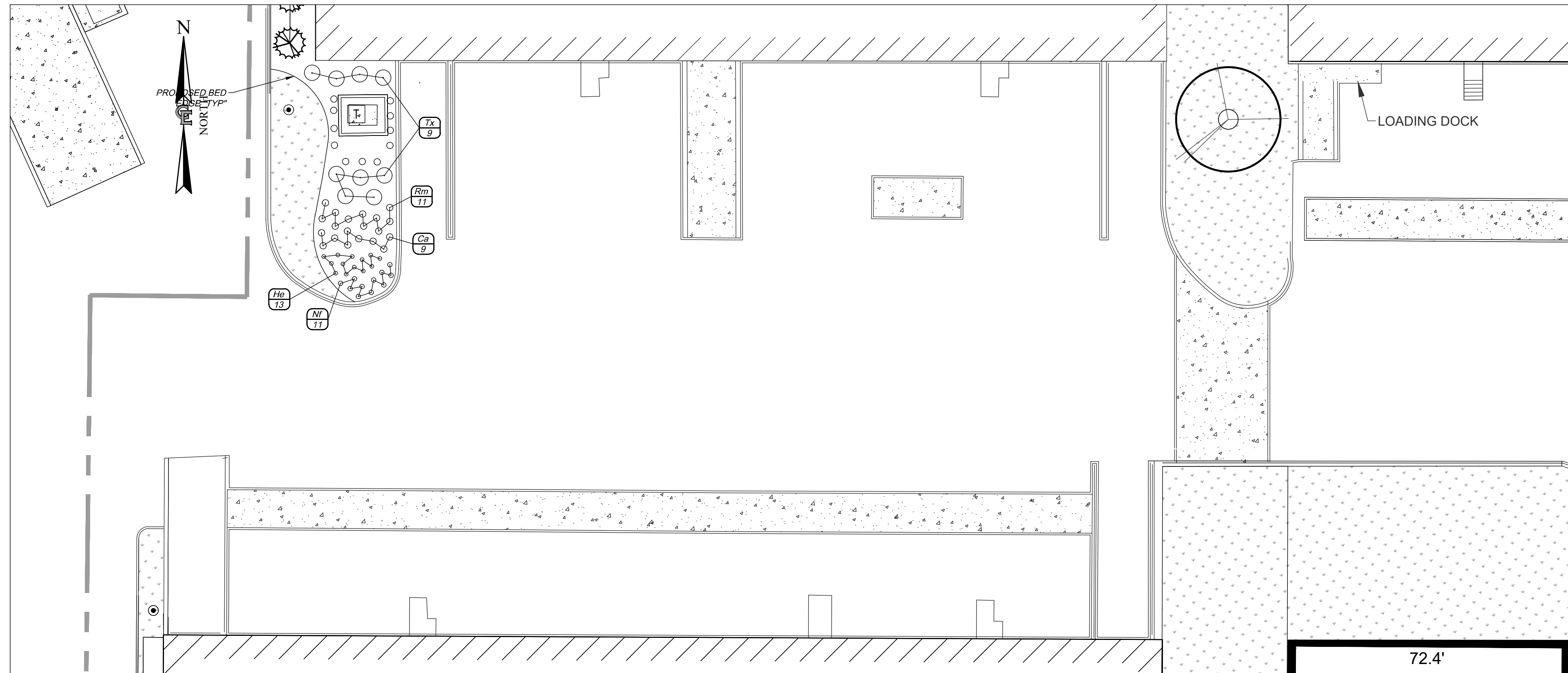
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Date	6/12/2024	Scale	
Scale	1"=20'		

