

7 BREW

3999 MAPLE ROAD

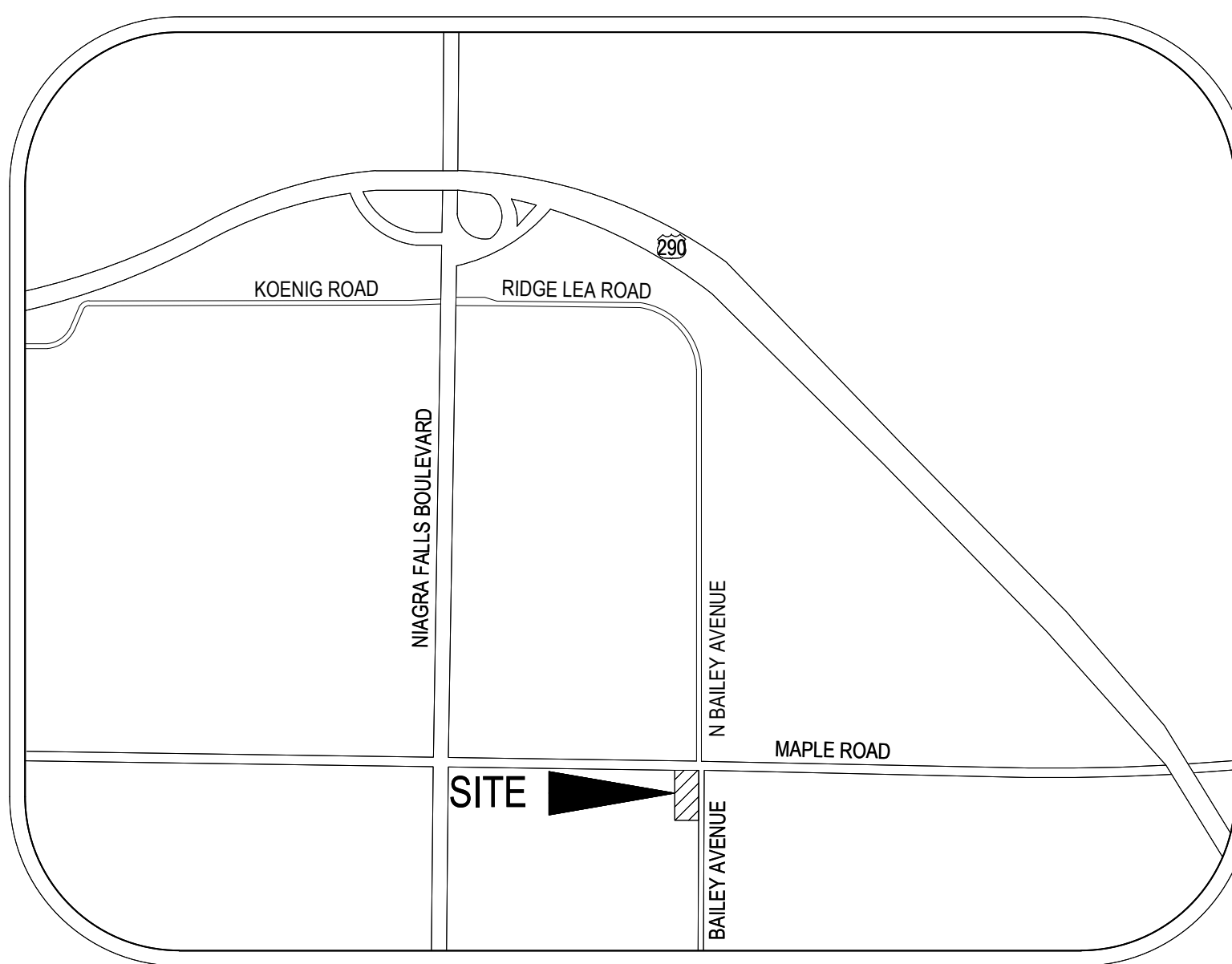
AMHERST, NEW YORK

LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF AMHERST, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT 84, TOWNSHIP 12, RANGE 7 OF THE HOLLAND LAND COMPANY'S SURVEY AND MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHERLY LINE OF MAPLE ROAD WITH THE WESTERLY LINE OF BAILEY AVENUE, RUNNING THENCE SOUTHERLY ALONG THE WESTERLY LINE OF BAILEY AVENUE 365 FEET; THENCE WESTERLY PARALLEL WITH THE SOUTHERLY LINE OF MAPLE ROAD 120 FEET; THENCE NORTHERLY PARALLEL WITH THE WESTERLY LINE OF BAILEY AVENUE 365 FEET TO THE SOUTHERLY LINE OF MAPLE ROAD; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF MAPLE ROAD 120 FEET TO THE POINT OF BEGINNING.


PREPARED FOR
BREWTOPIA BUFFALO, LLC
 34050 SOLON ROAD, SUITE 500
 SOLON, OH 44139



VICINITY MAP
NOT TO SCALE

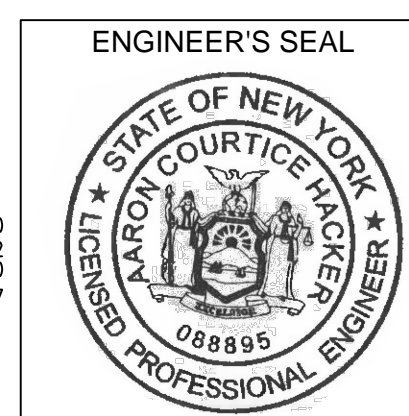
SITE DATA	
APPLICANT	BREWTOPIA BUFFALO, LLC
PARCEL ID NUMBER:	1422890540300001011100
PROPERTY ADDRESS:	3999 MAPLE ST AMHERST, NY 14226
PROPERTY OWNER:	ALMAN COMPANY LLC.
ZONING:	BOULEVARD CENTER 2.5 MIXED-USE DISTRICT
ZONING OF ADJACENT PARCELS:	SHOPPING CENTER, CENTER 2.5, NEIGHBORHOOD BUSINESS, AND NEW COMMUNITY DISTRICTS
PROPOSED USE:	DRIVE-THROUGH COFFEE SHOP
OVERALL SITE AREA:	0.95 AC
SHOP AREA:	540 SF
OVERALL BUILDING AREA (GROSS SF):	770 SF
OVERALL LOT COVERAGE:	46.32%
MAX BUILDING HEIGHT:	35'
PARKING REQUIRED:	4 SPACES PER 1000 SF = 900/1000 = 4 SPACES
PARKING PROVIDED:	10
ADA PARKING PROVIDED:	1

APPROVALS

APPROVED: 
 AARON C. HACKER, P.E.
 PROFESSIONAL ENGINEER #6201061397

DATE: 12-24-24

TRILON SERVICE, NY, INC. AND



INDEX OF SHEETS

TITLE SHEET.....	C000
GENERAL NOTES.....	C001
CONSTRUCTION DETAILS.....	C002 & C003
OVERALL EXISTING CONDITIONS.....	C100
SITE PLAN.....	C200
GRADING AND UTILITY PLAN.....	C300
EROSION CONTROL PLAN.....	C400
EROSION CONTROL NOTES AND DETAILS.....	C401
PHOTOMETRIC PLAN.....	C500
LANDSCAPE PLAN.....	L100
LANDSCAPE NOTES AND DETAILS.....	A1-1
FLOOR PLANS.....	EX-1 & EX-2
BUILDING ELEVATIONS.....	EX-3
TRASH ENCLOSURE DETAILS.....	EX-3

PROJECT CONTACTS

DEVELOPER & APPLICANT
 BREWTOPIA BUFFALO, LLC
 GAURAV AGGARWAL
 34050 SOLON ROAD, SUITE 105
 SOLON, OH 44139

CIVIL ENGINEER & PETITIONER
 JULIA CHEN
 THE MANNIK & SMITH GROUP, INC.
 20600 CHAGRIN BLVD, SUITE 500
 SHAKER HEIGHTS, OH 44122

OFFICIAL TOWN USE ONLY

NO.	DATE	BY	DESCRIPTION
1	09/20/2024	ACH	MAJOR SITE REVIEW APPLICATION
2	11/19/2024	ACH	MAJOR SITE REVIEW APP - RESUBMITTAL
3	12/24/2024	ACH	MSP REVISIONS PER DAB COMMENTS

20600 CHAGRIN BLVD
 SUITE 500, SHAKER
 HEIGHTS, OH 44122
 TEL: 216.378.1490
 FAX: 216.378.1497
 PROJECT DATE: 09/19/2024
 PROJECT NO.: 24001014
 DRAWN BY: PTS
 CHECKED BY: ACH

TRILON SERVICES, NY, INC
 AND

 TECHNICAL SKILL
 CREATIVE SPIRIT
 www.MannikSmithGroup.com

PREPARED FOR:
**BREWTOPIA
 BUFFALO, LLC**
 34050 SOLON ROAD, SUITE 105
 SOLON, OH 44139

7 BREW AMHERST
 3999 MAPLE ROAD,
 AMHERST, NY 14226

TITLE SHEET

C000

GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH LOCAL MUNICIPALITY AND COUNTY CODES AND STANDARDS. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL WORK WITHIN RIGHT OF WAY TO INCLUDE TRAFFIC CONTROL IN ACCORD WITH THE STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND PER ALL LOCAL AND APPLICABLE REQUIREMENTS. ROAD MUST REMAIN OPEN AT ALL TIMES. CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC PLAN AND SUBMIT TO THE LOCAL MUNICIPALITY AND OWNER FOR APPROVAL PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO COORDINATE ANY NECESSARY LANE CLOSURES WITH THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER PRIOR TO BIDDING.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ENCOUNTERED ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- SHOULD ANY UNCHARTED, OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR THE PROJECT AND NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER, LOCAL MUNICIPALITY AND/OR UTILITY COMPANY. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS BEEN PROVIDED.
- CONTRACTOR TO COORDINATE TEMPORARY UTILITY OUTAGES WITH APPLICABLE UTILITY COMPANY AND LOCAL MUNICIPALITY AND NOTIFY NEIGHBORING EFFECTED OWNERS NO LESS THAN 72 HOURS PRIOR TO PLANNED OUTAGE. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER, LOCAL MUNICIPALITY, AND/OR STATE.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF THE SITE CIVIL PLANS (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES IN ELECTRONIC FORMAT.
- THE OWNER, AT ITS DISCRETION, RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES INDICATED ON THE APPROVED PLAN, PROVIDED THAT THE ALTERNATE STANDARD COMPLIES WITH LOCAL CODE AND/OR UTILITY COMPANY REQUIREMENTS, AND THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND LOCAL UTILITY COMPANIES AS REQUIRED FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW.
- INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE STATE UTILITY PROTECTION SERVICE AT LEAST 72 HOURS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
- ANY DEFECTS DISCOVERED IN NEW CONSTRUCTION, WORKMANSHIP, EQUIPMENT, OR MATERIALS SHALL BE REPAIRED, OR CORRECTED BY APPROVED METHODS AS DIRECTED BY OWNER AND/OR ENGINEER, AND AT NO ADDITIONAL COST TO THE OWNER.
- THE LIMITS OF CLEARING AND GRADING SHALL BE FIELD STAKED 48 HOURS (2 WORKING DAYS) PRIOR TO THE PRE CONSTRUCTION MEETING. AREAS BEYOND THE LIMITS OF CLEARING AND GRADING SHALL NOT BE DISTURBED, INCLUDING THE STOCKPILE OF ANY MATERIALS OR CONSTRUCTION TRAFFIC.
- WHEREVER UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED THAT ARE NOT INDICATED ON THE PLANS, THE WORK SHALL BE DISCONTINUED UNTIL THE ENGINEER AND OWNER APPROVE THE MATERIALS TO BE INCORPORATED INTO THE WORK.
- ALL ROAD SURFACES, EASEMENTS, OR RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF ANY PART OF THESE IMPROVEMENTS ARE TO BE RESTORED ACCORDING TO THE LOCAL GOVERNING AGENCY OR THE OWNER REQUIREMENTS.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OR ITS REPRESENTATIVE IF SUSPECTED HAZARDOUS MATERIAL, OR ANY OTHER MATERIAL THAT MAY CREATE A HEALTH RISK, IS DISCOVERED ON SITE.
- IF MUD, SOIL, OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS, OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY, OR AS REQUIRED DURING THE WORK DAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PLANT TICKETS FOR ALL MATERIALS DELIVERED TO THE SITE. PLANT TICKETS MUST SHOW NET QUANTITY OF DELIVERED MATERIAL, MATERIAL DELIVERED OR PLACED WITHOUT PLANT TICKETS SHALL BE REMOVED AND PROPERLY DISPOSED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT, THE EXISTING RIGHT-OF-WAYS CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT THE WRITTEN CONSENT OF THE OWNER.
- WHERE CONFLICT ARISES BETWEEN ALL SPECIFICATIONS (BOOK OR PLAN BASED), INCLUDING LOCAL MUNICIPALITY REQUIREMENTS, THE MORE STRINGENT SPECIFICATION SHALL PREVAIL.
- FINAL CLEANUP: THE CONTRACTOR SHALL CLEAN-UP ALL DEBRIS AND MATERIALS RESULTING FROM CONSTRUCTION AND SHALL RESTORE ALL SURFACES, STRUCTURES, DITCHES AND PROPERTY TO ITS ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER AND ALL APPLICABLE GOVERNMENTAL AND REGULATORY AGENCIES.
- THE CONTRACTOR AWARDED THIS CONTRACT SHALL COORDINATE ITS ACTIVITIES WITH OTHER CONTRACTORS WORKING IN THE AREA AND SHALL NOT HINDER ACCESS OR CONSTRUCTION ACTIVITIES WITH OTHER CONTRACTORS. THE SUCCESSFUL BIDDER AGREES BY SUBMITTING SUCH A BID THAT IT WILL MAKE NO CLAIM FOR ADDITIONAL PAYMENTS OR AN EXTENSION OF TIME FOR THE COMPLETION OF OTHER WORK OR ANY OTHER CONCESSIONS DUE TO COORDINATION WITH ANY OTHER CONTRACTORS.
- CONTRACTOR SHALL INCLUDE THE COST OF A SURVEYOR TO SET SEVERAL ADDITIONAL BENCHMARKS AND CONTROL POINTS AS WELL AS PROVIDE CONSTRUCTION STAKING FOR THE SITE CIVIL ITEMS ONLY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL NOT PERFORM ANY WORK OR STORE ANY EQUIPMENT/MATERIALS OUTSIDE OF THE DISTURBED LIMITS LINE SHOWN ON THE STORMWATER POLLUTION PREVENTION PLAN.

DEMOLITION NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER AND OWNER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING, AND/OR ABATEMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY LISTED ON THE PLANS.
- ALL DEMOLISHED MATERIALS SHALL BE TAKEN FROM THE SITE IMMEDIATELY (UNLESS OTHERWISE NOTED) AND DISPOSED OFF-SITE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND ORDINANCES. NO BURNING OF ANY MATERIALS WILL BE ALLOWED ON OR OFF SITE. NO CLEARED OR GRUBBED MATERIAL SHALL BE BURIED OR LEFT ON SITE.
- MATERIALS NOTED ON THE PLANS AND BY THE OWNER TO BE SALVAGED TO OWNER AND SHALL BE STORED IN AREAS INDICATED ON THE PLANS, OR TO THE OWNERS SATISFACTION.
- USE SUITABLE METHODS TO LIMIT DUST AND DIRT TO ADJACENT STRUCTURES OR PROPERTY. CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO EXISTING CONDITIONS PRIOR TO THE START OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL PROTECT TREES, LANDSCAPING, SITE IMPROVEMENTS, AND OTHER ITEMS NOT SCHEDULED FOR CLEARING, OR THAT MIGHT BE DAMAGED BY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING ANY ITEMS THAT ARE DAMAGED.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY EROSION, POLLUTION, AND DUST CONTROL MEASURES THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH THE SWPPP PLANS NOTES AND DETAILS.
- THE PAD AREA IS DEFINED AS THE AREA TWENTY (20) FEET OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT, EQUIPMENT SLAB, OR PROPOSED STRUCTURE.
- ALL UTILITIES NOT MARKED FOR REMOVAL OR RELOCATION SHALL REMAIN INTACT. THE CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE TO EXISTING UTILITIES NOT MARKED FOR REMOVAL OR RELOCATION AT THEIR SOLE EXPENSE.
- CONTRACTOR SHALL PERFORM ALL CLEARING, GRUBBING, REMOVAL OF TREES, STUMPS, VEGETATION, AND DEBRIS NECESSARY TO PERFORM THE WORK INDICATED HEREIN. THAT CONTRACTOR SHALL LIMIT LAND DISTURBANCE TO ONLY THAT REQUIRED TO COMPLETE THE PROPOSED IMPROVEMENTS. NO CLEARED OR GRUBBED MATERIAL SHALL BE BURIED OR LEFT ON SITE.

LAYOUT AND PAVING NOTES:

- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
- FOUNDATION FOOTPRINTS ARE SHOWN FOR INTENT ONLY. SEE STRUCTURAL AND ARCHITECTURAL PLANS FOR BUILDING FOUNDATION AND WALL DIMENSIONS.

GENERAL GRADING & DRAINAGE NOTES:

- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING, OR PLACEMENT OUTSIDE OF DISTURBED LIMITS AS DIRECTED BY OWNER.
- MAN-HOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MAN-HOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
- ADDITIONAL UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AT UNIT BID PRICE, AFTER SUBGRADE IS ROUGH GRADED.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
- THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER OR AS SPECIFIED IN THE PLANS FOR OTHER SPECIFIC AREAS.
- THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
- CLEAN HARD FILL MATERIAL SHALL MEET THE REQUIREMENTS OF THE NEW YORK STATE DEC. ANY PERSON USING CLEAN HARD FILL ON A SITE OTHER THAN THE SITE OF GENERATION MUST PROVIDE A WRITTEN NOTICE OF INTENT TO FILL TO THE LICENSING AUTHORITY(IES) WHERE THE CLEAN HARD FILL IS TO BE PLACED AT LEAST SEVEN DAYS PRIOR TO PLACING.
- SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE TO CATCH BASINS, DRAINAGE STRUCTURES, OR SWALES, AND TO PRECLUDE THE PONDING OF WATER ON SITE.
- IT IS THE CONTRACTORS OBLIGATION AND RESPONSIBILITY TO CONFIRM/CONCUR WITH THE EXISTING GRADES SHOWN HEREIN. THE CONTRACTOR MUST CONFIRM ALL EXISTING GRADES PRIOR TO ANY/ALL EXCAVATION.
- THE CONTRACTOR MUST DOCUMENT EXISTING GRADE DISPUTES BY PROVISION OF A TOPOGRAPHIC SURVEY BY A STATE REGISTERED PROFESSIONAL SURVEYOR, PRIOR TO ANY EARTH DISTURBING ACTIVITIES. IN THE ABSENCE OF THE PROVISION OF TOPOGRAPHIC SURVEY BY THE CONTRACTOR, THE GRADES SHOWN HEREON WILL BE THE 'TOPOGRAPHY OF RECORD' FOR ANY AND ALL SOIL VOLUME DISPUTES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL IMPORT/EXPORT NECESSARY TO ACHIEVE THE PROPOSED GRADES.
- ALL EXCAVATION UNDER OR NEAR EXISTING OR FUTURE PAVEMENT (INCLUDING SIDEWALKS), SUBJECT TO SETTLEMENT, WILL BE BACK FILLED WITH PREMIUM BACKFILL AS DEFINED HEREIN. AT QUESTIONABLE AREAS THE DECISION OF THE OF THE ENGINEER, OR HIS REPRESENTATIVE, WILL PREVAIL.

GENERAL UTILITY NOTES:

- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- A TEN FOOT MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT, CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY SEWER.
- AN 18 INCH MINIMUM VERTICAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY SEWER AT ALL CROSSINGS.
- A TEN FOOT MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND STORM SEWER.
- AN 18 INCH MINIMUM VERTICAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND STORM SEWER AT ALL CROSSINGS. BOOSTER PUMPS ARE NOT PERMITTED ON SERVICE CONNECTIONS.
- PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY, LOCAL MUNICIPALITY, AND LOCAL COUNTY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.

- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE STATE UTILITY PROTECTION SERVICE AT LEAST 72 HOURS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION MANAGER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN AND SERVICE RELOCATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION, AS NECESSARY.
- RELOCATION OF ANY UTILITY COMPANY FACILITIES TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY AND LOCAL MUNICIPALITY.
- ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT AND REPLACED IN ACCORDANCE WITH THE PAVEMENT REPAIR REQUIREMENTS OF LOCAL MUNICIPALITY AND THE DETAILS CONTAINED HEREIN.
- ALL PIPES SHALL BE Laid ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 8" LOOSE LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
- ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY, LOCAL MUNICIPALITY, AND/OR LOCAL COUNTY REQUIREMENTS.
- MAN-HOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MAN-HOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES TO THE CONSTRUCTION MANAGER AND LOCAL GOVERNING AGENCIES FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- IN THE EVENT OF CONFLICT OF ANY REQUIREMENTS OR PROVISIONS OF THE WORK INDICATED HEREON, THE SITE ENGINEER SHALL BE NOTIFIED FOR A DETERMINATION OF THE PLAN REQUIREMENTS AND INTENT THEREOF.
- ALL UTILITIES SHALL BE CONSTRUCTED, INSPECTED, AND TESTED IN ACCORDANCE WITH STATE AND LOCAL STANDARDS AND REGULATIONS.
- PROPOSED ELEVATIONS SHOWN SHALL NOT BE CHANGED WITHOUT APPROVAL OF THE ENGINEER OF RECORD AND THE CONSTRUCTION MANAGER.
- CONTRACTOR TO INSTALL SHORING AND/OR TEMPORARY STRUCTURES TO PROVIDE SUPPORT TO ANY AND ALL EXISTING AFFECTED UTILITIES PER UTILITY PROVIDER'S MINIMUM STANDARDS.

STORM UTILITY NOTES:

- NORTHINGS AND EASTINGS FOR STORM STRUCTURES GIVEN IN SITE PLANS ARE UNDERSTOOD TO REPRESENT THE CENTER OF THE INLET STRUCTURE.
- ALL CATCH BASIN/MANHOLES, UNLESS STATED OTHERWISE IN STRUCTURE SCHEDULE SHALL BE AS FOLLOWS OR APPROVED EQUAL:
 - CATCH BASINS IN PAVEMENT: EAST JORDAN IRON WORKS S110 WITH TYPE M3 HEAVY DUTY SINUSOIDAL GRATE.
 - CATCH BASINS IN GRASS: EAST JORDAN IRON WORKS 6500 BEEHIVE DITCH GRATE.
- ALL STORM SEWER PIPES SHALL BE HDPE OR PVC UNLESS STATED OTHERWISE ON THE PLANS.
 - HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER PIPE SHALL HAVE A SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND MEET THE REQUIREMENTS OF ONE OF THE FOLLOWING SPECIFICATIONS: AASHTO M252, TYPE S FOR 4-INCH THROUGH 10-INCH PIPE; AASHTO M294, TYPE S FOR 12-INCH THROUGH 36-INCH PIPE; ASTM F2306 FOR 12-INCH THROUGH 60-INCH PIPE; OR ASTM F2648 FOR 4-INCH THROUGH 60" PIPE. JOINTS SHALL BE SILT-TIGHT BELL AND SPIGOT CONNECTIONS. HDPE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
 - POLY VINYL CHLORIDE (PVC) PIPE FOR STORM SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC PIPE SHALL CONFORM TO ASTM D3034 SDR35 WITH COMPRESSION JOINTS AND APPROPRIATE FITTINGS. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
 - REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76. ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
- ALL STORM SEWERS, INLET BASINS AND MANHOLES SHALL BE CLEANED PRIOR TO ACCEPTANCE.

PERMANENT SEEDING NOTES:

- EXISTING ONSITE TOPSOIL CAN BE REUSED AFTER IT HAS BEEN SCREENED TO REMOVE VEGETATION ROOTS AND AGGREGATE. CONTRACTOR SHALL PLACE A 4-INCH LAYER OF TOPSOIL OVER DISTURBED AREAS THAT ARE NOT PROPOSED AGGREGATE, OR CONCRETE, OR BUILDINGS.
- CONTRACTOR SHALL PROVIDE AND PLACE PERMANENT SEEDING ON THE TOPSOIL AND MULCH OVER THE AREA TO PREVENT EROSION OR WASHING AWAY OF SEED. IF GRASS DOES NOT GERMINATE WITHIN 7 CALENDAR DAYS THEN THE AREA SHALL BE RESEDED.

OFFICIAL TOWN USE ONLY

NO.	DATE	BY	DESCRIPTION
1	09/20/2024	ACH	MAJOR SITE REVIEW APPLICATION
2	11/19/2024	ACH	MAJOR SITE REVIEW APP - RESUBMITTAL
3	12/24/2024	ACH	NSP REVISIONS PER LOCAL PERMITS & TOWN COMMENTS



Aaron Courice Hocker
12/24/2024

20800 CHAGRIN BLVD
SUITE 600, SHAKER
HEIGHTS, OH 44122
TEL: 216.378.1490
FAX: 216.378.1497

PROJECT NO.: 2401014
PROJECT DATE: 09/12/2024

PTSS
ACH

TRILON SERVICES, NY, INC
AND
Mannik Smith GROUP
www.MannikSmithGroup.com

TECHNICAL SKILL
CREATIVE SPIRIT.