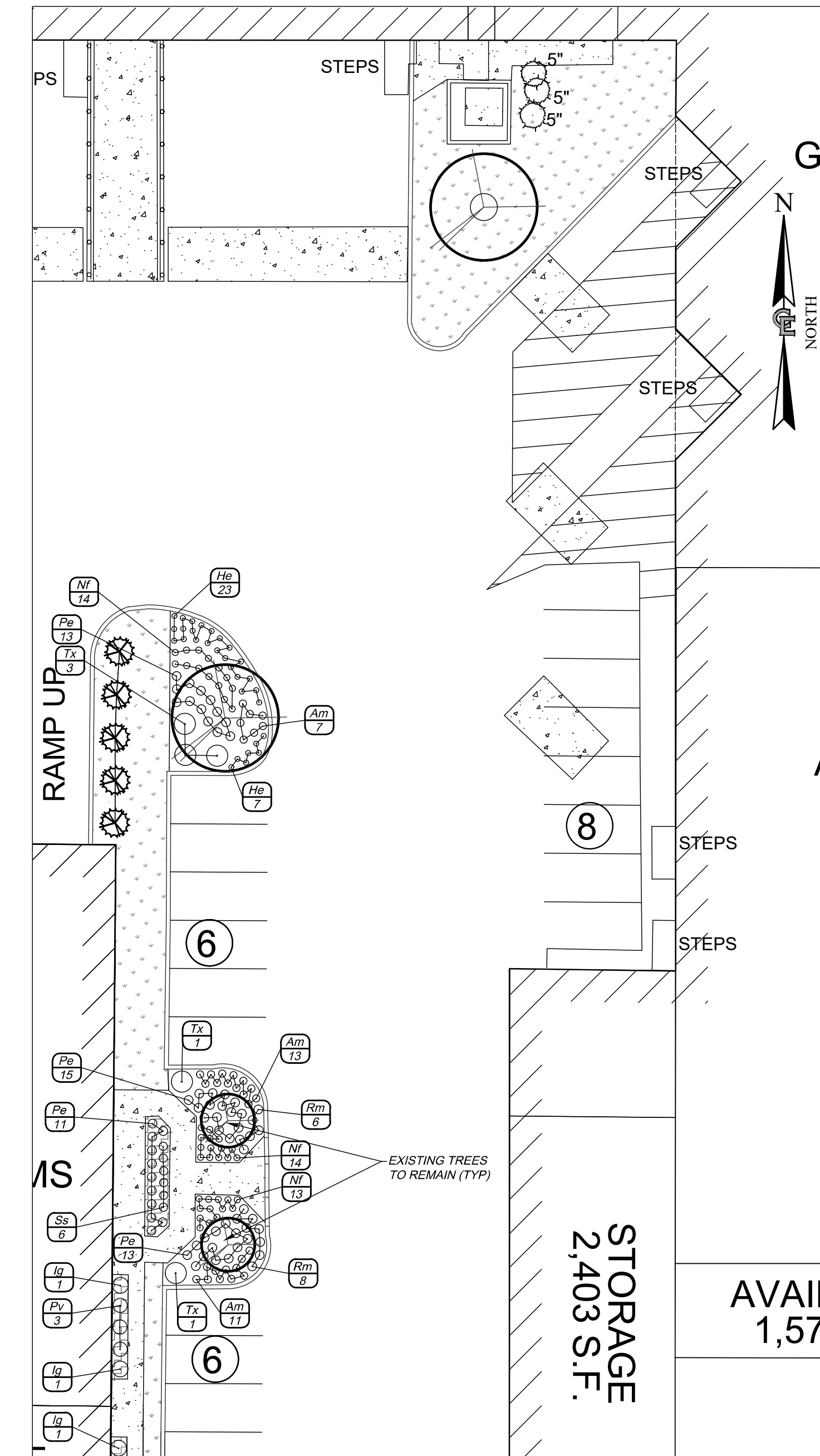




**ENLARGEMENT AREA 6**  
SCALE: 1" = 20'



**ENLARGEMENT AREA 7**  
SCALE: 1" = 20'



**ENLARGEMENT AREA 8**  
SCALE: 1" = 20'

Revisions	No.	Revision/Issue	Date
	01	Revised based on site plan changes	2024-08-21

**Notes & References**

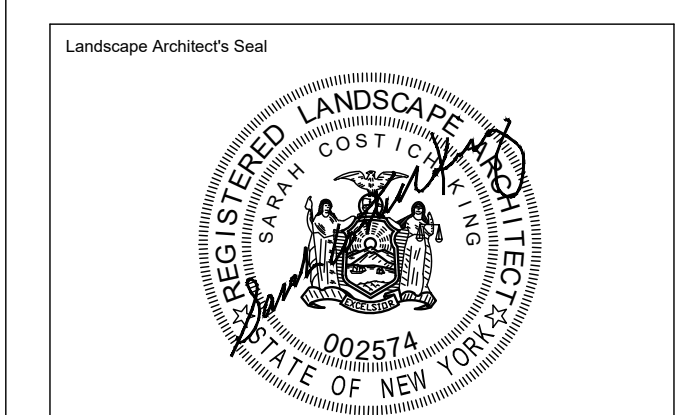
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6000-6040 N. Bailey Avenue  
Amherst, New York 14226