PREPARED FOR:
BREWTOPIA
BUFFALO, LCC
34650 SOLON ROAD, SUITE 105
SOLON, OH 44139

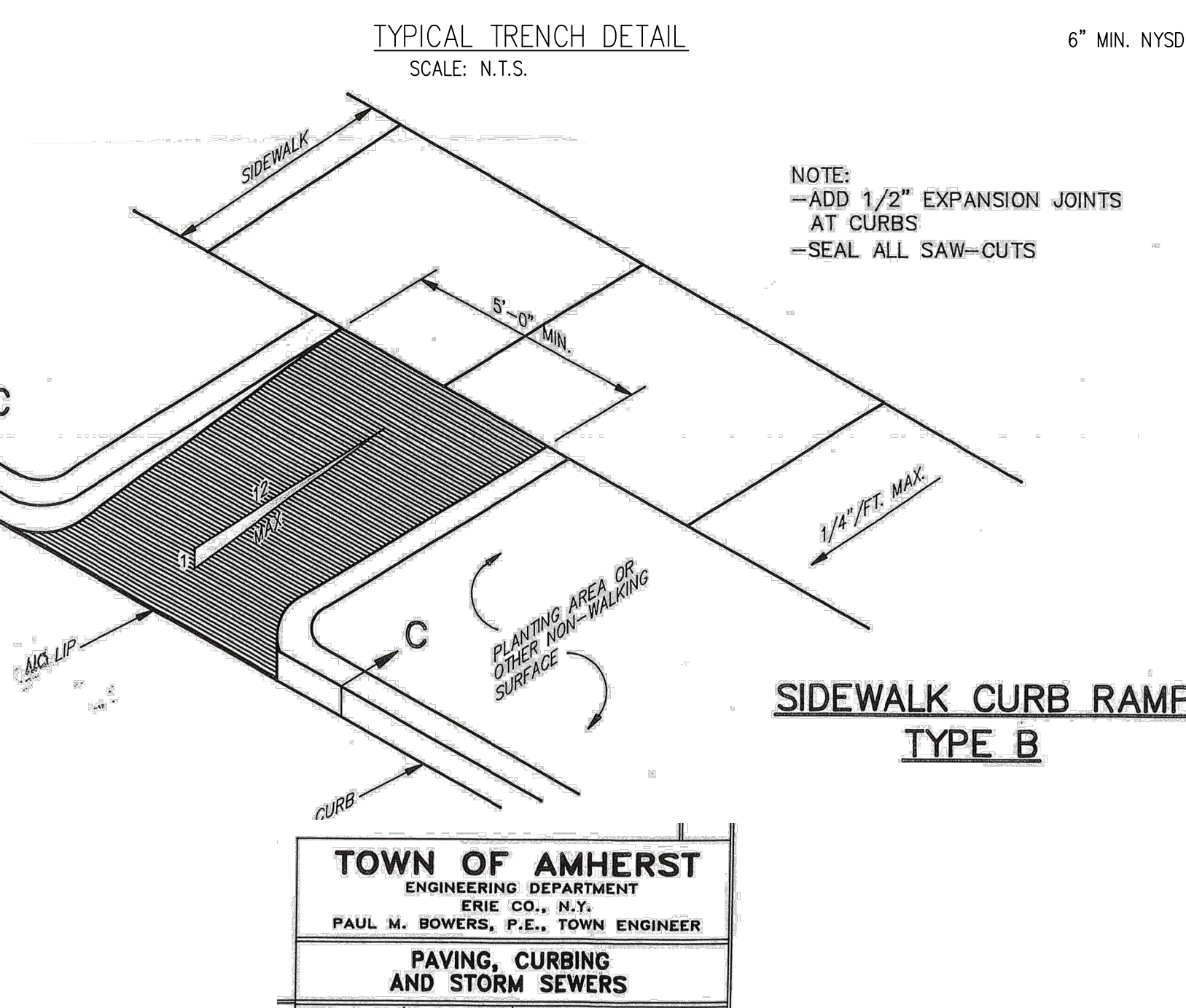
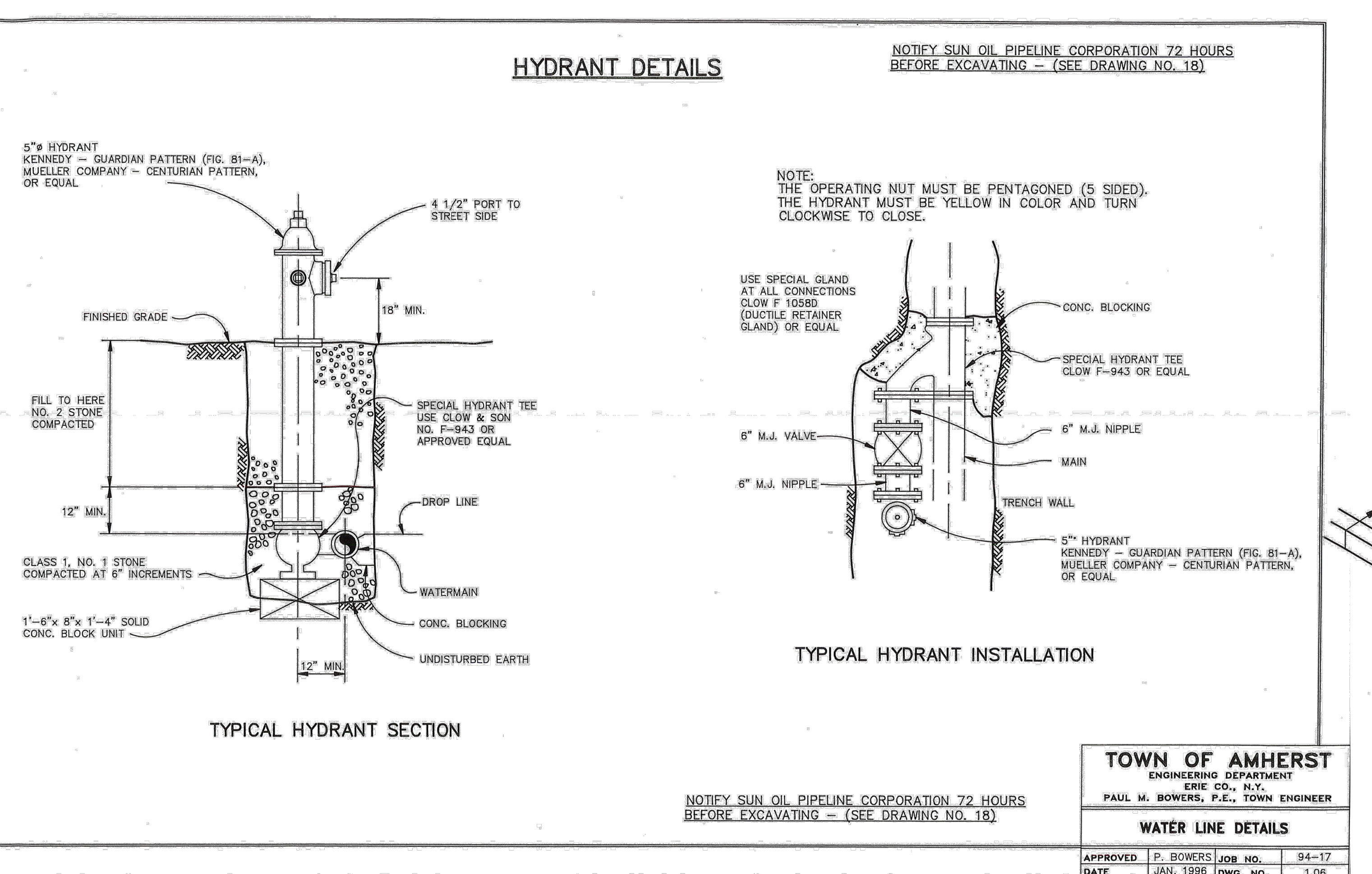
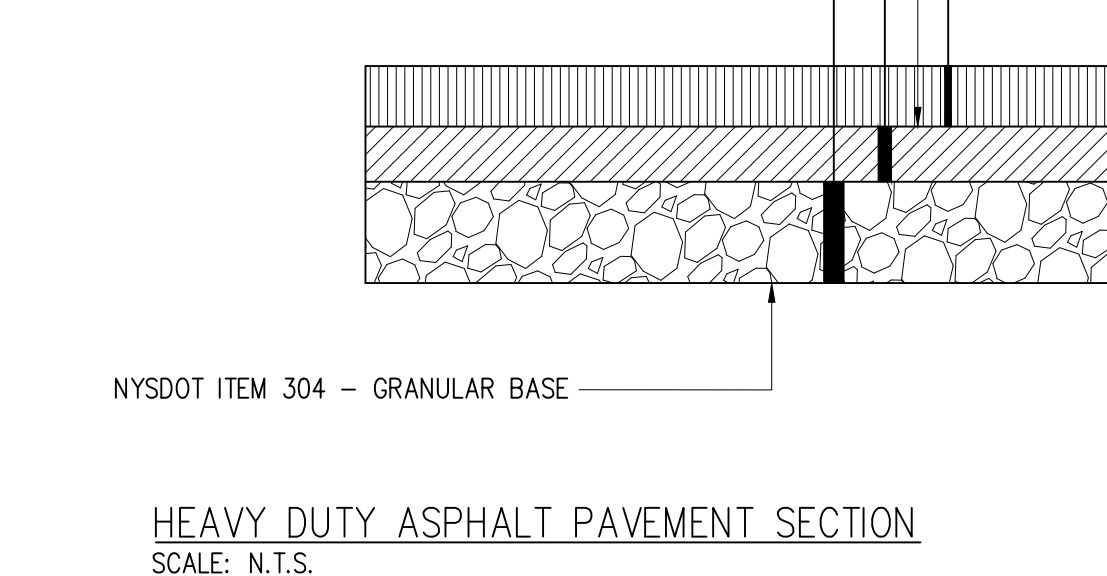
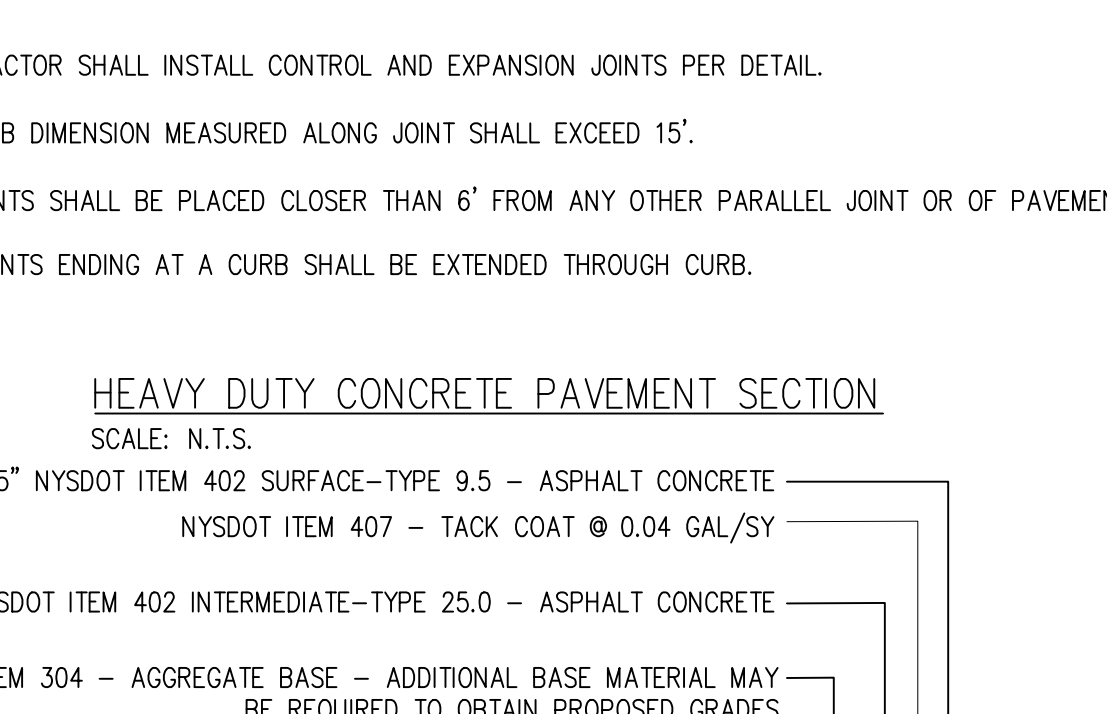
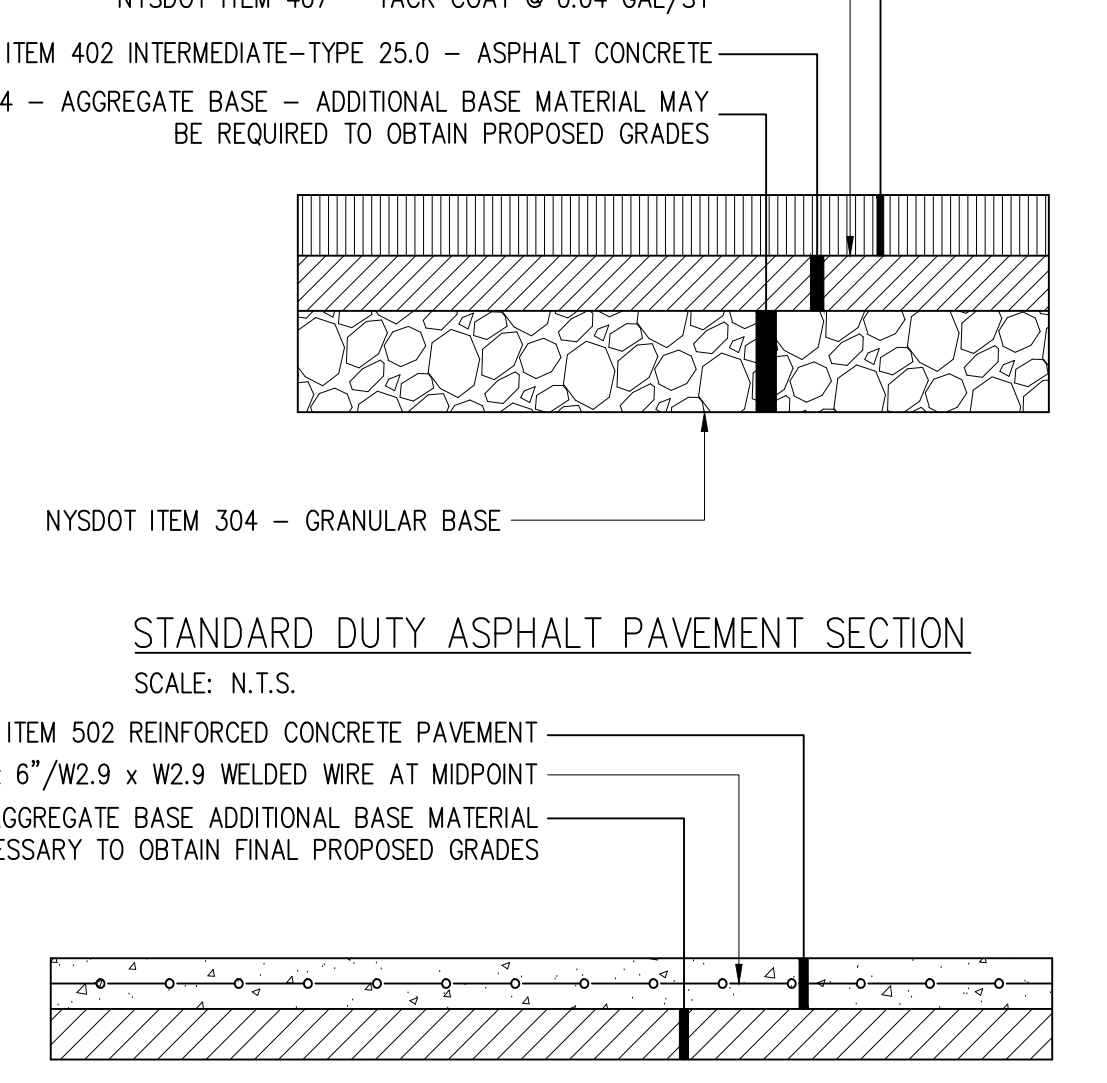
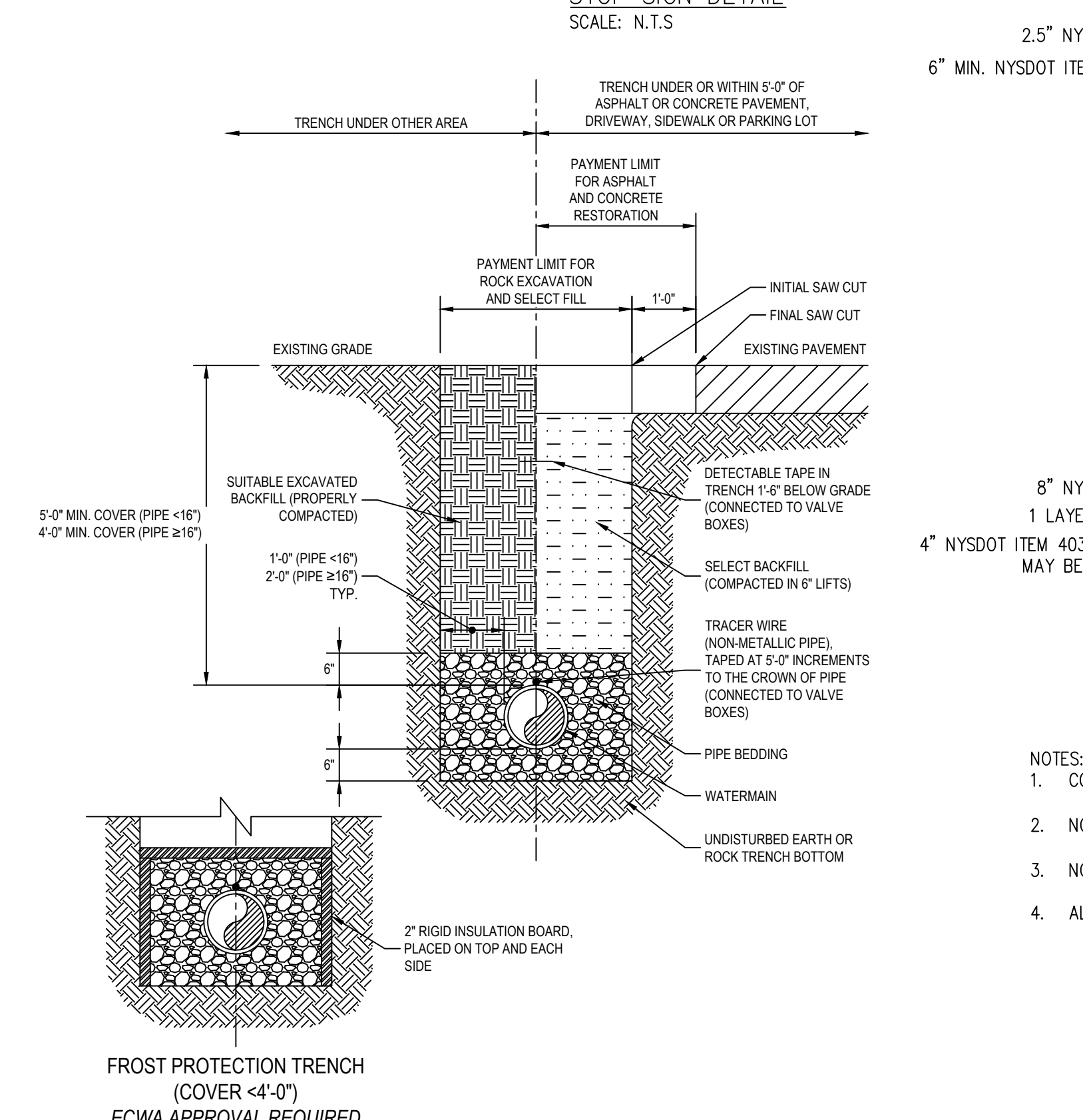
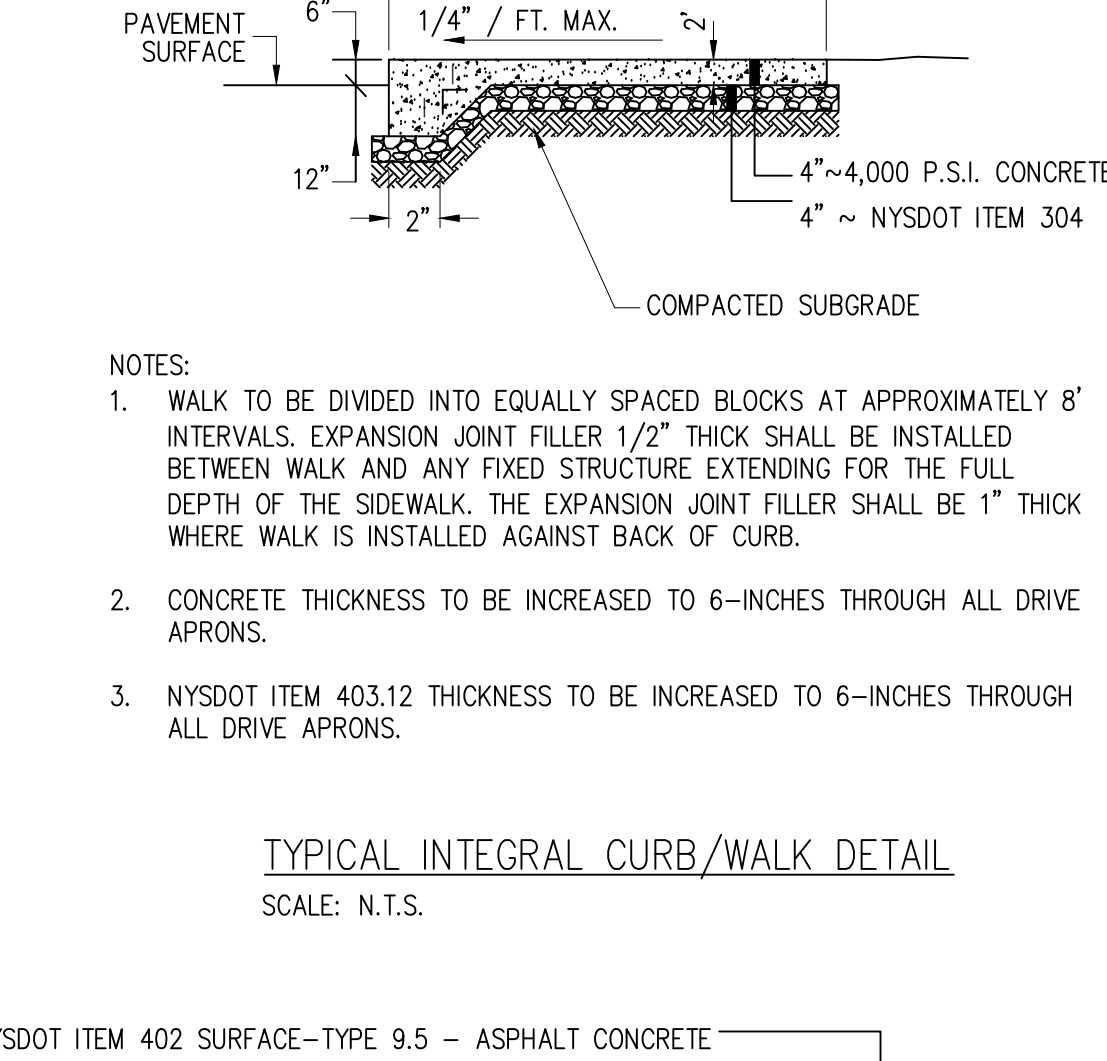
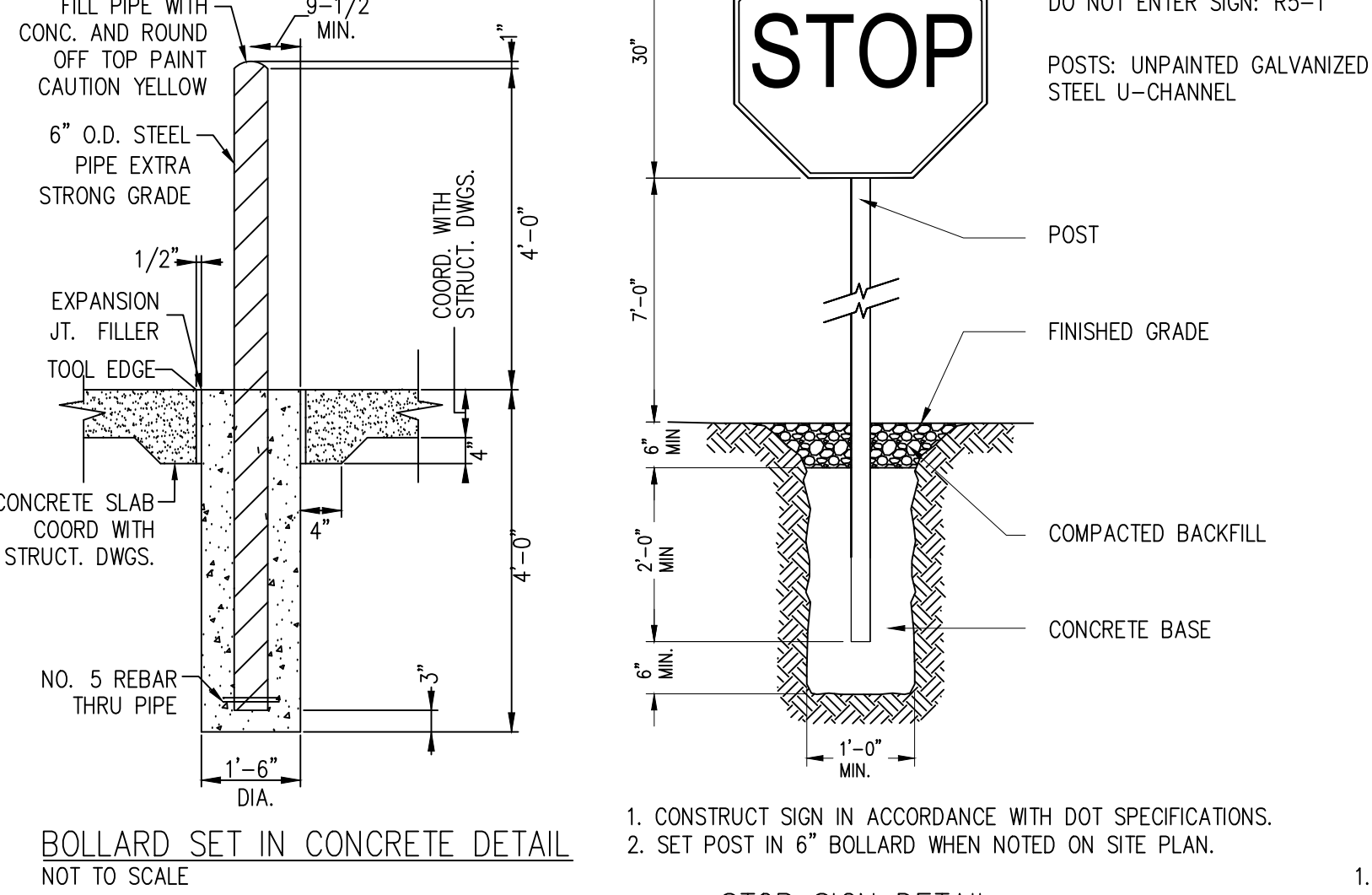
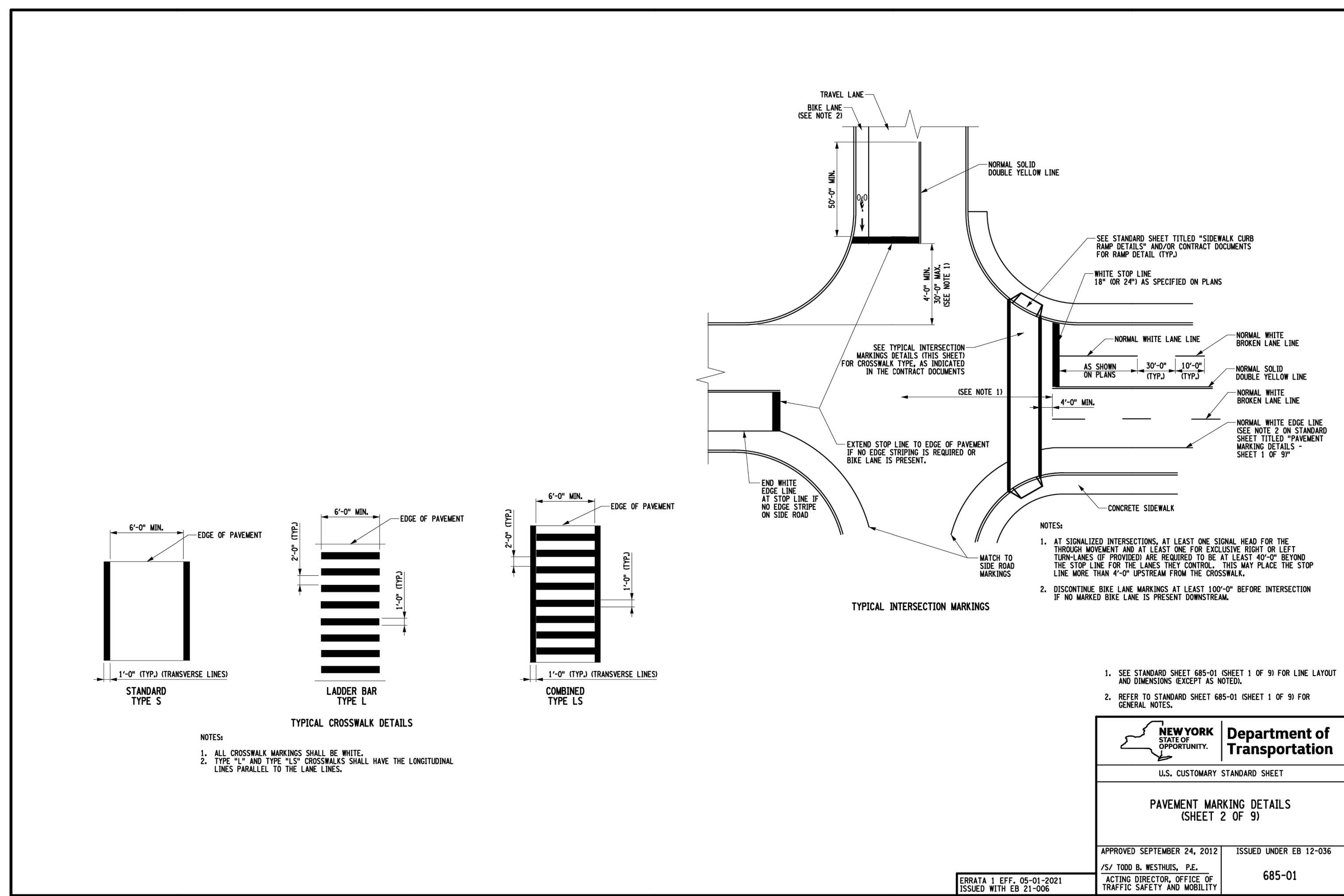
7BREW AMHERST
3999 MAPLE ROAD,
AMHERST, NY 14226

GENERAL NOTES

C001

STANDARD SHEETS, May 01, 2023

FILE NAME: 685-01.dwg
DATE/TIME: 11/19/2024 11:22 AM



TOWN OF AMHERST
ENGINEERING DEPARTMENT
ERIE CO., N.Y.
PAUL M. BOWERS, P.E., TOWN ENGINEER

WATER LINE DETAILS

APPROVED P. BOWERS JOB NO. 94-17
DATE JAN. 1996 DWG. NO. 1.06

TOWN OF AMHERST
ENGINEERING DEPARTMENT
ERIE CO., N.Y.
PAUL M. BOWERS, P.E., TOWN ENGINEER

PAVING, CURBING AND STORM SEWERS

APPROVED P. BOWERS JOB NO. 94-17
DATE JAN. 1996 DWG. NO. 12.1

NO.	DATE	BY	DESCRIPTION
1	09/20/2024	ACH	MAJOR SITE REVIEW APPLICATION
2	11/19/2024	ACH	MAJOR SITE REVIEW APP. - RESUBMITTAL
3	12/24/2024	ACH	NSP REVISIONS PER DAB COMMENTS & TOWN COMMENTS

STATE OF NEW YORK
SEAL OF THE STATE ENGINEER
LAWRENCE J. HARRIS
Professional Engineer
No. 088895
9/20/24