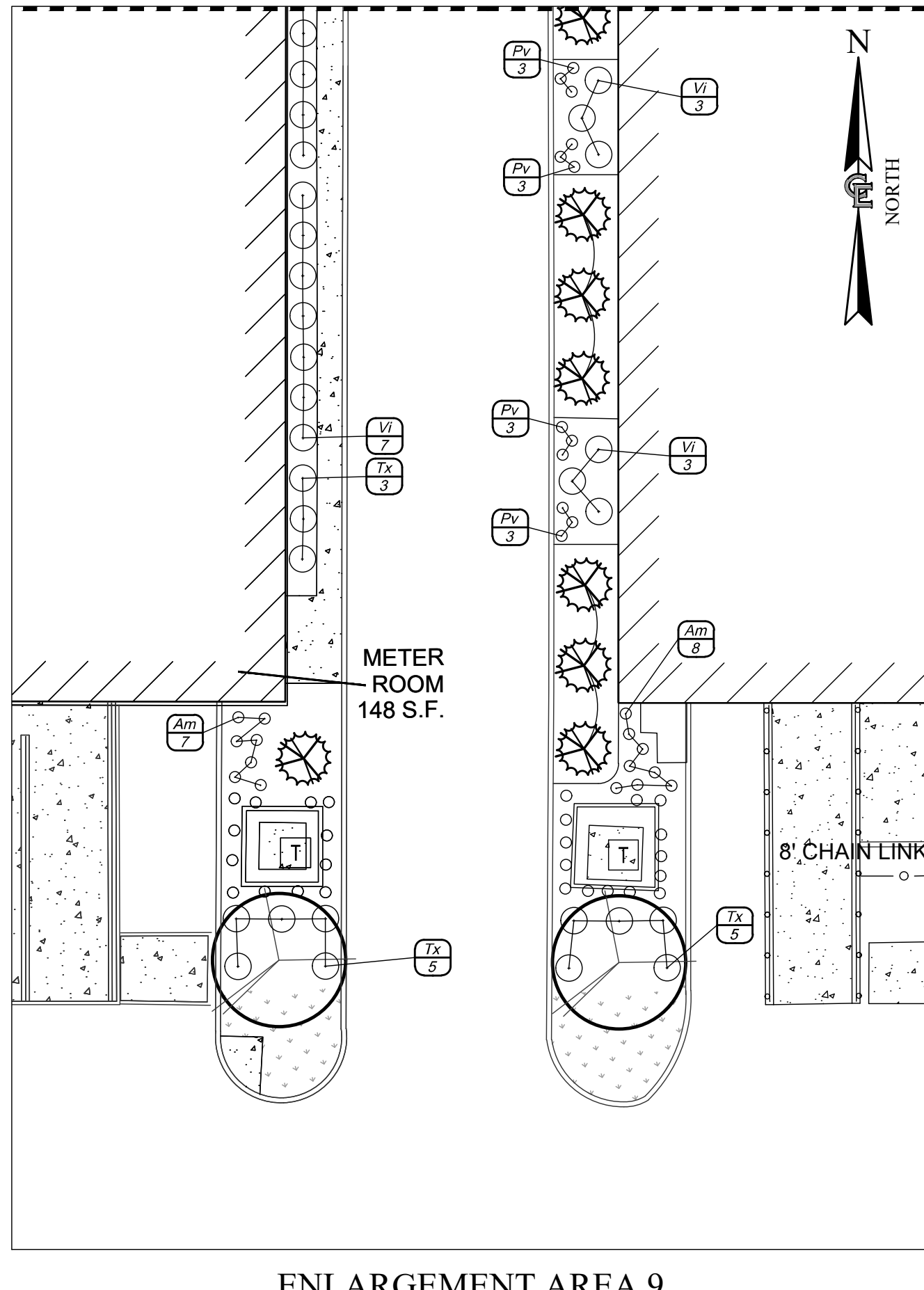
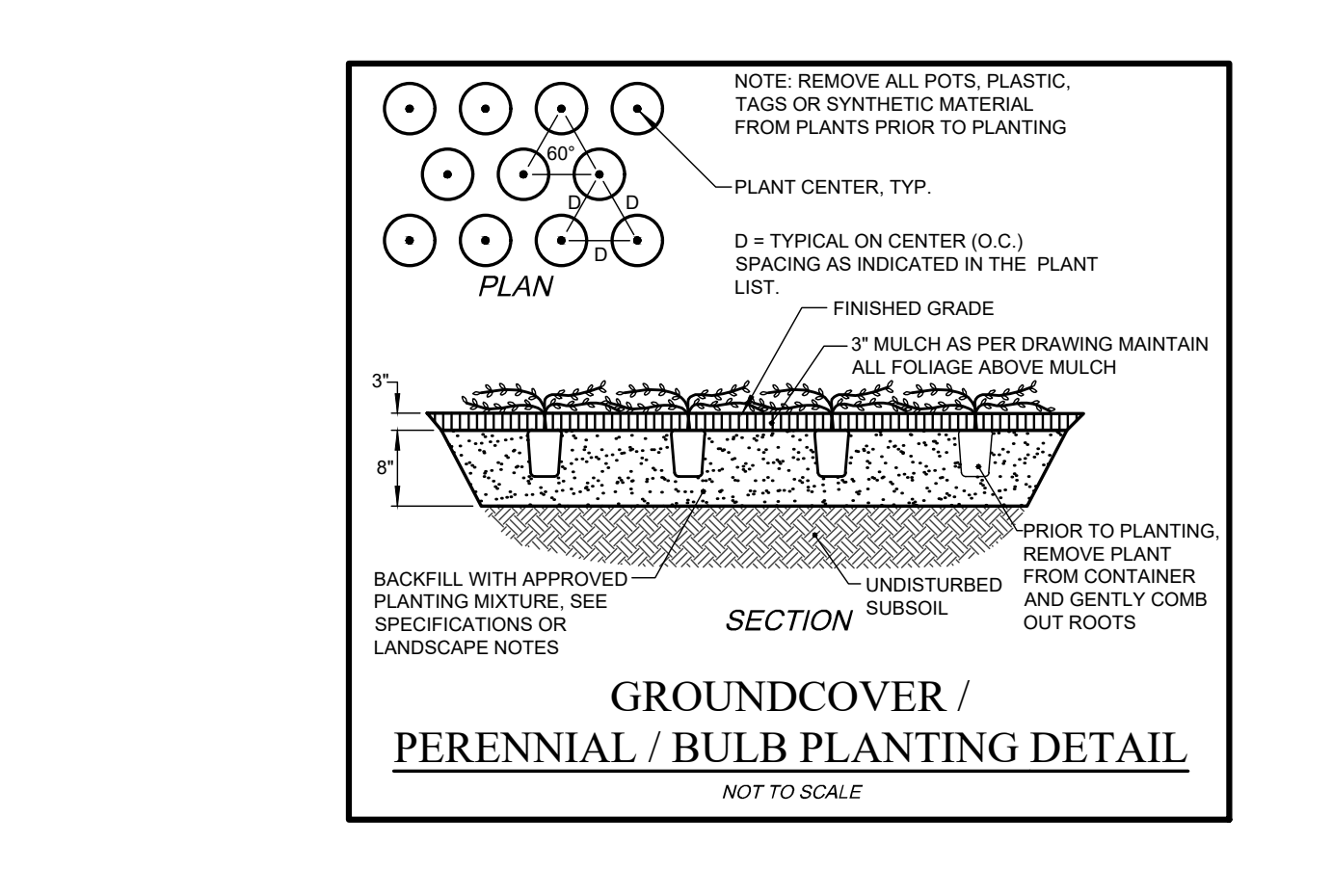
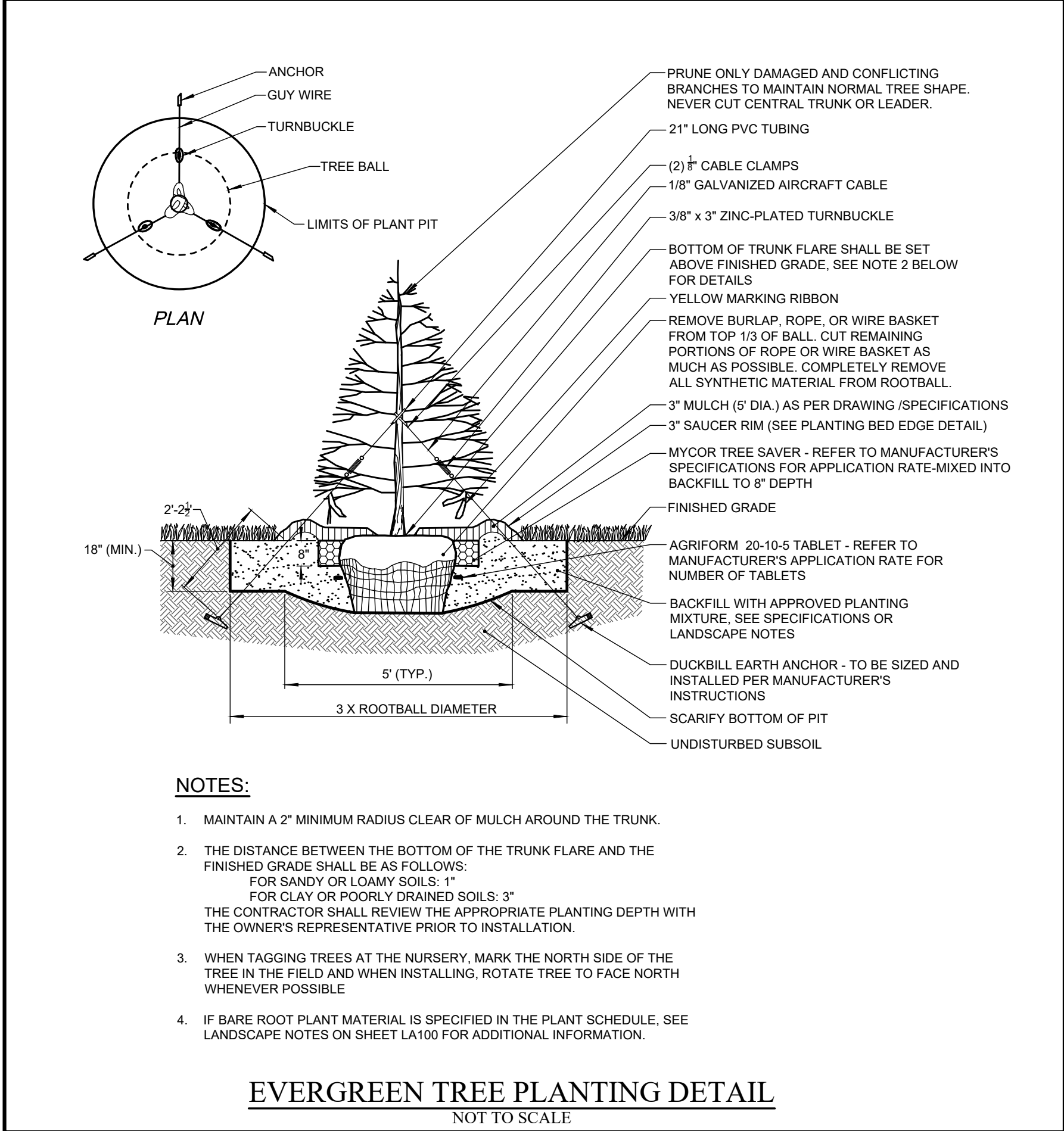
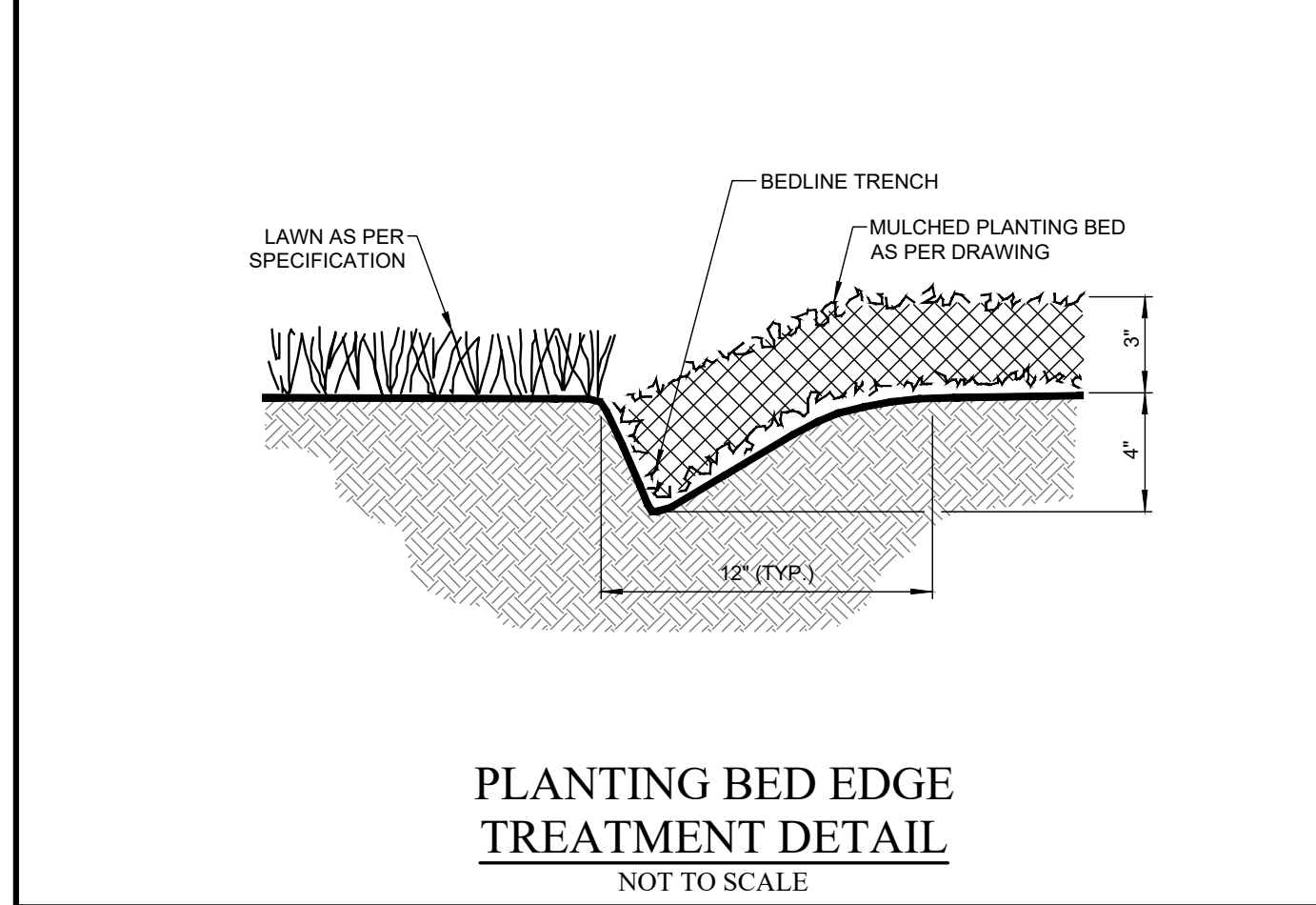