20800 CHAGRIN BLVD
SUITE 500, SHAKER
HEIGHTS, OH 44122
TEL: 216.378.1490
FAX: 216.378.1497

PROJECT DATE: 09/19/2024
PROJECT NO.: 2401014
DRAWN BY: ACH
CHECKED BY: ACH

TRILON SERVICES, NY, INC
AND
Mannik Smith GROUP
www.MannikSmithGroup.com

TECHNICAL SKILL
CREATIVE SPIRIT

PREPARED FOR:
BREWTOPIA
BUFFALO, LCC
34050 SOLON ROAD, SUITE 105
SOLON, OH 44139

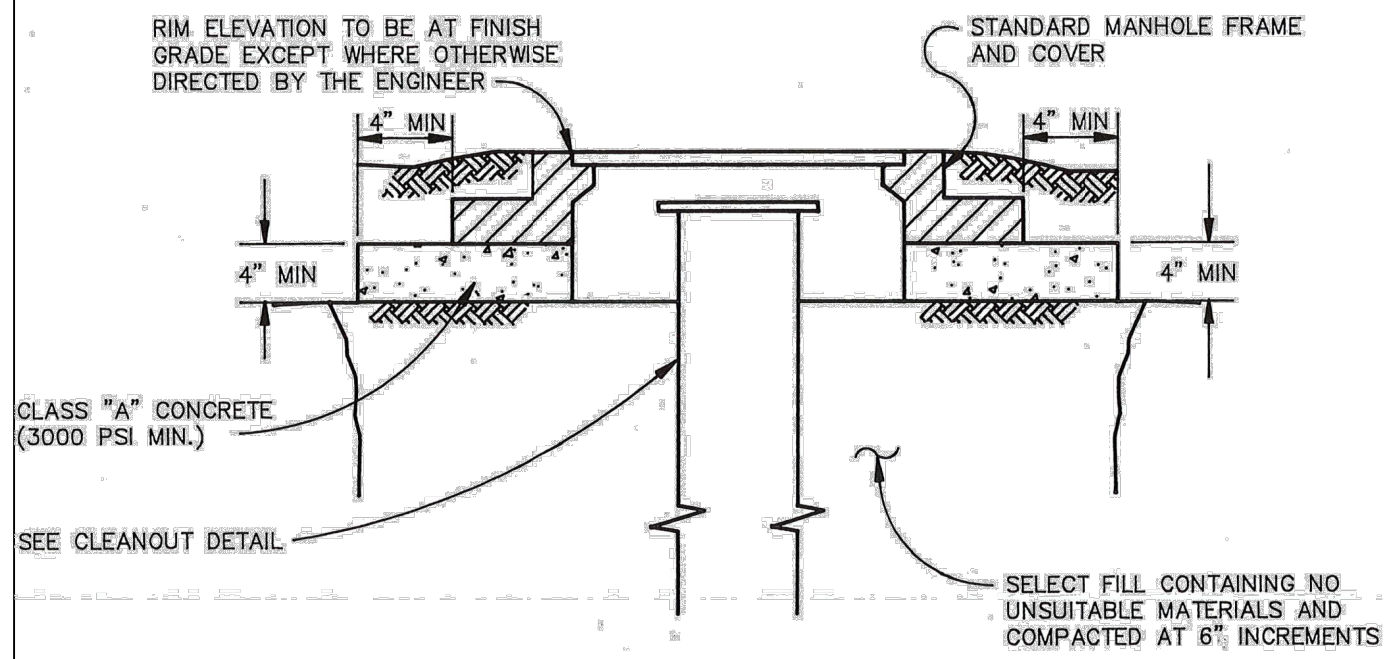
7BREW AMHERST
3999 MAPLE ROAD,
AMHERST, NY 14226

CONSTRUCTION DETAILS

C002

CLEANOUT WITH STANDARD MANHOLE FRAME AND COVER

(TO BE USED IN LOCATIONS ONLY AS APPROVED BY TOWN ENGINEER)



NOTE: CLEANOUT NOT TO BE INSTALLED WHEN DISTANCE FROM M.H. EXCEEDS 150

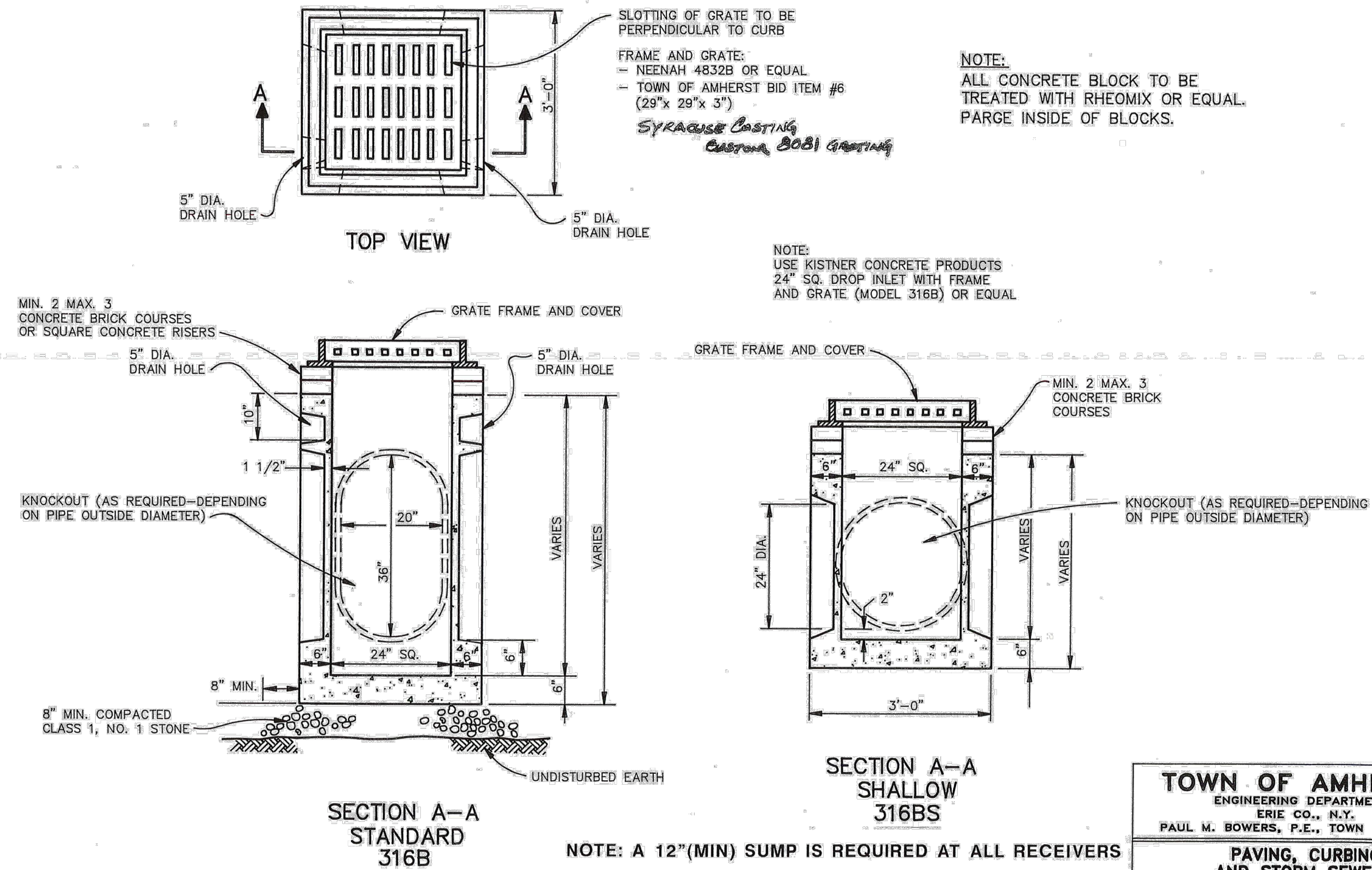
NOTE: FLOW CHANNELS MUST ALLOW PLACEMENT, REMOVAL AND PASSAGE OF T.V. CAMERAS. THE CAMERA DIMENSIONS ARE APPROXIMATELY 26" LONG x 6 1/2" SQUARE. A BLOCK OF WOOD OF THESE DIMENSIONS MAY BE USED TO SIMULATE THE SIZE OF THE CAMERA. THIS WILL SIMPLIFY THE FORMATION OF FLOW CHANNELS AND INVERTS.

DEPTH OF ALL CHANNELS TO BE 75% OF PIPE DIAMETER. FINISH ALL CHANNELS AT PROPER GRADE AS TO ALLOW SMOOTH & UN-OBSTRUCTED FLOW. ALL INVERTS TO BE FLUSH WITH THE INSIDES.

TOWN OF AMHERST
ENGINEERING DEPARTMENT
ERIE CO., N.Y.
PAUL M. BOWERS, P.E., TOWN ENGINEER

SANITARY SEWERS			
APPROVED	P. BOWERS	JOB NO.	94-17
DATE	JAN. 1998	DWG. NO.	4.04

STANDARD PRECAST CONCRETE DROP INLET



NOTE: USE KISTNER CONCRETE PRODUCTS 24" SQ. DROP INLET WITH FRAME AND GRATE (MODEL 316B) OR EQUAL

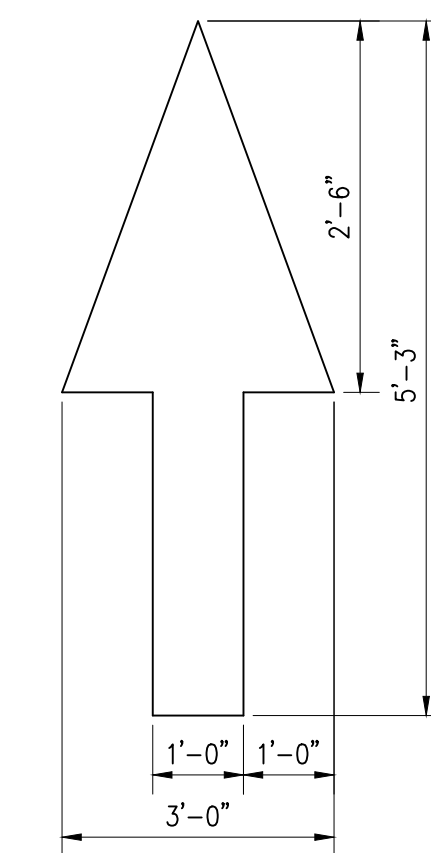
NOTE: ALL CONCRETE BLOCK TO BE TREATED WITH RHEOMIX OR EQUAL. PARGE INSIDE OF BLOCKS.

SECTION A-A STANDARD 316B

NOTE: A 12" (MIN) SUMP IS REQUIRED AT ALL RECEIVERS

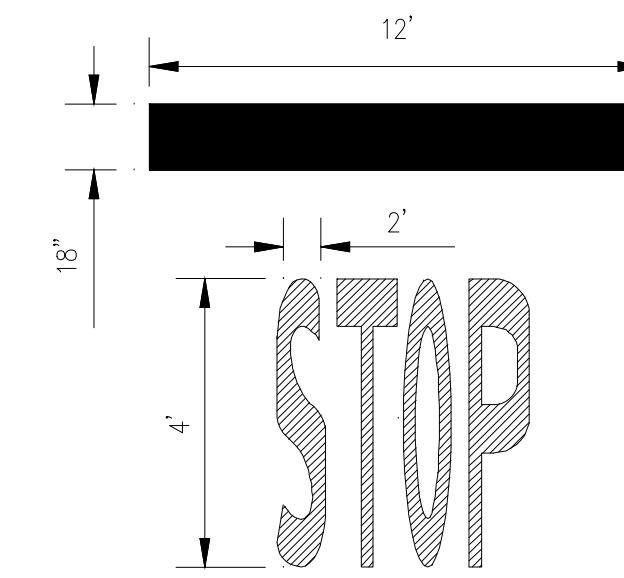
TOWN OF AMHERST
ENGINEERING DEPARTMENT
ERIE CO., N.Y.
PAUL M. BOWERS, P.E., TOWN ENGINEER

PAVING, CURBING AND STORM SEWERS			
APPROVED	P. BOWERS	JOB NO.	94-17
DATE	JAN. 1998	DWG. NO.	8.02



NOTE: 1. PAINT SHALL CONFORM TO DOT STANDARD. APPLY 2 COATS, ALLOWING 1 WEEK MINIMUM BETWEEN COATS.

PAVEMENT MARKING ARROW
SCALE: N.T.S.



NOTE: 1. PAINT STOP BAR AND LETTERING WHITE.

STOP BAR AND LETTERING DETAIL
SCALE: N.T.S.

STRIPING PAINT COLORS:

SUBSTITUTION TO COLORS MUST BE APPROVED BY 7 BREW

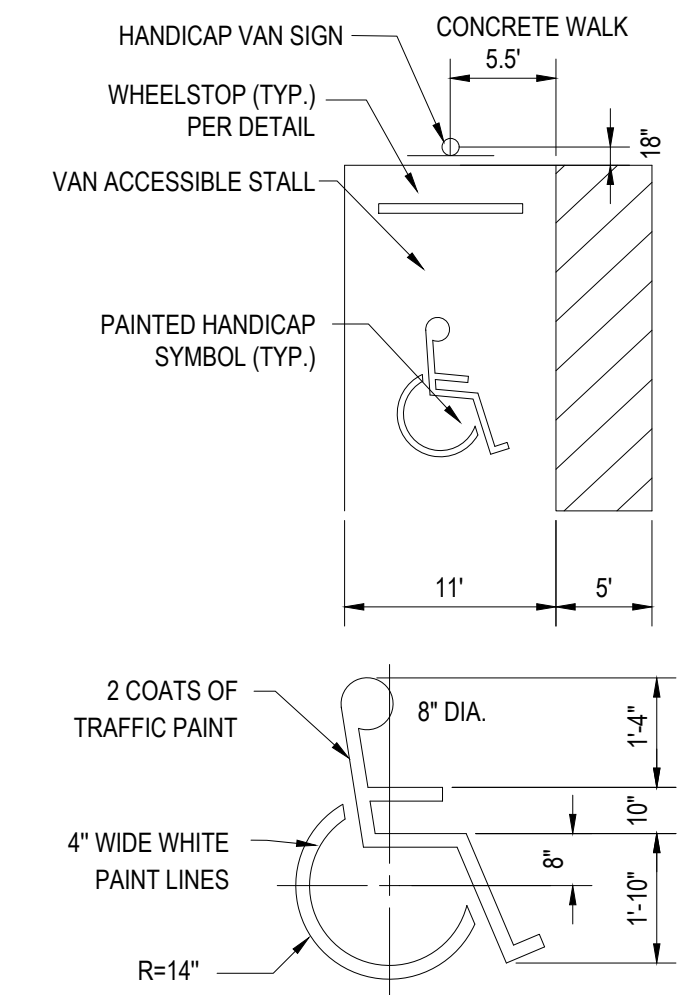
PMS 000C	COLOR
C: 0%	WHITE
M: 0%	
Y: 0%	
K: 0%	
R: 255	
G: 255	
B: 255	
HEX: FFFFFF	

PMS 293	COLOR
C: 100%	BLUE
M: 63%	
Y: 0%	
K: 35%	
R: 0	
G: 61	
B: 165	
HEX: 003DA5	

PMS 202	COLOR
C: 29.54%	RED
M: 95.11%	
Y: 74.72%	
K: 29.59%	
R: 138	
G: 36	
B: 50	
HEX: 8A2432	

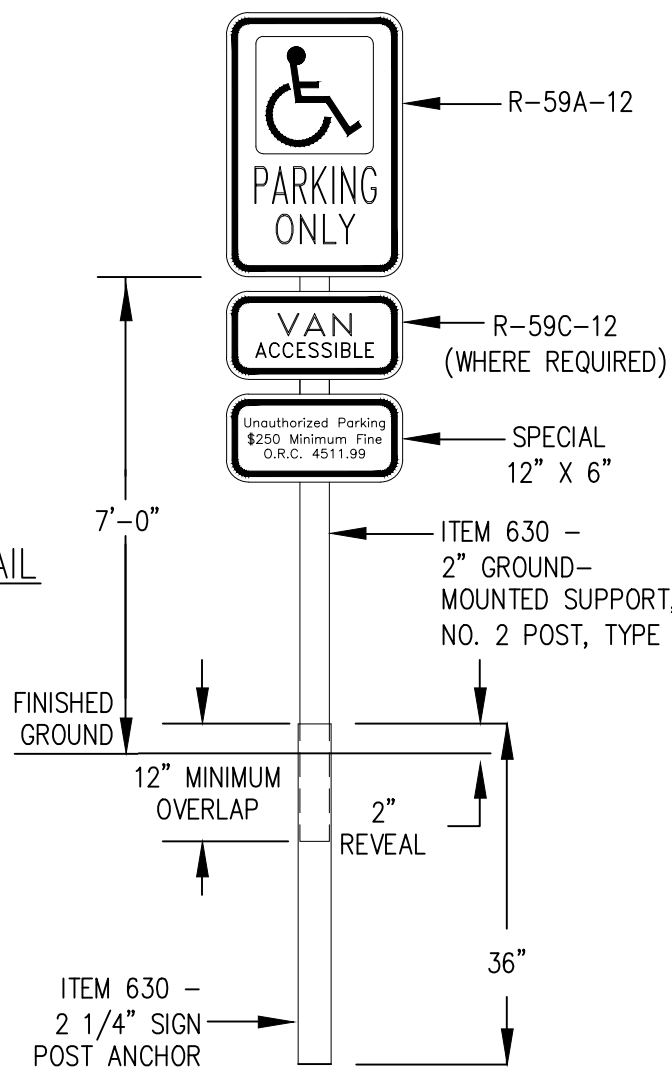
PAINT TYPE:

SHERWIN-WILLIAMS PRO PARK. SETFAST, HOTLINE OR AN APPROVED EQUAL.



NOTE: 1. ALL ADA MARKINGS SHALL CONFORM TO NY STATE AND ADAG REQUIREMENTS. 2. ALL STANDARD PARKING STALL STRIPING TO BE 4 INCHES WIDE AND WHITE IN COLOR.

ADA ACCESSIBLE PARKING STRIPING DETAIL
SCALE: N.T.S.



NOTE: 1. SIGNS PLACED IN PAVEMENT TO BE BOLLARD MOUNTED. ALL OTHER SIGNS TO BE STANDARD.

STANDARD HANDICAP PARKING SIGN
SCALE: N.T.S.