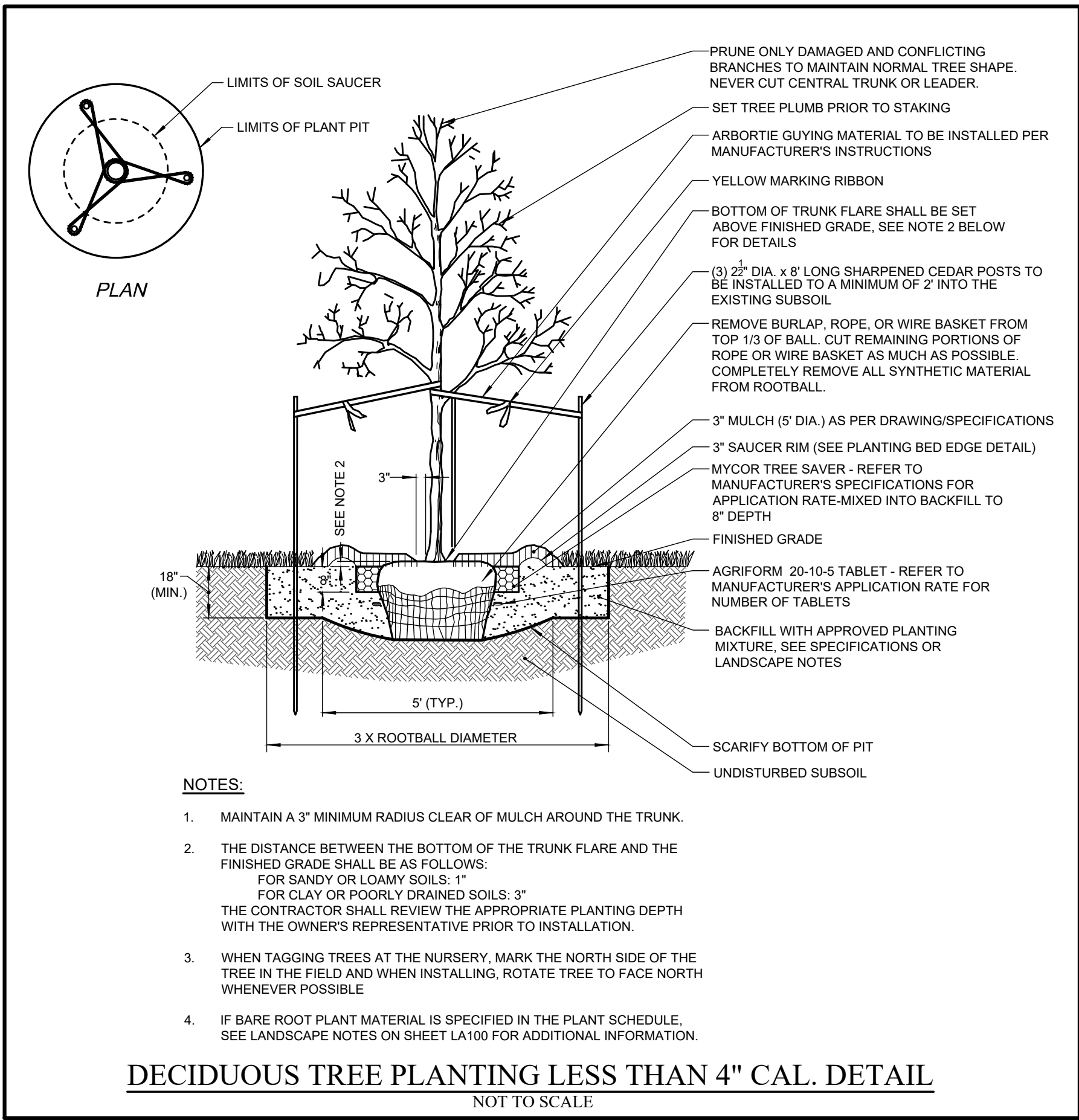
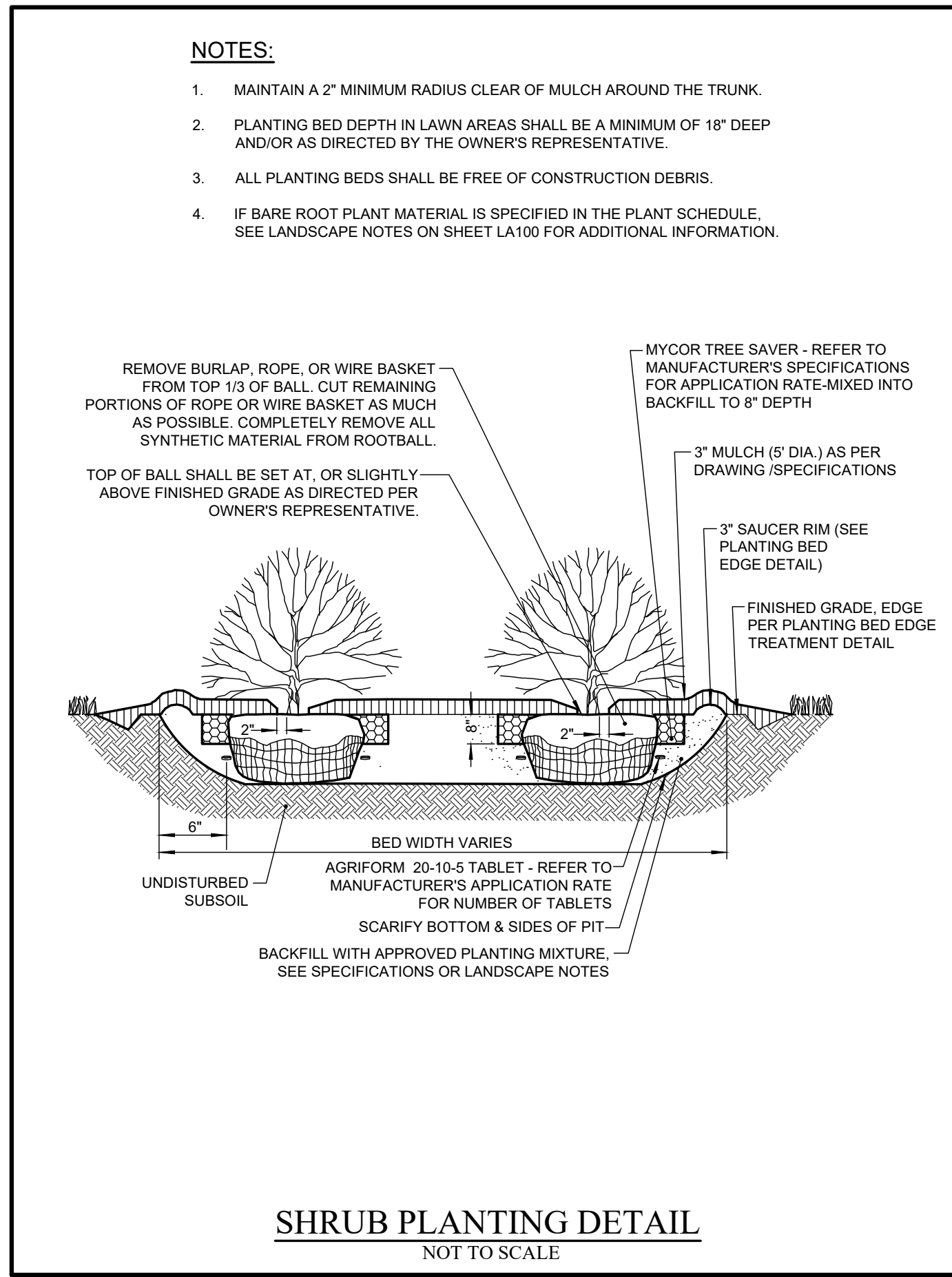
Drawing Name