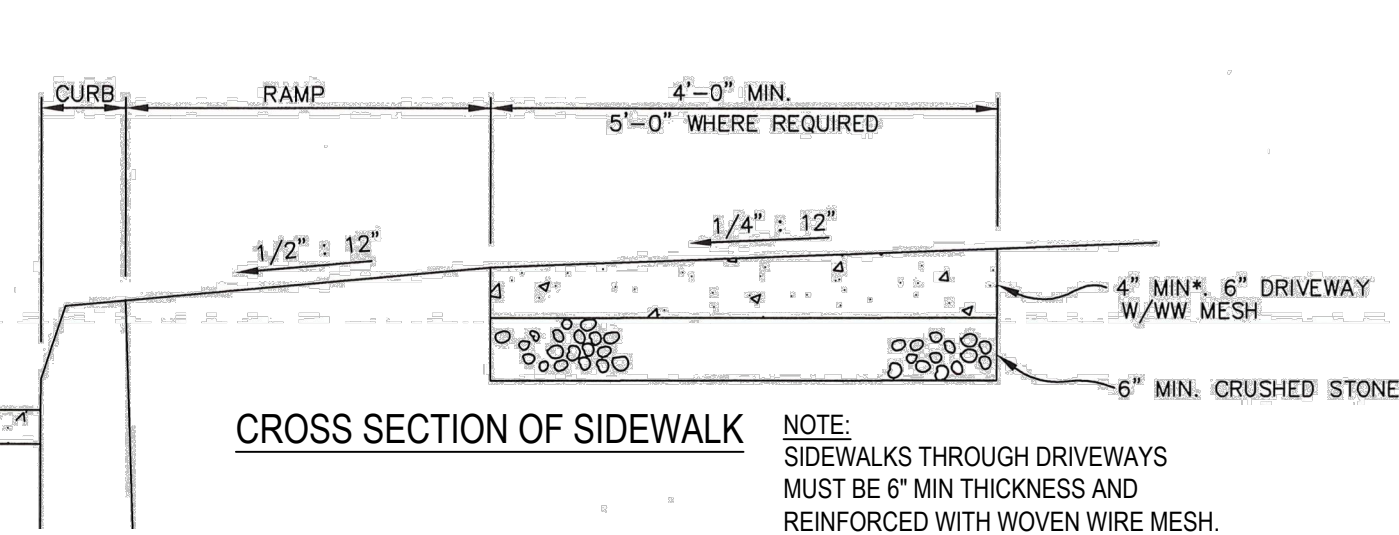
PAVEMENT MARKING KEYNOTES:

- 12" SOLID RED STOP BAR WITH 48-INCH TALL "STOP" TEXT PAINTED IN RED
- 4" SOLID BLUE PAVEMENT MARKER, TYPICAL MIDLINES SPACE AT 24" O.C.
- ALIGN 4" SOLID BLUE CROSS WALK MARKER WITH SLIDING DOOR PANEL AT FRONT OPENING
- SOLID WHITE TRIPLE ARROW PAVEMENT MARKER
- BLUE PAINTED ADA ACCESSIBLE PARKING SYMBOL
- 48-INCH TALL "LANE # PAINTED IN WHITE
- SOLID WHITE DIRECTIONAL ARROW PAVEMENT MARKING
- 4" SOLID BLUE PAVEMENT MARKER, TYPICAL
- 24-INCH TALL "PASS THRU" PAINTED IN WHITE
- SOLID RED TRIPLE ARROW PAVEMENT MARKER

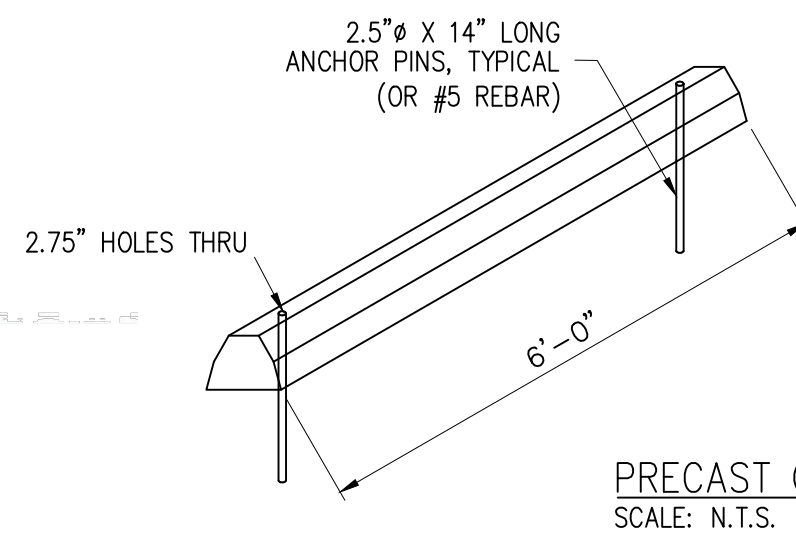
OFFICIAL TOWN USE ONLY

TOWN OF AMHERST
ENGINEERING DEPARTMENT
ERIE CO., N.Y.
JEFFREY S. BURROUGHS, P.E., TOWN ENGINEER

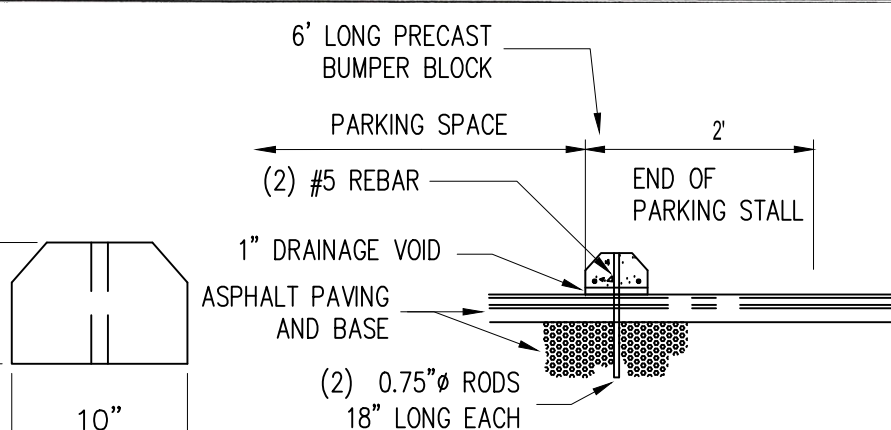
PAVING, CURBING AND STORM SEWERS			
APPROVED	J. BURROUGHS	JOB NO.	94-17
DATE	AUG. 2007	DWG. NO.	12.4



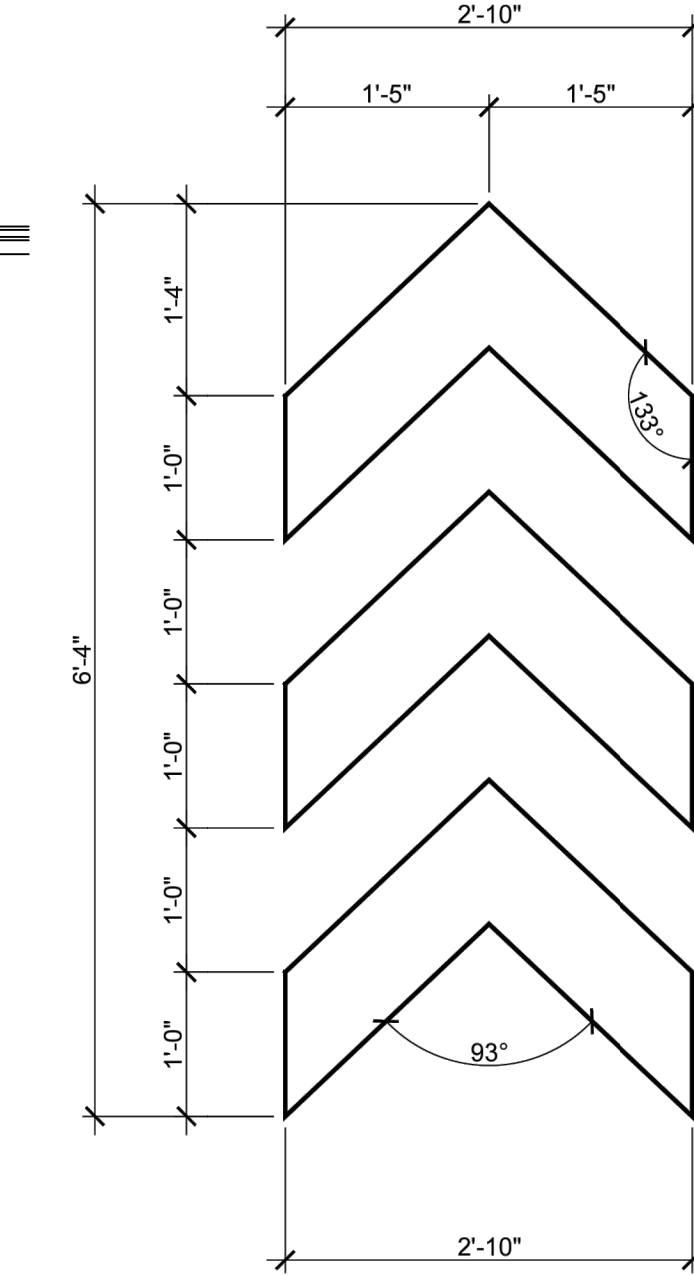
NOTE: SIDEWALKS THROUGH DRIVEWAYS MUST BE 6" MIN THICKNESS AND REINFORCED WITH WOVEN WIRE MESH.



PRECAST CONCRETE WHEEL STOP DETAIL
SCALE: N.T.S.



PRECAST CONCRETE WHEEL STOP DETAIL
SCALE: N.T.S.



7 BREW ARROW TEMPLATE (A REGISTERED TRADEMARK WITH THE INTELLECTUAL PROPERTY OFFICE AND SHALL NOT BE USED ON OTHER CONCEPTS OTHER THAN 7 BREW)

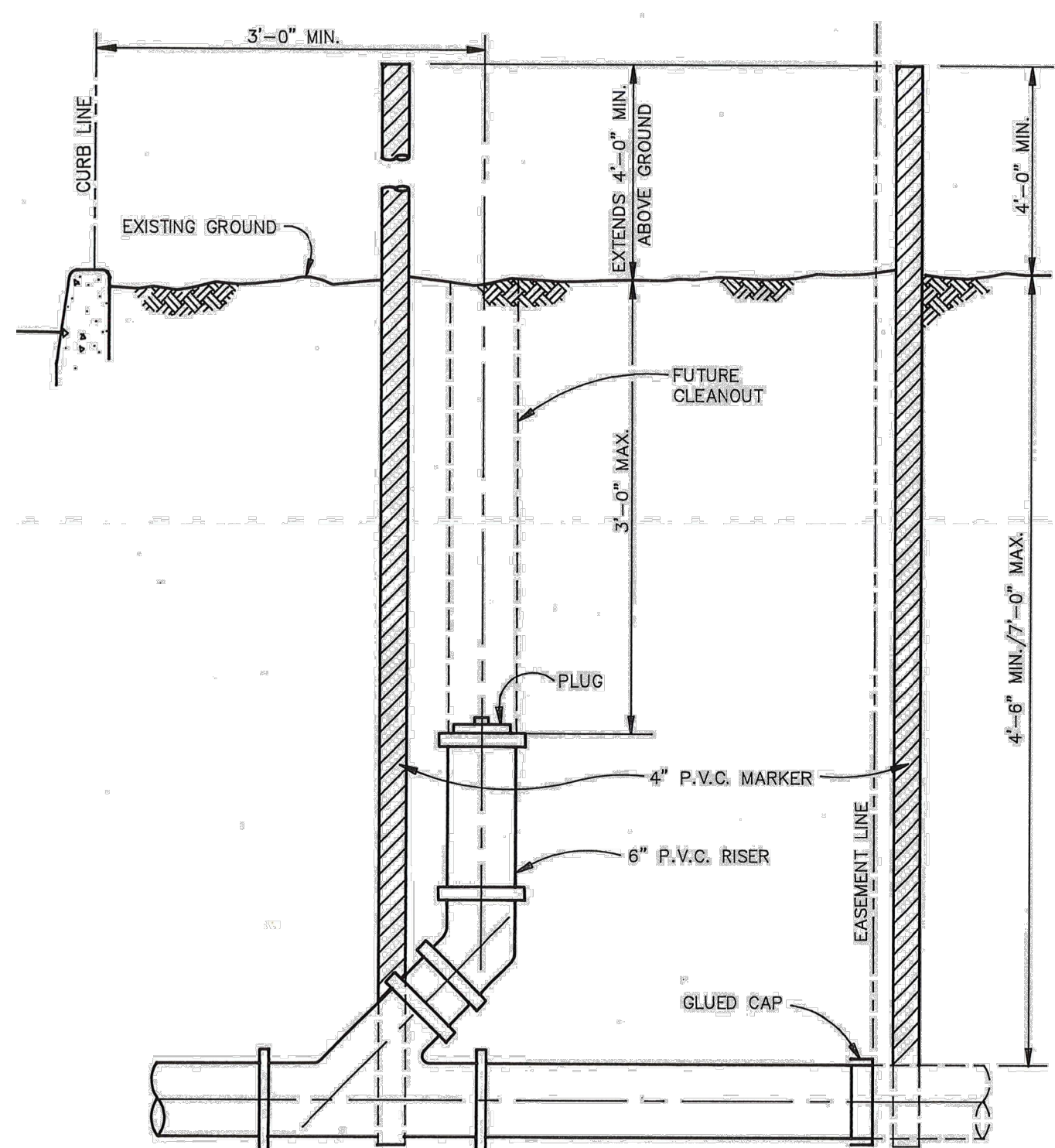
2 7 BREW ARROW TEMPLATE
SCALE: 3/4" = 1'-0"

TYPE VF6 (VERTICAL FACED CURB WITHOUT CURB ANCHOR) (SEE NOTE 4)

NOTES:

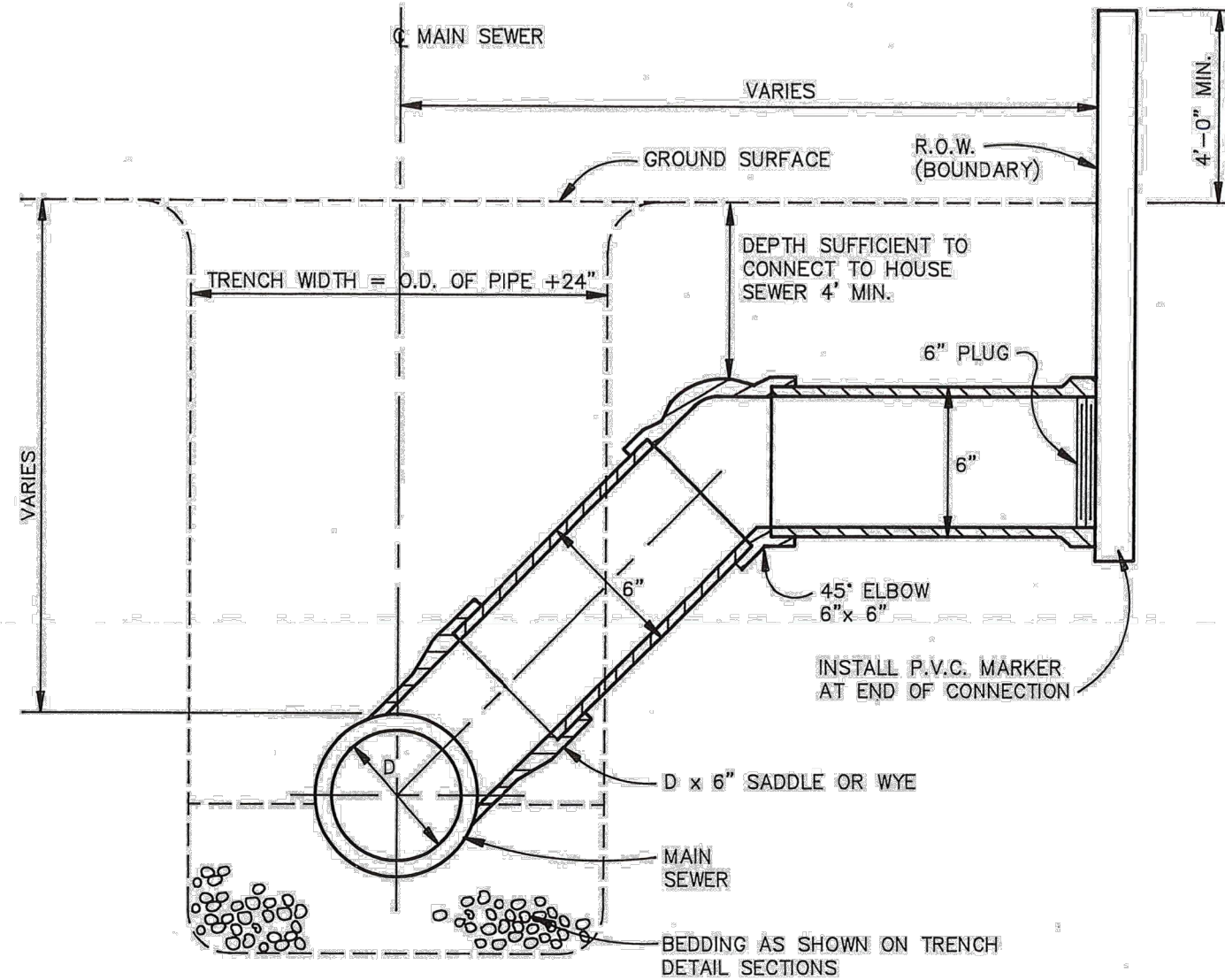
1. USE CURB AND CURB AND GUTTER MEETING THE MATERIAL AND CONSTRUCTION REQUIREMENTS OF SECTION 609 OF THE STANDARD SPECIFICATIONS.
2. CURB ANCHOR (NEW CONSTRUCTION). THIS DETAIL SHOWS PLACEMENT OF CURB ANCHORS. PUSH-IN TYPE ANCHORS MAY BE USED (SHOWN ON THE STANDARD SHEET FOR LONGITUDINAL TIES).
3. CURB TYPES M6A, VF6A AND M4A REQUIRE CURB ANCHOR. CURB AND GUTTER TYPES VF6G AND M4G REQUIRE ANCHORS WHEN PLACED ADJACENT TO CONCRETE PAVEMENT OR SHOULDER.
4. WHEN VERTICAL FACED CURB LESS THAN 9" WIDE IS USED WITH CURB BOXES CU1, CU2, AND CU3 AND CONCRETE SIDEWALK IS PLACED ADJACENT TO THIS CURB, SEE STANDARD SHEET MISCELLANEOUS CURB DETAILS FOR CURB BOX JOINTS.
5. USE WITH CURB BOXES, CM1, CM2, AND CM3.
6. THIS DETAIL EXCLUDES CAST-IN-PLACE CONCRETE CURB
7. FROM NYSDOT 609-01 - SHEET 3 OF 4

CLEANOUT AND RISER DETAIL



6" LATERAL TO SANITARY SEWER (1.0% SLOPE MIN. - UNLESS OTHERWISE NOTED BY THE ENGINEER)

SANITARY-HOUSE CONNECTION-MAIN SEWER TO RIGHT-OF-WAY (BOUNDARY)



TOWN OF AMHERST
ENGINEERING DEPARTMENT
ERIE CO., N.Y.
PAUL M. BOWERS, P.E., TOWN ENGINEER

SANITARY SEWERS			
APPROVED	P. BOWERS	JOB NO.	94-17
DATE	JAN. 1998	DWG. NO.	7.03

NO.	DATE	BY	DESCRIPTION
1	09/20/2024	ACH	MAJOR SITE REVIEW APPLICATION
2	11/19/2024	ACH	MAJOR SITE REVIEW APP. - RESUBMITTAL
3	12/24/2024	ACH	NSP REVISIONS PER DAB COMMENTS & TOWN COMMENTS

20800 CHAGRIN BLVD
SUITE 600, SHAKER
HEIGHTS, OH 44122
TEL: 216.378.1490
FAX: 216.378.1497

PROJECT NO.: 24001014
PROJECT DATE: 09/12/2024
DRAWN BY: [Signature]
CHECKED BY: [Signature]

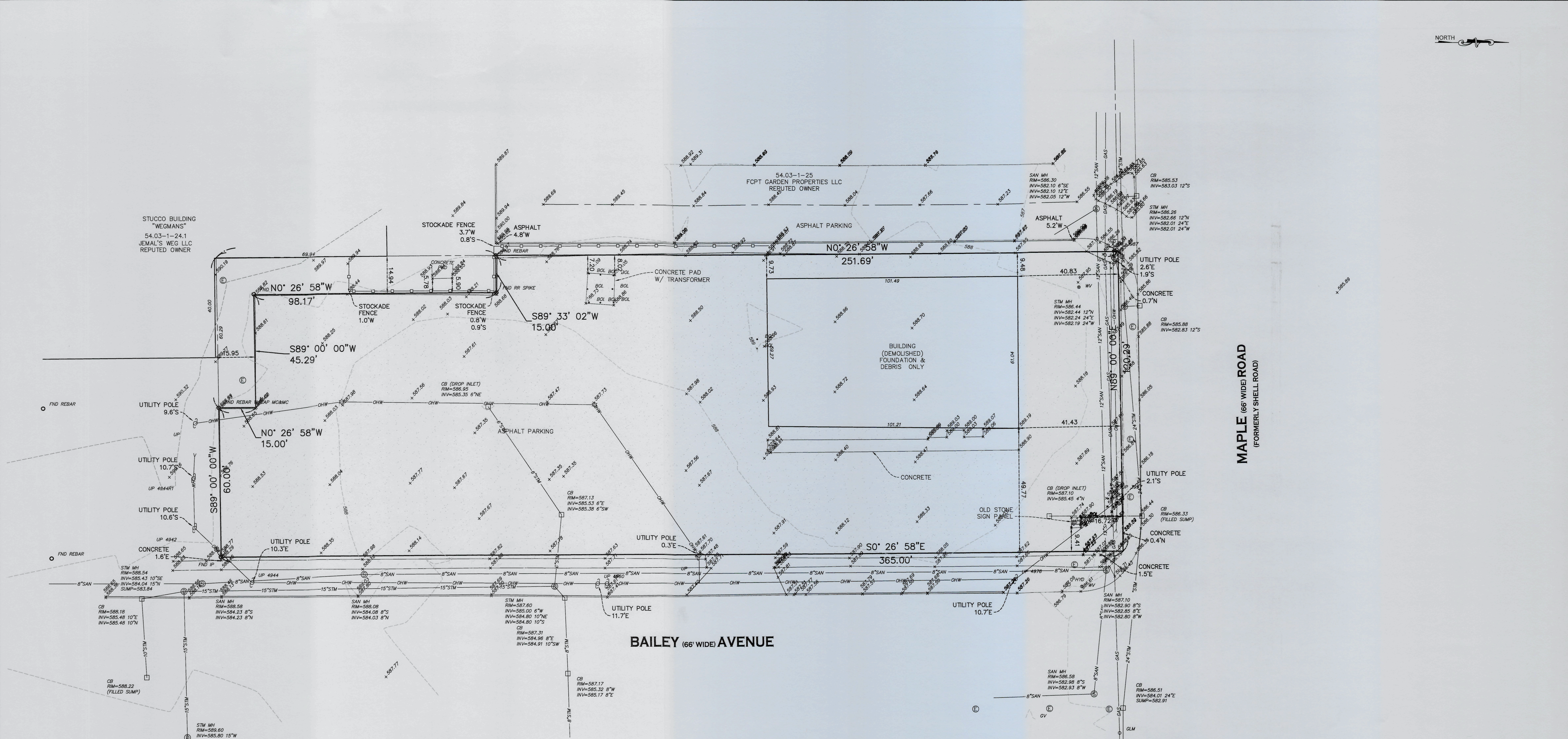
TRILON SERVICES, NY, INC
AND
Mannik Smith GROUP
CREATIVE SPIRIT.