**LANDSCAPE PLAN ENLARGEMENT AREAS**

Sheet: 4 OF 5  
Date: 6/12/2024  
Scale: 1"=20'

Drawing Number: **C-7.3**





Revisions	Revised based on site plan changes	2024-08-21	Date
		01	No.

**Notes & References**

CONTRACTOR SHALL CONTACT "DIG SAFELY" NEW YORK @ 1-800-962-7962 FOR LOCATION OF ALL UTILITIES, AT LEAST 7 DAYS PRIOR TO BEGINNING CONSTRUCTION

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Project No. 1910

**BENDERSON DEVELOPMENT**  
570 DELAWARE AVE. BUFFALO, NY 14202  
PHONE: (716) 886-0011 FAX: (716) 886-0799  
WWW.BENDERSON.COM

Landscape Architect's Seal

Landscape Architect

**COSTICH ENGINEERING**

- CIVIL ENGINEERING
- LAND SURVEYING
- LANDSCAPE ARCHITECTURE

217 LAKE AVENUE  
ROCHESTER, NY 14609  
(585) 459-3020

Project Name and Address

**AMHERST DEVELOPMENT PARK - BUILDING ADDITIONS**  
6000-6040 N. Bailey Avenue  
Amherst, New York 14226

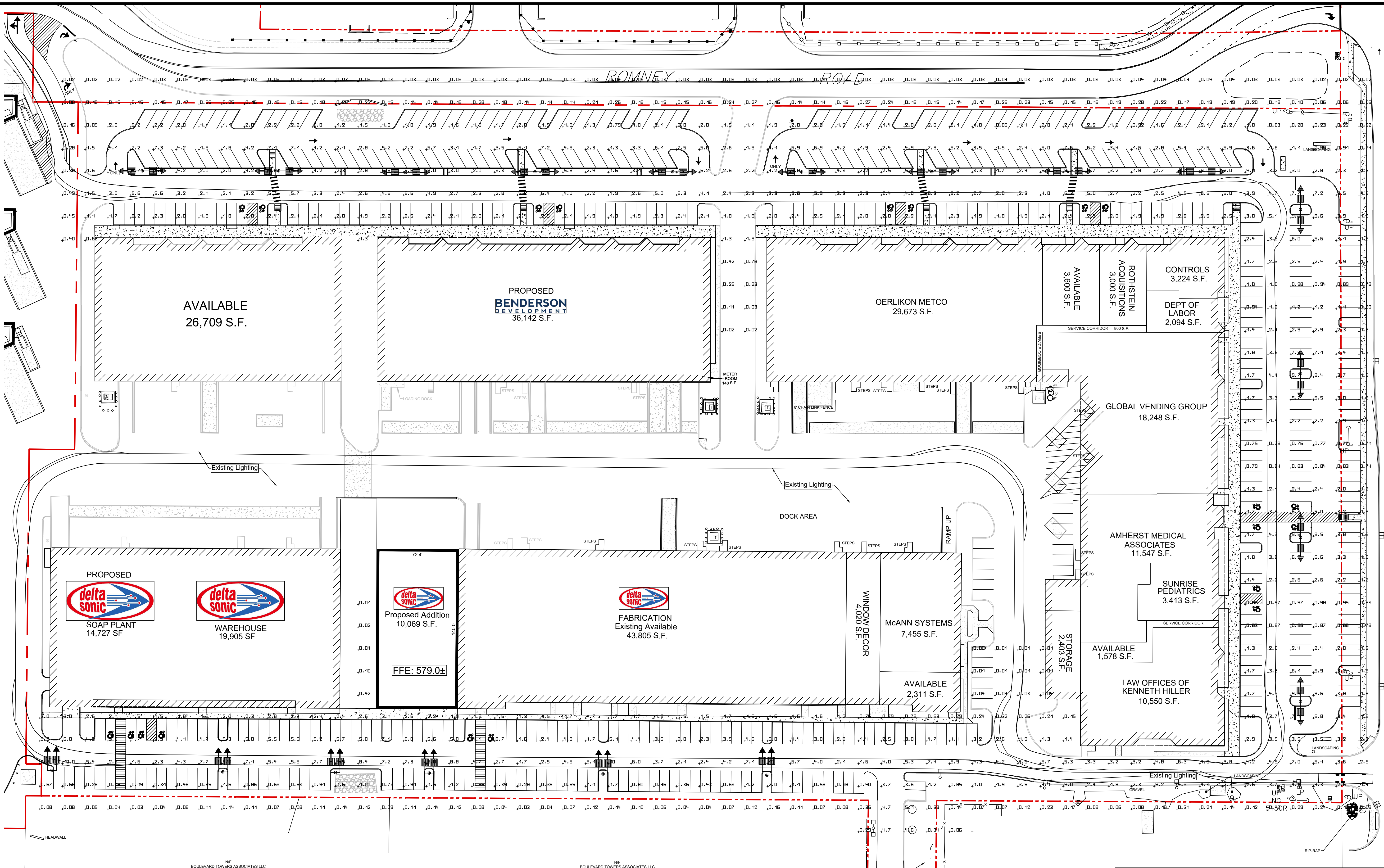
Drawing Name

**LANDSCAPE PLAN ENLARGEMENT AREAS & DETAILS**

Sheet: 5 OF 5  
Date: 6/12/2024  
Scale: 1"=20'

Drawing Number: C-7.4





**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
2	05.08.2024	DZ	Site Plan Update
4	07.31.2024	DZ	Site Updates
5	08.12.2024	DZ	Site Updates

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**811**  
 Know what's below.  
 Call before you dig.

PROPERTY NUMBER: #1723  
 AREA: -

**Amherst Development Park**  
 6000 - 6040 North Bailey Ave  
 Amherst, NY 14226

**PROPOSED SITE MODIFICATIONS**

CONSULTANT

**JAMES ALLEN RUMSEY**  
 ARCHITECT  
 PREPARED FOR  
**BENDERSON DEVELOPMENT**  
 570 DELAWARE AVE., BUFFALO, NY 14202  
 (716) 886-0211

SEAL

TITLE:  
**Site Lighting Plan**

SCALE:  
 1:70

DRAWN BY: DMZ  
 CHECKED BY: MAO  
 DATE: 08.16.2023

DRAWING NO.  
**C8.00**

**Luminaire Schedule**

Index	Manufacturer	Luminaire type	Item number	Lumens per Fixture	Mounting Height	Fixture Watts	Quantity
1	Cree	Cree Lighting OSQ Series Area Luminaire, Type 3M, 150W Input Power Designator, 4000K Double Head Fixtures	OSQL-C-30L-40K7-3M-LI-NM-BK	30,000 lm	25 Ft	180 W	13
2	Cree	Cree Lighting OSQ Series Area Luminaire, Type 3M, 150W Input Power Designator, 4000K Double Head Fixtures with backlight shield	OSQL-C-30L-40K7-3M-LI-NM-BK w OSQ-L-C-BL-SF	19,600 lm	25 Ft	180 W	6

\*Relocated Poles shall reuse existing LED Fixtures  
 \*\*Mounting Heights are measured from Finished Grade

UNITED STATES POSTAL SERVICE  
 T.A.# 54 14-117.2  
 5500 NORTH BAILEY AVENUE  
 L 9795 P-412



**OSQ Series**

OSQ™ LED Area/Flood Luminaire featuring Patented NanoComfort™ Technology – Version C

**Product Description**

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatheright LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. Medium is suitable upgrade for HID applications up to 400 Watts. Large is suitable upgrade for HID applications up to 1000 Watts. Extra Large is suitable upgrade for HID applications up to multiple 1000 Watts.

**Applications:** Parking lots, walkways, campuses, car dealerships, office complexes, high-mast and internal roadways

**Performance Summary**

Utilizes Patented NanoComfort™ Technology

Utilizes Cree TrueWhite® Technology on 5000K Luminaires

Assembled in the USA by Cree Lighting from US and imported parts

**Initial Delivered Lumens:** 4,000 - 75,000

**Efficacy:** Up to 171 LPW

**CRIs:** Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

**CCT:** 3000K, 4000K, 5000K, 5700K

**Limited Warranty:** 10 years for luminaire; 10 years for Colorfast DeltaGuard® finish; 5 years for BML sensor; up to 5 years for Synapse® accessories; 1 year for luminaire accessories

\* See [www.cree.com/lighting/warranty](http://www.cree.com/lighting/warranty) for warranty terms. For Synapse accessories, consult Synapse spec sheets for details on warranty terms.

**Ordering Information**

Fully assembled luminaire is composed of two components that must be ordered separately:

Example: Mount: OSQ-ML-C-AA-BK + Luminaire: OSQM-C-4L-30K7-2M-UL-NM-BK

**Mount (Luminaire must be ordered separately)\***

OSQ	Color Options	SV Silver	BZ Bronze
Medium/Large Mounts	OSQ-ML-C-AA Adjustable Arm	BR Black	WH White
Extra Large Mounts	OSQ-XL-C-AA Adjustable Arm		
OSQ-ML-C-TM Transition Mount	OSQ-XL-C-DA Direct Arm		

\* Reference luminaire mounting diagrams, EPL, and pole configuration suitability data beginning on page 24.

**Luminaire (Mount must be ordered separately)**

OSQ	Weight
OSQM	19.3 lbs. (8.8kg)

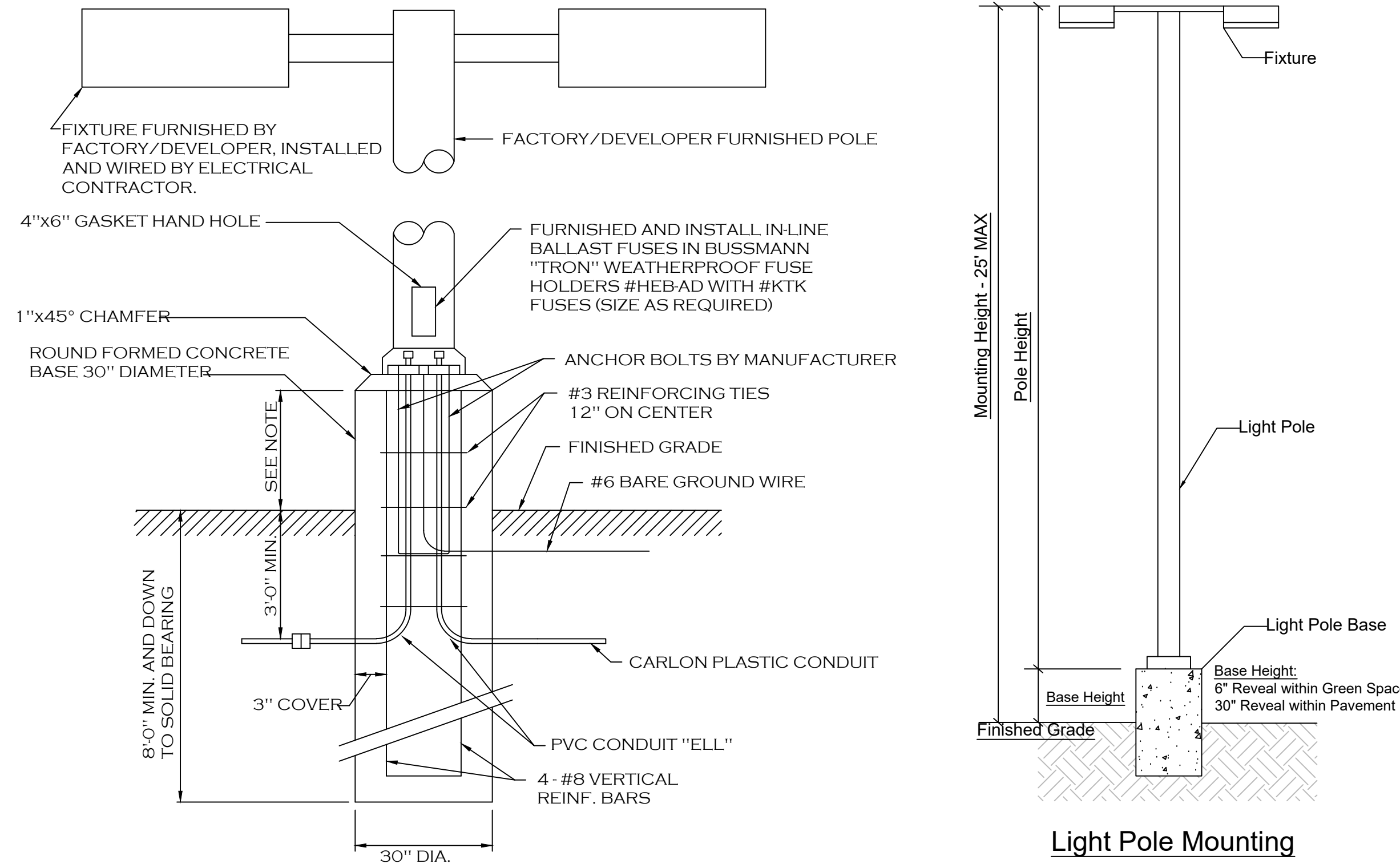
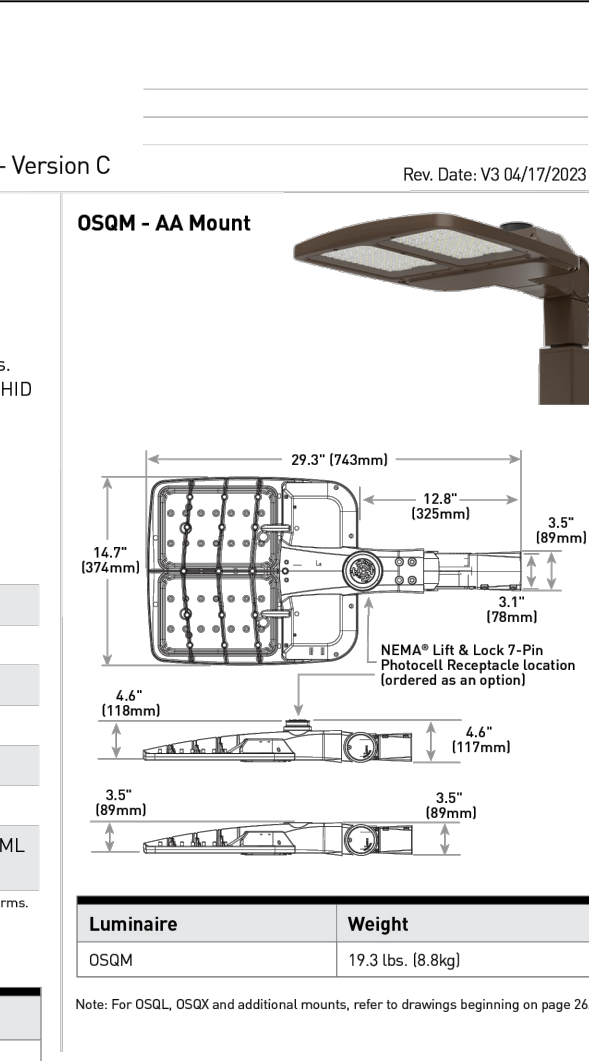
Note: For OSQs, OSQs and additional mounts, refer to drawings beginning on page 24.