PREPARED FOR:
BREWTOPIA
BUFFALO, LCC
34650 SOLO ROAD, SUITE 105
SOLOON, OH 44139

7 BREW AMHERST
3999 MAPLE ROAD,
AMHERST, NY 14226

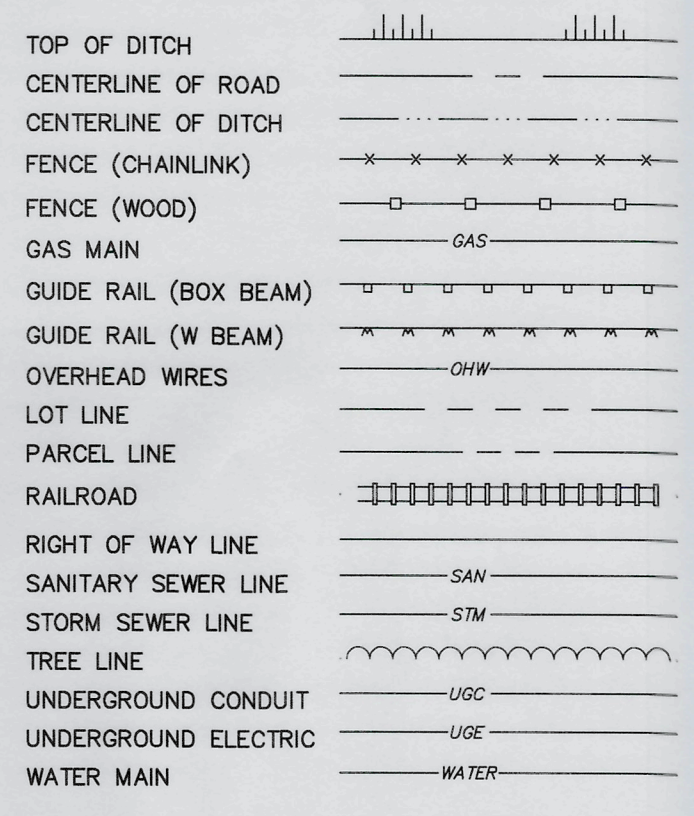
CONSTRUCTION DETAILS

C003



LEGEND

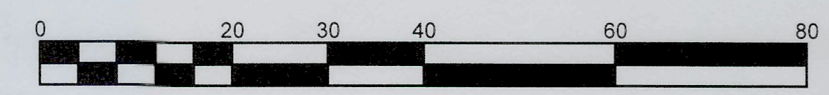
<ul style="list-style-type: none"> ▲ ANTENNA/DISH □ BENCHMARK ● BOLLARD □ CATCH BASIN ○ CLEANOUT □ COMMUNICATIONS BOX □ COMMUNICATIONS MANHOLE ○ COMMUNICATIONS MARKER ○ COMMUNICATIONS VAULT ○ CONIFEROUS SHRUB ○ CONIFEROUS TREE ○ DECIDUOUS SHRUB ○ DECIDUOUS TREE ○ DRILL/AUGER HOLE ○ ELECTRIC MANHOLE ○ ELECTRIC METER ○ END SECTION ○ FILLER CAPS ○ FLAG POLE ○ FLOOD LIGHT ○ GAS LINE MARKER ○ GAS MANHOLE ○ GAS METER ○ GAS SERVICE VALVE ○ GAS VALVE ○ GUY WIRE ○ HANDICAP PARKING 	<ul style="list-style-type: none"> ○ HYDRANT ○ PROPERTY MONUMENT (AS DESCRIBED) ○ LIGHT POLE ○ MAILBOX ○ MONUMENT AS DESCRIBED ○ OIL LINE MARKER ○ PHONE BOOTH ○ PIPE OUTLET ○ POST ○ POWER VAULT ○ RAILROAD CONTROL BOX ○ SANITARY SEWER MANHOLE ○ SCUPPER ○ SIGN (SINGLE POLE) ○ SIGN (DOUBLE POLE) ○ SIGN (TRIPLE POLE) ○ SIGNAL POLE ○ SIGNAL POLE (WITH TRAFFIC UTILITY BOX) ○ STORM SEWER MANHOLE ○ TRAFFIC CONTROL BOX ○ TRAFFIC PULLBOX ○ UNKNOWN MANHOLE ○ UTILITY BOX ○ UTILITY POLE ○ UTILITY POLE WITH LIGHT 	<ul style="list-style-type: none"> ○ WATER MANHOLE ○ WATER METER ○ WATER SERVICE VALVE ○ WATER VALVE ○ WELL ○ YARD DRAIN
---	---	--



ELEVATIONS BASED ON NAVD88 AS ESTABLISHED BY RTK GNSS OBSERVATIONS UTILIZING THE NYSNET GNSS NETWORK

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORD DRAWINGS PROVIDED TO THE SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO SUBSTANTIATE BURIED UTILITIES AND STRUCTURES. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. BEFORE EXCAVATIONS ARE BEGUN, THE APPROPRIATE AGENCIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.

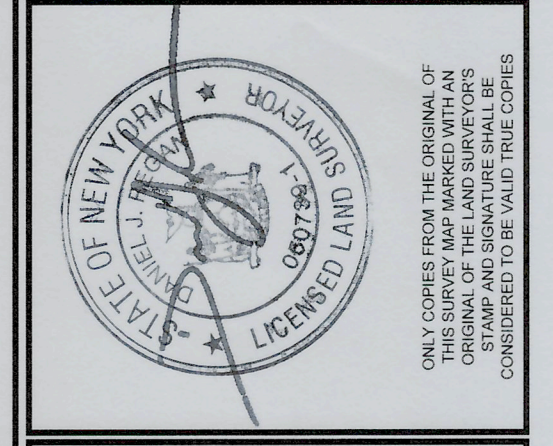
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN UP-TO-DATE ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.



SCALE: 1"=20'
GRAPHIC SCALE IN FEET

DRAWING REVISIONS	
DATE	DESCRIPTION

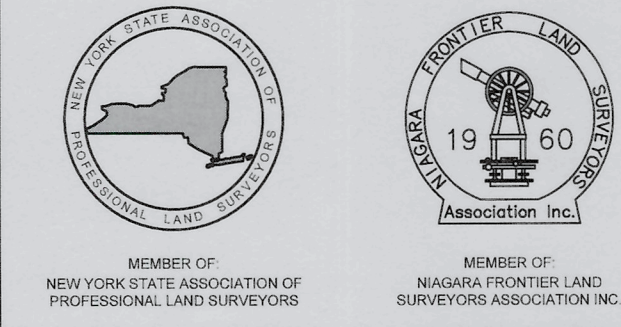
DESIGNED BY:	DUR
DRAWN BY:	DUR
CHECKED BY:	DUR
DATE:	SEPTEMBER 12, 2024

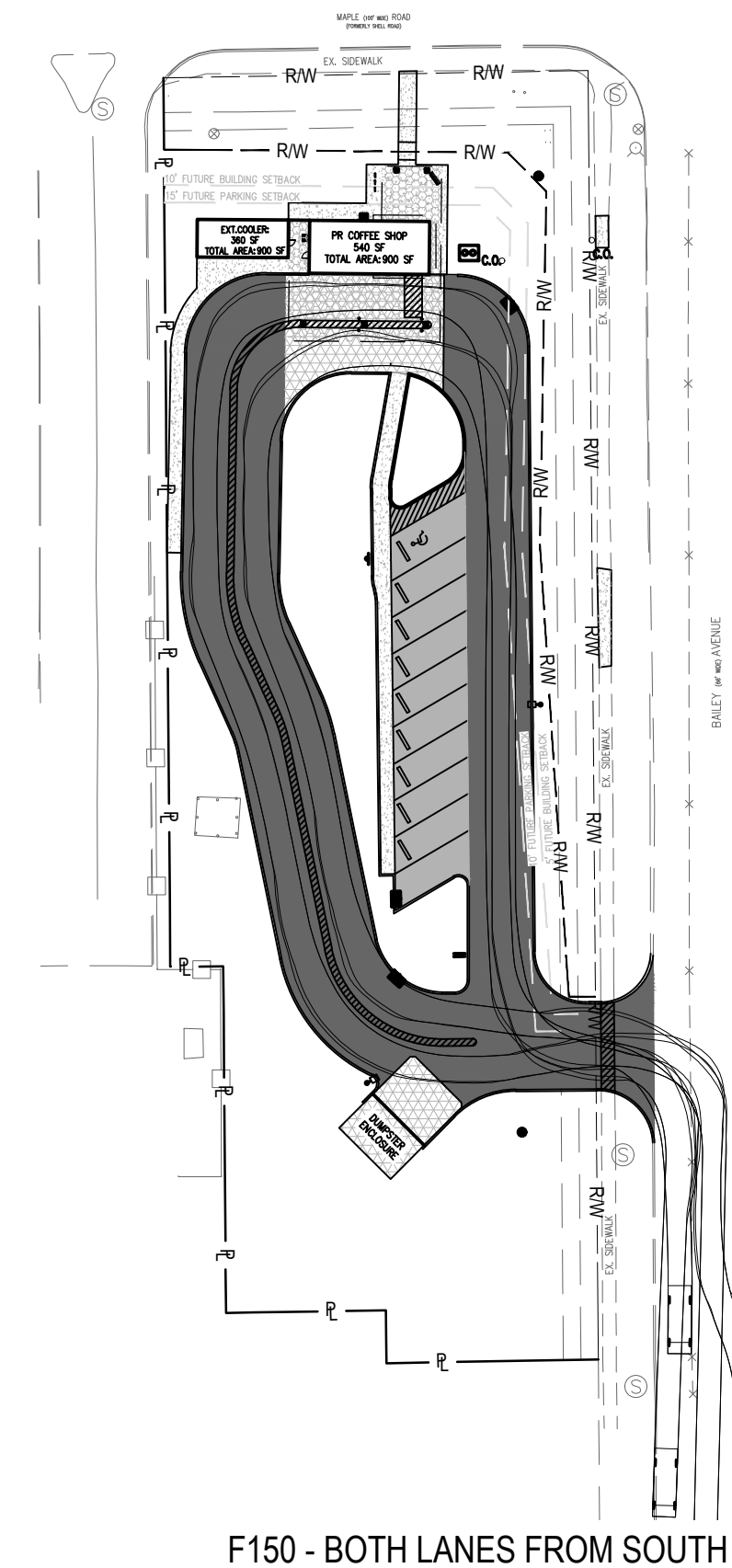
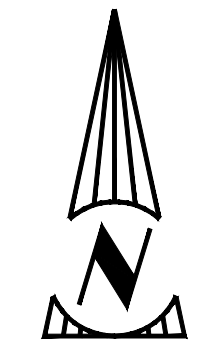
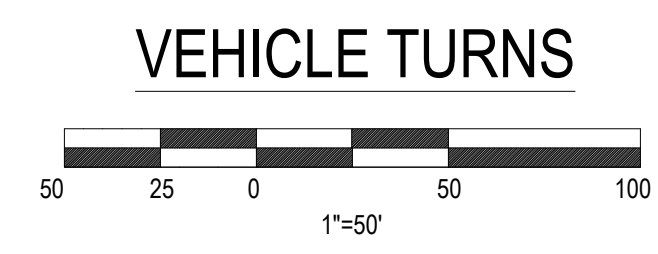
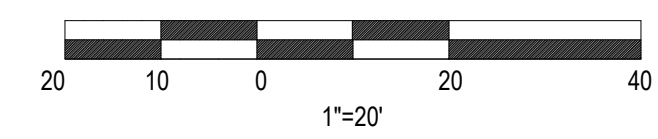
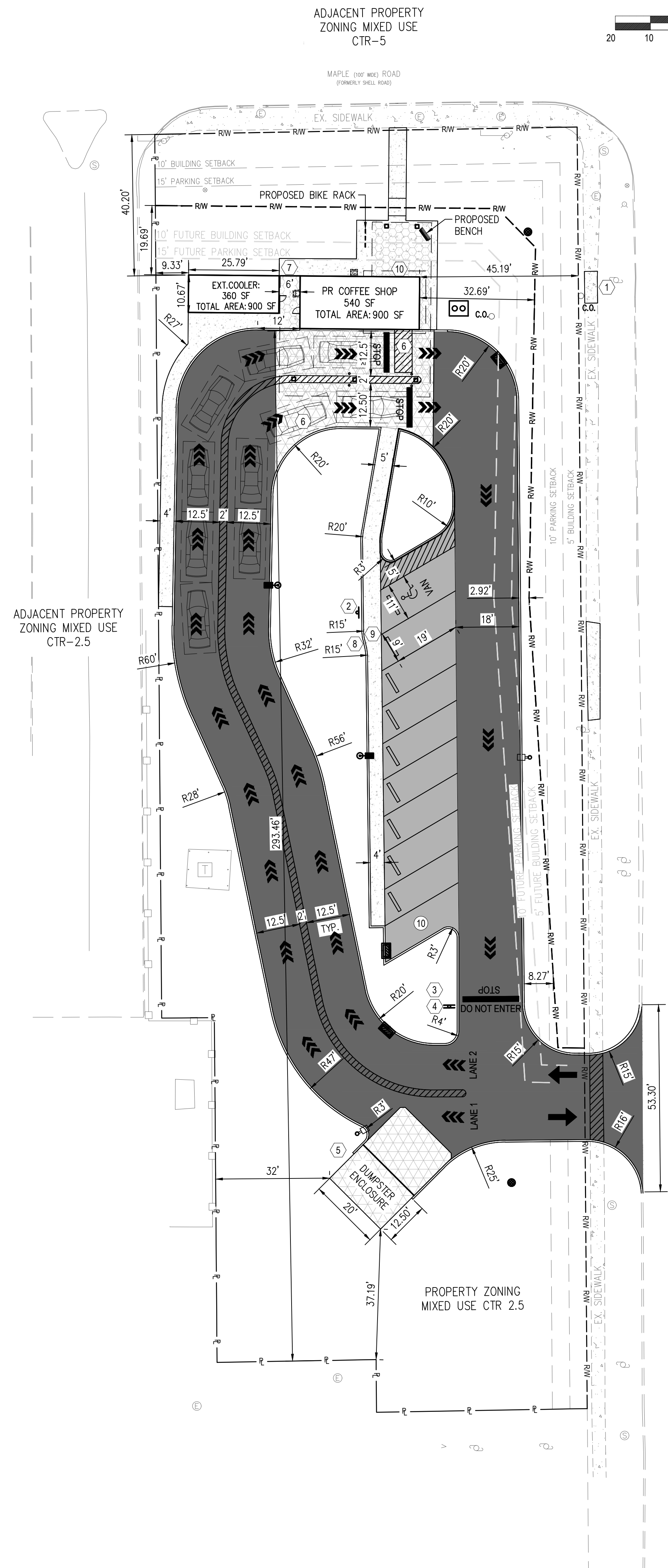


WM SCHUTT ASSOCIATES
37 CENTRAL AVE.
LANCASTER, NY 14086-2143
PH: 716-683-5961
FAX 716-683-0169
WWW.WMSCHUTT.COM

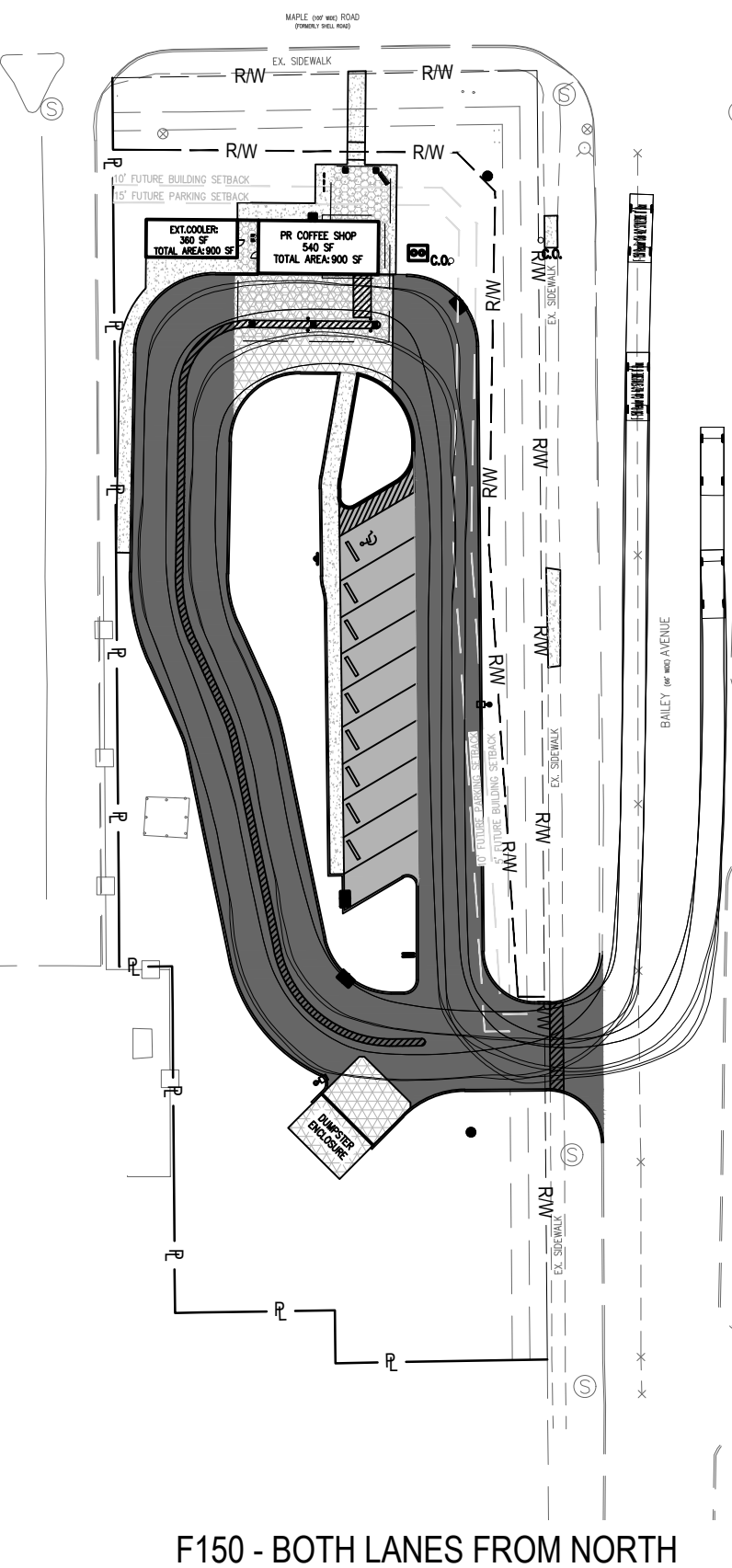
**TOWN OF AMHERST
COUNTY OF ERIE, STATE OF NEW YORK**
PART OF LOT(S) 84, TOWNSHIP 12, RANGE 7
HOLLAND LAND COMPANY'S SURVEY
BOUNDARY & TOPOGRAPHIC SURVEY

BT-1
DRAWING SCALE: 1"=20'
SURVEY FILE: D24035-01
WSA PROJECT NO. 24035

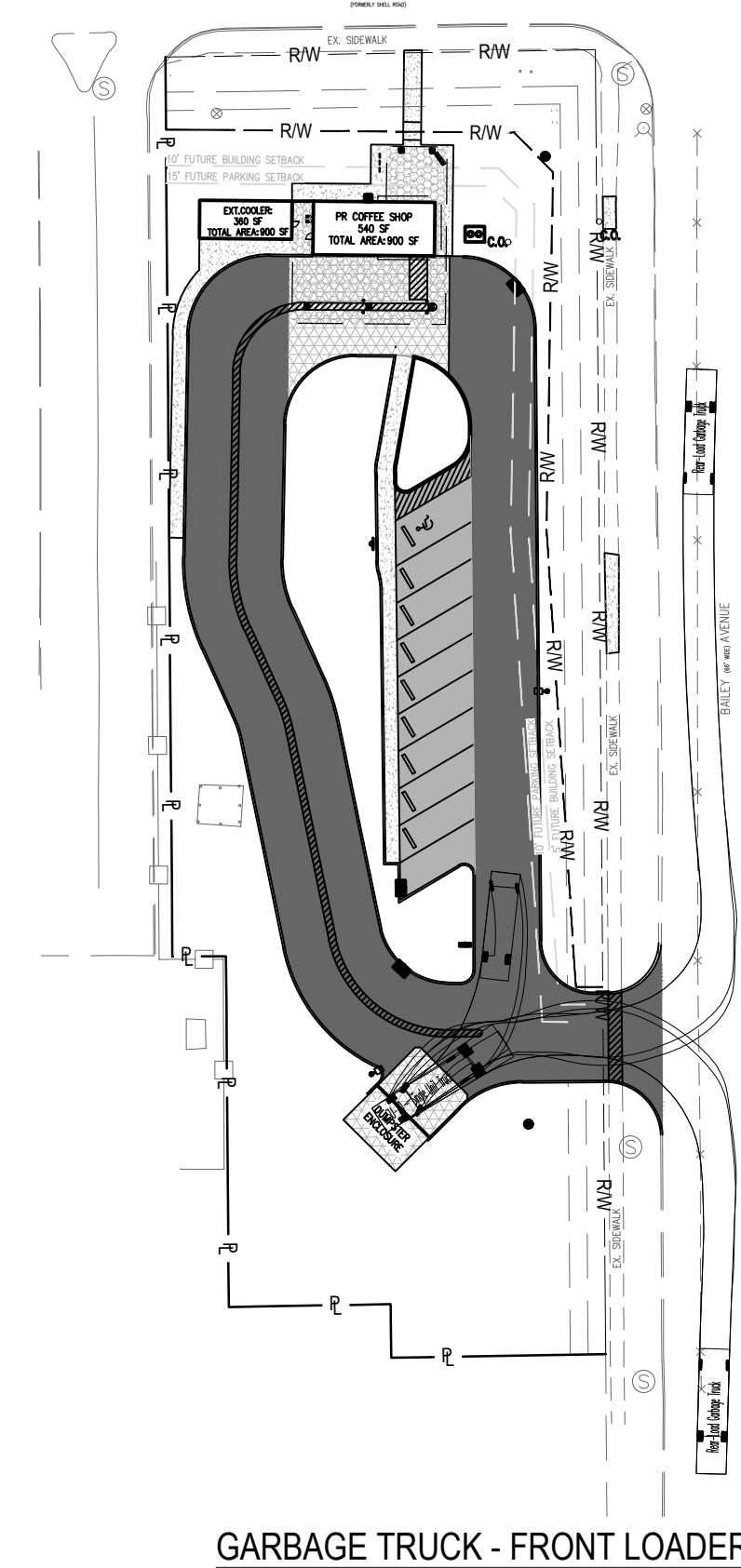




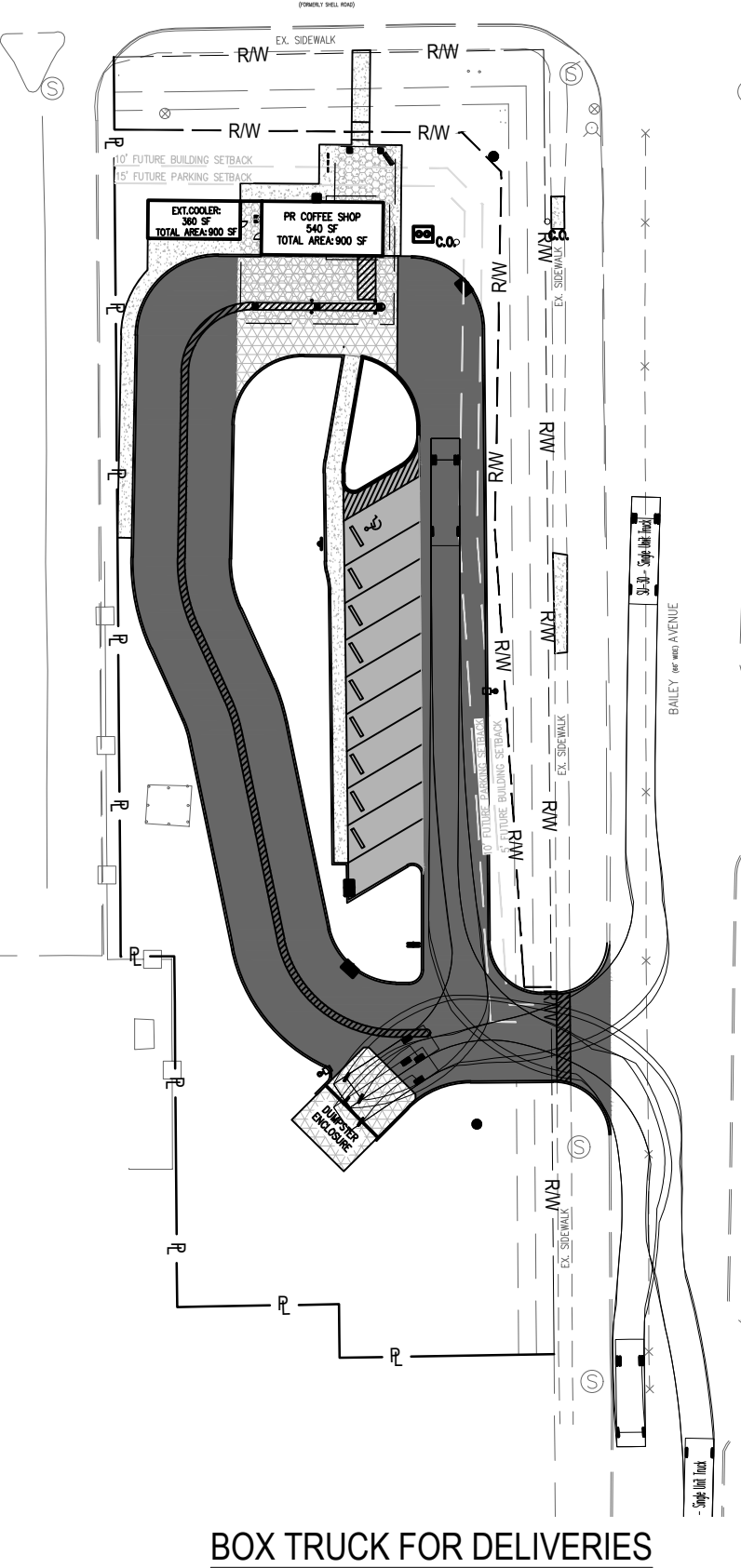
F150 - BOTH LANES FROM SOUTH



F150 - BOTH LANES FROM NORTH



GARBAGE TRUCK - FRONT LOADER



BOX TRUCK FOR DELIVERIES

PROPOSED SITE LAYOUT LEGEND

- STANDARD DUTY ASPHALT PAVEMENT PER DETAIL
- HEAVY DUTY ASPHALT PAVEMENT PER DETAIL
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL
- BUILDING CANOPY
- CONCRETE SIDEWALK PER DETAIL
- PROPOSED ROW FROM FUTURE ROAD WIDENING
- ARTISTIC BIKE RACK
- SIGN
- BOLLARD
- POLE MOUNTED SITE LIGHT
- HANDI-CAP PARKING SYMBOL
- DIRECTIONAL ARROW PVMT. MARKING
- PARKING SPACES
- SITE LAYOUT CODED NOTE

GENERAL NOTES:

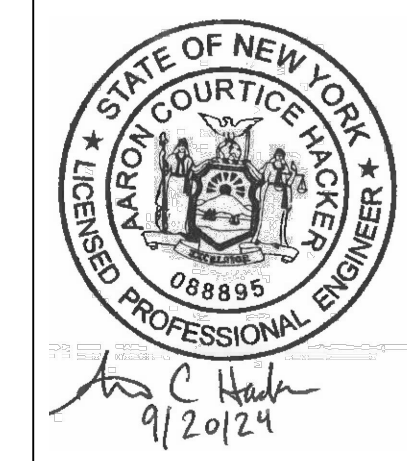
1. ALL PAVEMENT DIMENSIONS ARE TO THE EDGE OF PAVEMENT/FACE OF CURB UNLESS NOTED OTHERWISE.
2. LANDSCAPE ISLAND WITH DIMENSIONS REPRESENT BACK OF CURB TO BACK OF CURB.
3. ALL DIMENSIONS SHOWN ARE PERPENDICULAR TO ITEMS BEING DIMENSIONED.
4. THE ENTRANCE DRIVES AND BUILDING ARE PARALLEL AND PERPENDICULAR TO THE RIGHT OF WAY. THE PARKING LOT IS PARALLEL AND PERPENDICULAR TO THE NORTHERN PROPERTY LINE.
5. CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY ONSITE AND OFFSITE ITEMS DAMAGED DURING CONSTRUCTION IN THE SAME OR BETTER CONDITION THAN THEY WERE PRIOR TO CONSTRUCTION.

CODED NOTES:

- ① CONTRACTOR SHALL REPAIR OR REPLACE EXISTING SIDEWALK TO MATCH EXISTING AFTER INSTALLING SANITARY LINE.
- ② ADA SIGNAGE PER DETAILS ON C002 AND C003.
- ③ STOP SIGN PER DETAILS ON C002.
- ④ DO NOT ENTER SIGN ON BACK OF STOP SIGN PER DETAILS ON C002
- ⑤ DUMPSTER ENCLOSURE PER ARCHITECTURAL PLANS.
- ⑥ HEAVY DUTY CONCRETE TO BE ADDED IN THE DRIVE AISLE UNDERNEATH THE CANOPY FOR THE ENTIRE WIDTH OF THE AISLE.
- ⑦ SCREEN WALL PER ARCHITECTURAL PLANS
- ⑧ CONDUIT FOR FUTURE EV PARKING STALLS TO EXTEND HERE, AS SHOWN ON C300.
- ⑨ TRANSITION FROM 5' TO 4' SIDEWALK WIDTH OVER 5' MINIMUM LENGTH.
- ⑩ PEDESTRIAN SIGNAGE NEAR WALK UP DOOR TO BE ADDED PER SIGNAGE PLAN BY OTHERS.

OFFICIAL TOWN USE ONLY

NO.	DATE	BY	DESCRIPTION
1	09/20/2024	ACH	MAJOR SITE REVIEW APPLICATION
2	11/19/2024	ACH	MAJOR SITE REVIEW APP. - RESUBMITTAL
3	12/24/2024	ACH	MSP REVISIONS PER DAB COMMENTS TO/AT COMMENTS



20800 CHAGRIN BLVD
SUITE 500, SHAKER
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FAX: 216.378.1497
PROJECT DATE: 09/12/2024
PROJECT NO.: 24001014
DRAWN BY: PTS
CHECKED BY: ACH

TRILON SERVICES, NY, INC
AND
Mannik Smith GROUP
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TECHNICAL SKILL:
CREATIVE SPIRIT.

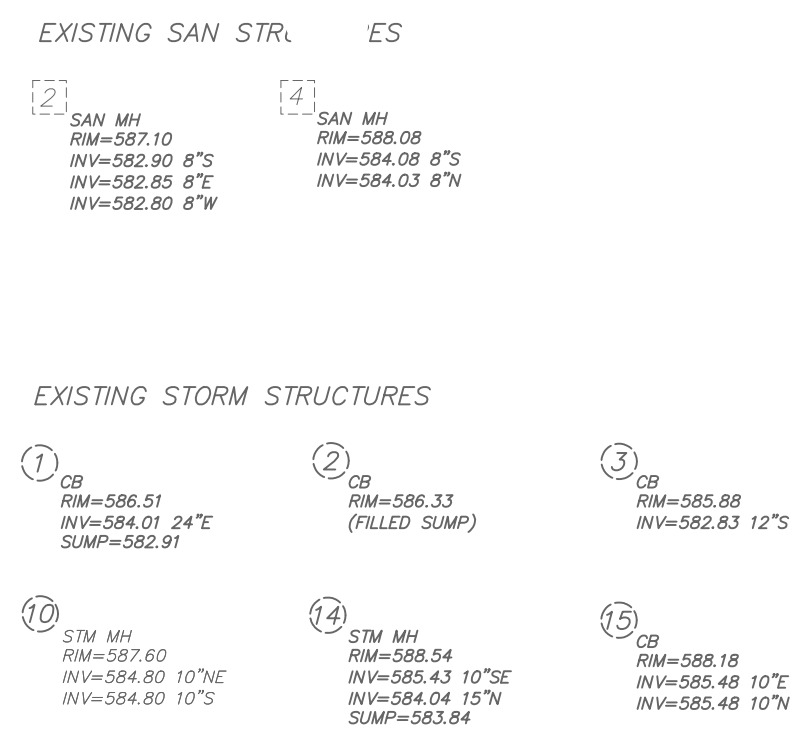
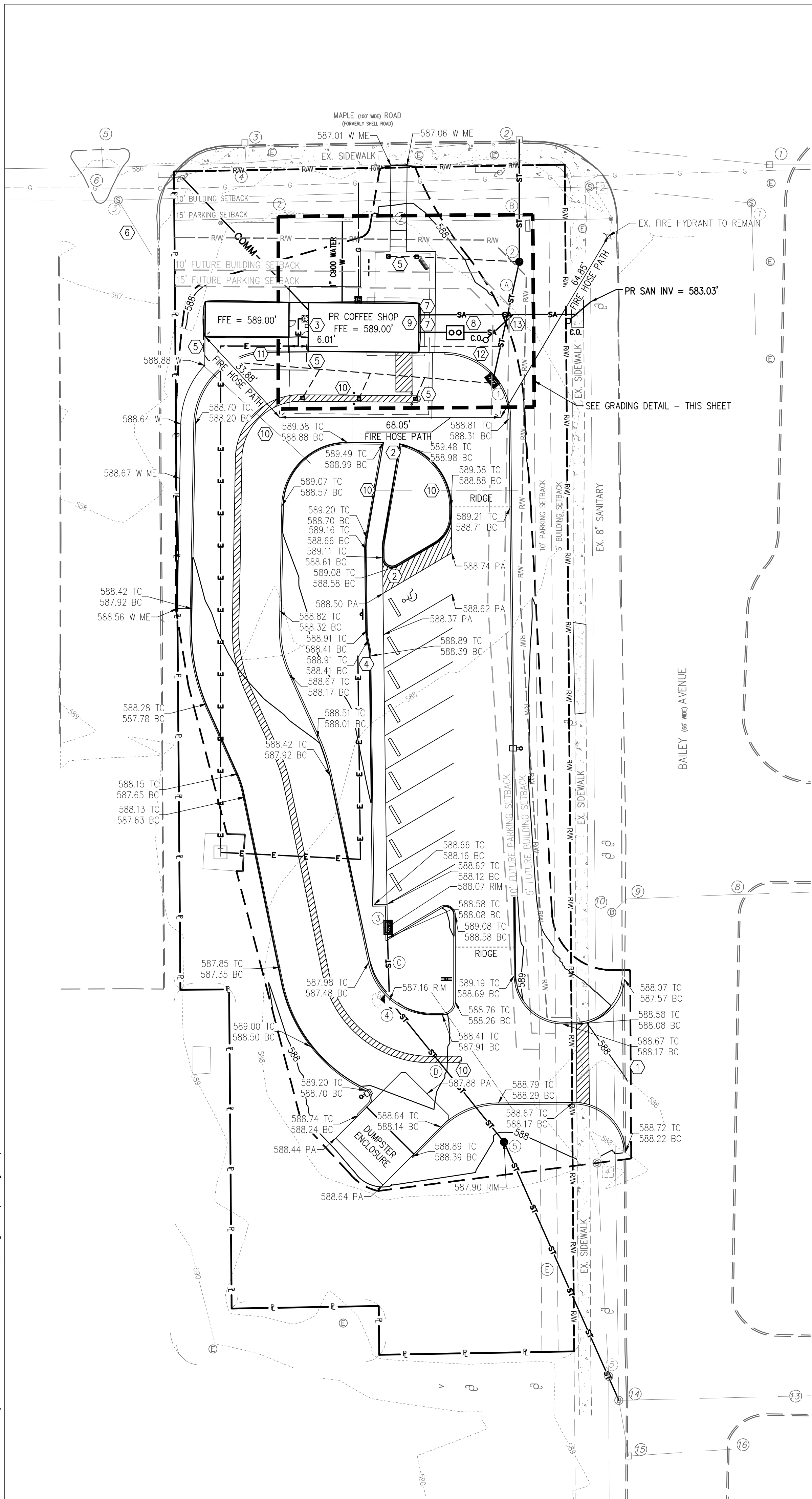
PREPARED FOR:
BREWTOPIA
BUFFALO, LCC
34050 SOLON ROAD, SUITE 105
SOLON, OH 44139