Family	Size	Series	Lumen Package	CCT/ CRI	Optic	Mount	Color Options	Control*	Options
OSQ	M Medium	4500	2000K	2M	Asymmetric	UL	NM	BK	200V
			5000K	2M	Asymmetric	UL	NM	BK	200V
		4000	2000K	2M	Type II Mid	UL	NM	BK	200V
			5000K	2M	Type II Mid	UL	NM	BK	200V
		4000	2000K	2M	Factory-installed Backlight Shield	UL	NM	BK	200V
			5000K	2M	Factory-installed Backlight Shield	UL	NM	BK	200V
	L Large	7500	2000K	3M	Asymmetric	UL	NM	BK	200V
			5000K	3M	Asymmetric	UL	NM	BK	200V
		7500	2000K	3M	Type II Mid	UL	NM	BK	200V
			5000K	3M	Type II Mid	UL	NM	BK	200V
		11000	2000K	3M	Factory-installed Backlight Shield	UL	NM	BK	200V
			5000K	3M	Factory-installed Backlight Shield	UL	NM	BK	200V
XL Extra Large	14000	2000K	4M	Asymmetric	UL	NM	BK	200V	
		5000K	4M	Asymmetric	UL	NM	BK	200V	
	14000	2000K	4M	Type II Mid	UL	NM	BK	200V	
		5000K	4M	Type II Mid	UL	NM	BK	200V	
	20000	2000K	4M	Factory-installed Backlight Shield	UL	NM	BK	200V	
		5000K	4M	Factory-installed Backlight Shield	UL	NM	BK	200V	
E Extra Large	30000	2000K	5M	Asymmetric	UL	NM	BK	200V	
		5000K	5M	Asymmetric	UL	NM	BK	200V	
	30000	2000K	5M	Type II Mid	UL	NM	BK	200V	
		5000K	5M	Type II Mid	UL	NM	BK	200V	
	45000	2000K	5M	Factory-installed Backlight Shield	UL	NM	BK	200V	
		5000K	5M	Factory-installed Backlight Shield	UL	NM	BK	200V	

\* Lumen Package codes identify approximate light output only. Actual Lumen output levels vary by CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values. Luminaire cones standard with 0-70° diameter.



**CREE LIGHTING**



**NOTES:**  
 1. FOR LOCATIONS OF FOUNDATIONS SEE SITE PLAN  
 2. FOR LIGHT FIXTURE ORDERING INFORMATION SEE SITE LIGHTING PLAN  
 3. LIGHT POLE BASE EXPOSURE ABOVE GRADE SHALL BE:  
 IN CURBED ISLANDS: 6" ABOVE TOP OF CURB ELEVATION  
 IN PAVEMENT: 30" ABOVE GRADE  
 IN NON-CURBED GRASS AREAS: 6" ABOVE GRADE

**LIGHT POLE FOUNDATION**

**DRAWING REVISIONS:**

No.	DATE	BY	REMARKS
1	12.13.2023	DZ	POND UPDATES
4	07.31.2024	DZ	Site Updates

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CONSULTANT

JAMES ALLEN RUMSEY  
 ARCHITECT  
 PREPARED FOR

**BENDERSON DEVELOPMENT**  
 570 DELAWARE AVE., BUFFALO, NY 14202  
 (716) 886-0211



TITLE: **Lighting Details**

SCALE: NTS  
 DRAWN BY: DMZ  
 CHECKED BY: MAO  
 DATE: 08.16.2023

DRAWING NO. **C8.10**

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