7BREW AMHERST
3999 MAPLE ROAD,
AMHERST, NY 14226

SITE PLAN

C200

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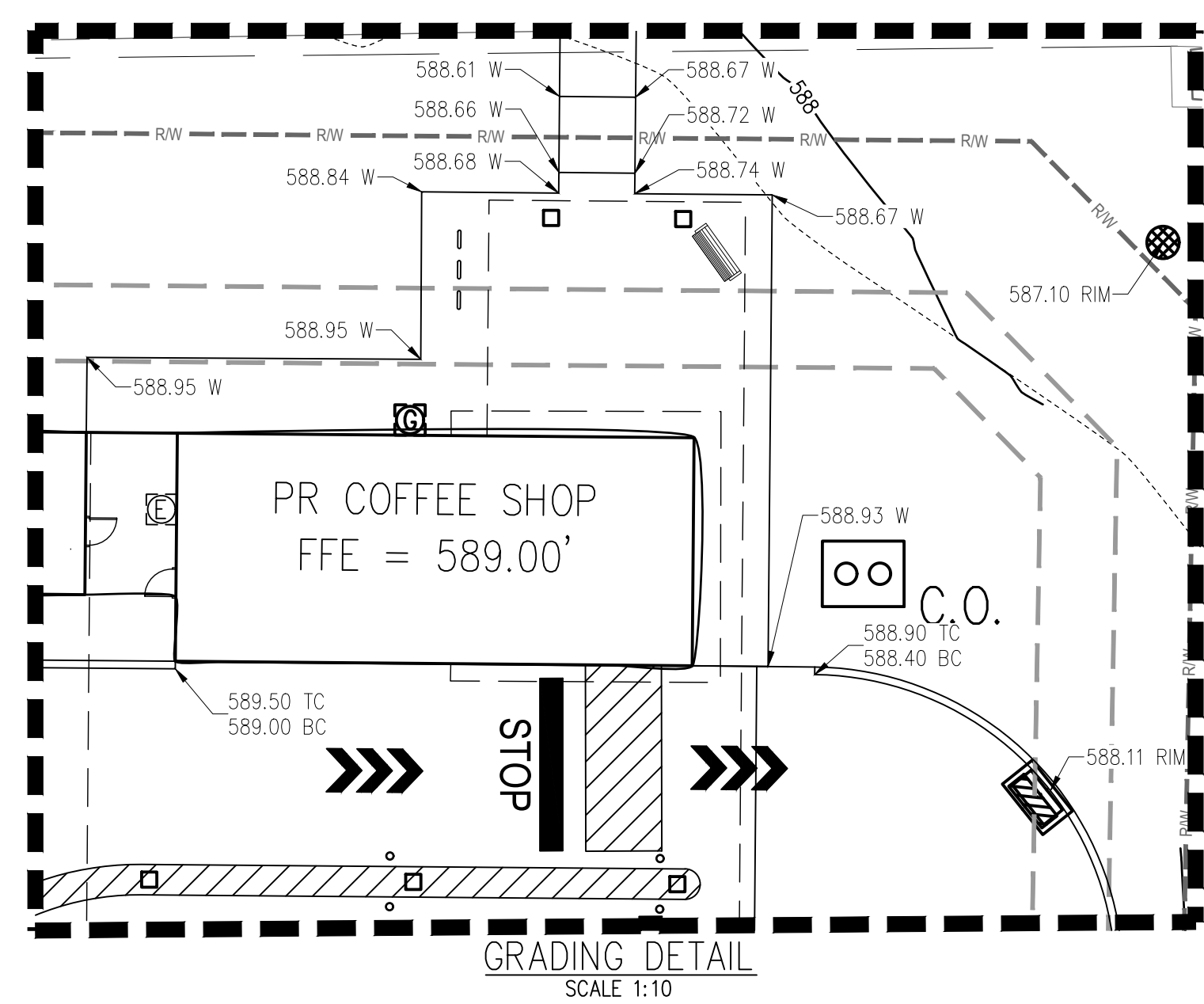


PROPOSED STORM STRUCTURE TABLE

1 CURB INLET RIM = 588.11 N: 1089714.78 E: 1086337.53 FL 585.61 ~ 12° NE	2 YARD DRAIN RIM = 587.10 N: 1089751.33 E: 1086345.42 FL 584.60 ~ 12° N FL 584.60 ~ 12° SW	3 CURB INLET RIM = 588.07 N: 1089546.61 E: 1086304.79 FL 585.57 ~ 12° S	4 CURB INLET RIM = 587.65 N: 1089524.18 E: 1086305.45 FL 585.00 ~ 12° N FL 585.00 ~ 12° SE	5 YARD DRAIN RIM = 587.90 N: 1089480.55 E: 1086340.75 FL 584.50 ~ 12° NW FL 584.50 ~ 15° SE
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PROPOSED STORM PIPE TABLE

A 37 LF 12" HDPE STM @ 2.72%
B 38 LF 12" HDPE STM @ 3.84%
C 22 LF 12" HDPE STM @ 2.59%
D 56 LF 12" HDPE STM @ 0.89%
E 87 LF 15" HDPE STM @ 0.53%

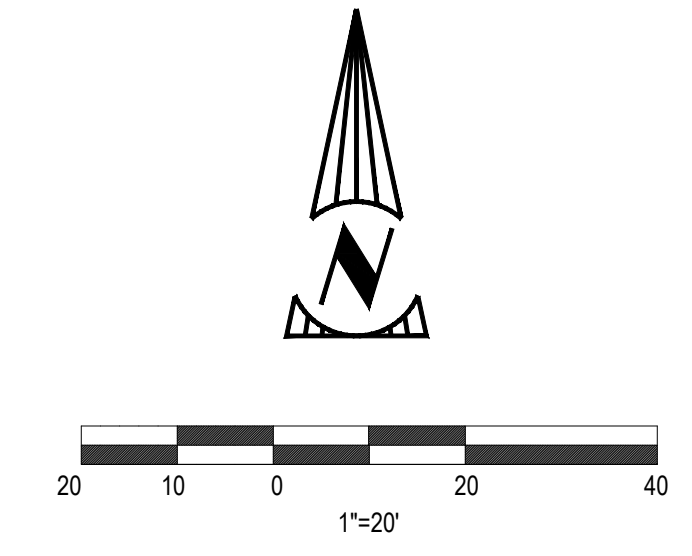


GENERAL NOTES:

- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY ONSITE AND OFFSITE ITEMS DAMAGED DURING CONSTRUCTION IN THE SAME OR BETTER CONDITION THAN THEY WERE PRIOR TO CONSTRUCTION.
- THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS THE SURVEY OF RECORD FOR THIS PROJECT. SHOULD THE CONTRACTOR TAKE EXCEPTION TO THE EXISTING TOPOGRAPHY AS SHOWN IN THESE PLANS THEY SHALL SUBMIT A TOPOGRAPHIC SURVEY PREPARED BY A REGISTERED PROFESSIONAL SURVEYOR DOCUMENTING THEIR EXCEPTION PRIOR TO INITIATION OF ANY EARTH MOVING ACTIVITIES. OTHERWISE THE TOPOGRAPHY CONTAINED WITHIN THESE PLANS IS ACCEPTED BY THE CONTRACTOR AND DEEMED ACCURATE FOR ALL GRADING AND SOILS MANAGEMENT ISSUES.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE LINES AND GRADES ILLUSTRATED WITHIN THIS PLAN SET. THE CONTRACTOR IS TO INCLUDE ALL SOILS IMPORT OR EXPORT NECESSARY TO ATTAIN THE LINES AND GRADES ILLUSTRATED HEREIN WITHIN THE BASE BID OF THIS PROJECT WITH NO ADDITIONAL COST FOR SOILS IMPORT OR EXPORT.
- CONTRACTOR SHALL VERIFY INVERT OF EXISTING STRUCTURES PRIOR TO ORDERING STRUCTURES.
- CONTRACTOR TO SUPPORT AND PROTECT EXISTING UTILITIES THROUGHOUT DURATION OF CONTRACT. ALL UTILITIES ARE TO REMAIN ACTIVE.
- CONTRACTOR SHALL USE CAUTION WHILE WORKING AROUND ALL EXISTING ABOVEGROUND AND UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY ONSITE AND OFFSITE ITEMS (INCLUDING TREES) DAMAGED DURING CONSTRUCTION IN THE SAME OR BETTER CONDITION THAN THEY WERE PRIOR TO CONSTRUCTION.
- ALL UTILITY TRENCHES LOCATED UNDER FUTURE PAVEMENT SHALL BE BACKFILLED WITH PREMIUM FILL.
- UTILITY SCHEDULING AND INSTALLATION WITHIN THE RIGHT-OF-WAY SHALL BE COORDINATED WITH CITY.
- CONTRACTOR SHALL PAY ALL ENGINEERING INSPECTION AND CONNECTION PRIOR TO START OF WORK IN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BENDS, TEES, FITTINGS, AND ALL APPURTENANCES NECESSARY FOR INSTALLATION OF UTILITIES.
- CONTRACTOR TO PROVIDE CONNECTION FROM DOWNSPOUTS TO STORM HEADER PIPE LATERALS AS COORDINATED WITH THE ARCHITECTURAL PLANS AND WILL INCLUDE ALL PIPE NECESSARY FOR DOWNSPOUT CONNECTIONS.
- GAS AND ELECTRIC LINES ARE FOR REFERENCE ONLY. SEE MEP PLANS FOR DETAILS ON LOCATION, COLOR, AND SIZING.

CODED NOTES:

- CONTRACTOR SHALL INSTALL PROPOSED PAVEMENT FLUSH WITH EXISTING PAVEMENT TO REMAIN.
- CONTRACTOR SHALL INSTALL PROPOSED WALK FLUSH WITH PROPOSED PAVEMENT.
- KNOX KEY BOX LOCATION
- CONDUIT FOR FUTURE EV PARKING STALLS
- CONTRACTOR TO CONNECT 8" HDPE ROOF DRAINAGE STORM LATERALS TO SITE STORM SEWERS WITH MINIMUM 1% SLOPE.
- CONTRACTOR TO CUT AND CAP EXISTING SANITARY LATERAL CONNECTION PIPE PER TOWN OF AMHERST REQUIREMENTS.
- CONTRACTOR TO CONNECT PROPOSED 4" PVC SDR35 SANITARY LINE TO BUILDING AT INVERT ELEVATION OF 584.50'.
- GREASE INTERCEPTOR REQUIRES VENTING, SIGNAGE AS PER NYS 1229 AND APPROVAL FROM ENGINEERING.
- BUILDING TRAP AND VENT REQUIRED ON SANITARY SEWER, AS PER TOWN OF AMHERST LOCAL SEWER USE LAW 1994-1995.
- IRRIGATION SLEEVES FOR IRRIGATION PLAN TO BE DESIGNED BY OTHERS.
- TWO (2) 2.5" SCHEDULE 40 PVC CONDUIT FOR SECONDARY POWER LINE FROM TRANSFORMER TO METER.
- 2" SCHEDULE 40 PVC FROM SUMP PUMP TO STORM PIPE.
- CONTRACTOR TO ENSURE 18" VERTICAL SEPARATION BETWEEN PIPES.



LEGEND

- 99 PROP. INTERMEDIATE CONTOUR
- 100 PROP. INDEX CONTOUR
- 99 EXISTING INTERMEDIATE CONTOURS
- 100 EXISTING INDEX CONTOURS
- RIDGE VALLEY OR GRADE BREAK AS INDICATED
- GRADING LIMITS
- 000.00 PROPOSED SPOT ELEVATION
- ME MEET EXISTING
- PA PAVEMENT
- W WALK
- BC BACK OF CURB
- TC TOP OF CURB
- P PAVEMENT
- G GROUND
- RIM STRUCTURE RIM
- FF FINISH FLOOR
- SA SANITARY LINE
- W WATER LINE
- G GAS LINE
- E ELECTRIC LINE
- ST STORM LINE
- STORM LATERAL FOR ROOF DRAINAGE
- COMM COMMUNICATION LINE
- IRRIGATION SLEEVE
- R/W PROPOSED ROW FROM FUTURE ROAD WIDENING
- C.O. CURB INLET, 24 INCH
- 500 GALLON GREASE INTERCEPTOR VENTED PER REQUIREMENTS FROM TOWN OF AMHERST
- EXISTING TRANSFORMER
- CODED NOTE

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3	12/24/2024	ACH	MSP REVISIONS PER TOWN COMMENTS



20800 CHAGRIN BLVD
SUITE 500, SHAKER
HEIGHTS, OH 44122
TEL: 216.378.1490
FAX: 216.378.1497
PROJECT DATE: 09/19/2024
PROJECT NO.: 2401014
DRAWN BY: [Signature]
CHECKED BY: [Signature]

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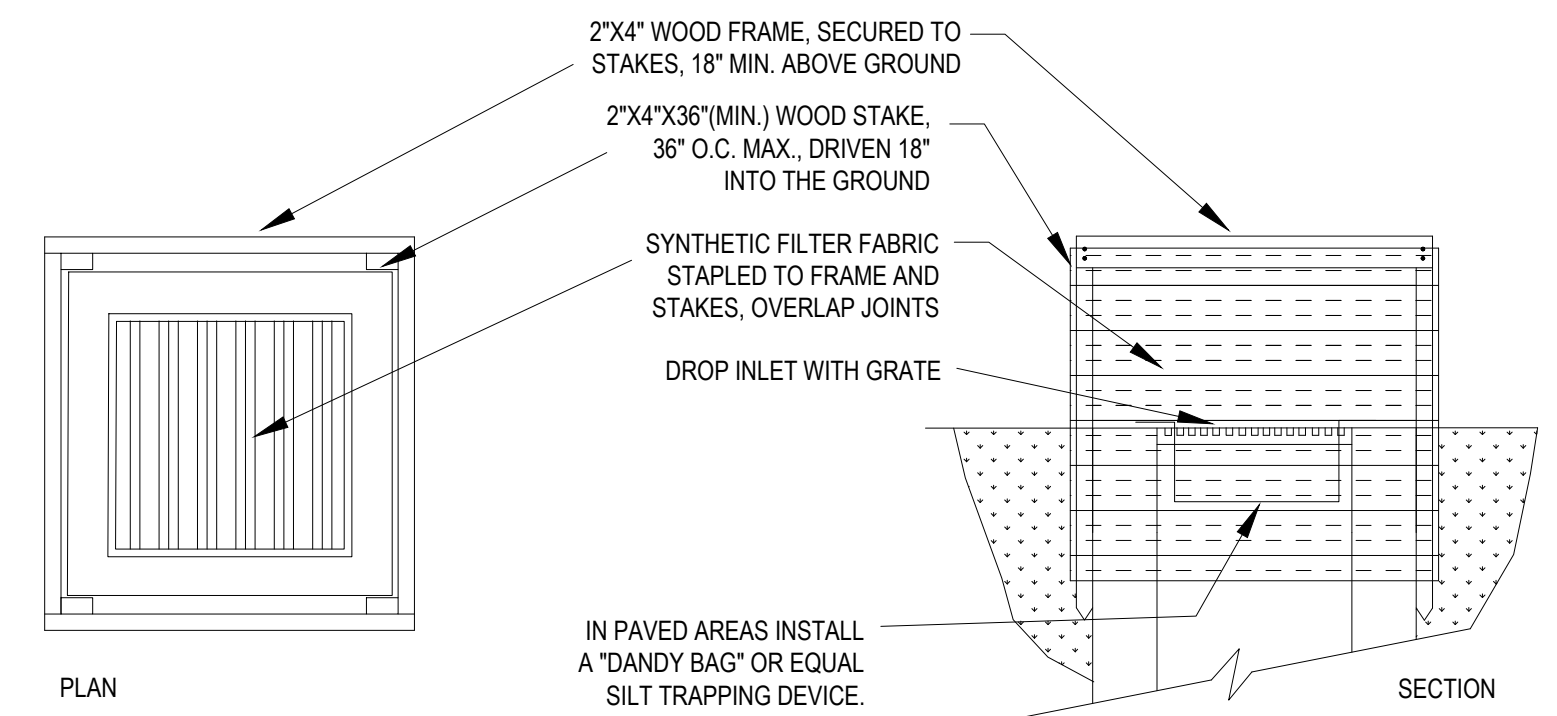
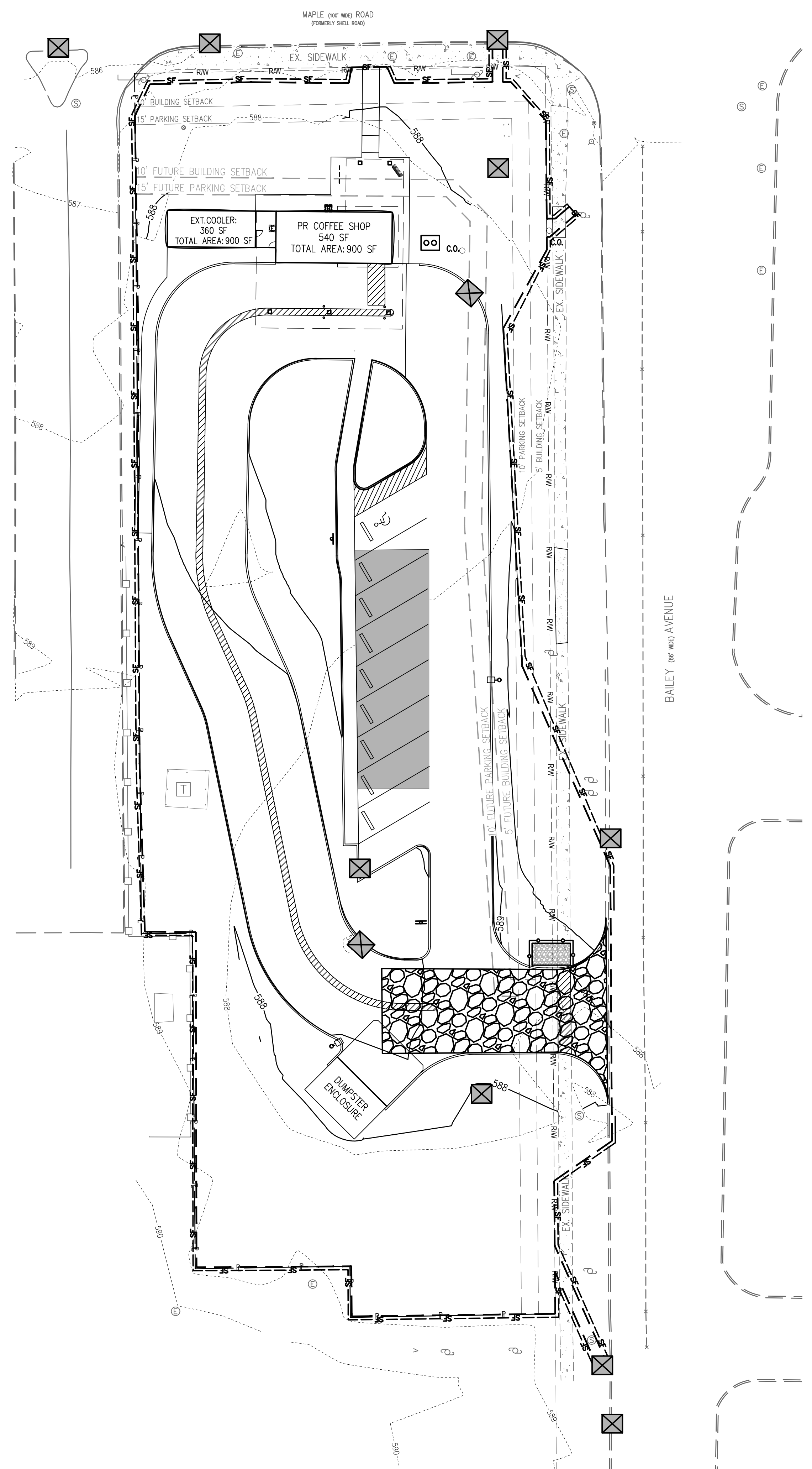
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**GRADING AND UTILITY
PLAN**

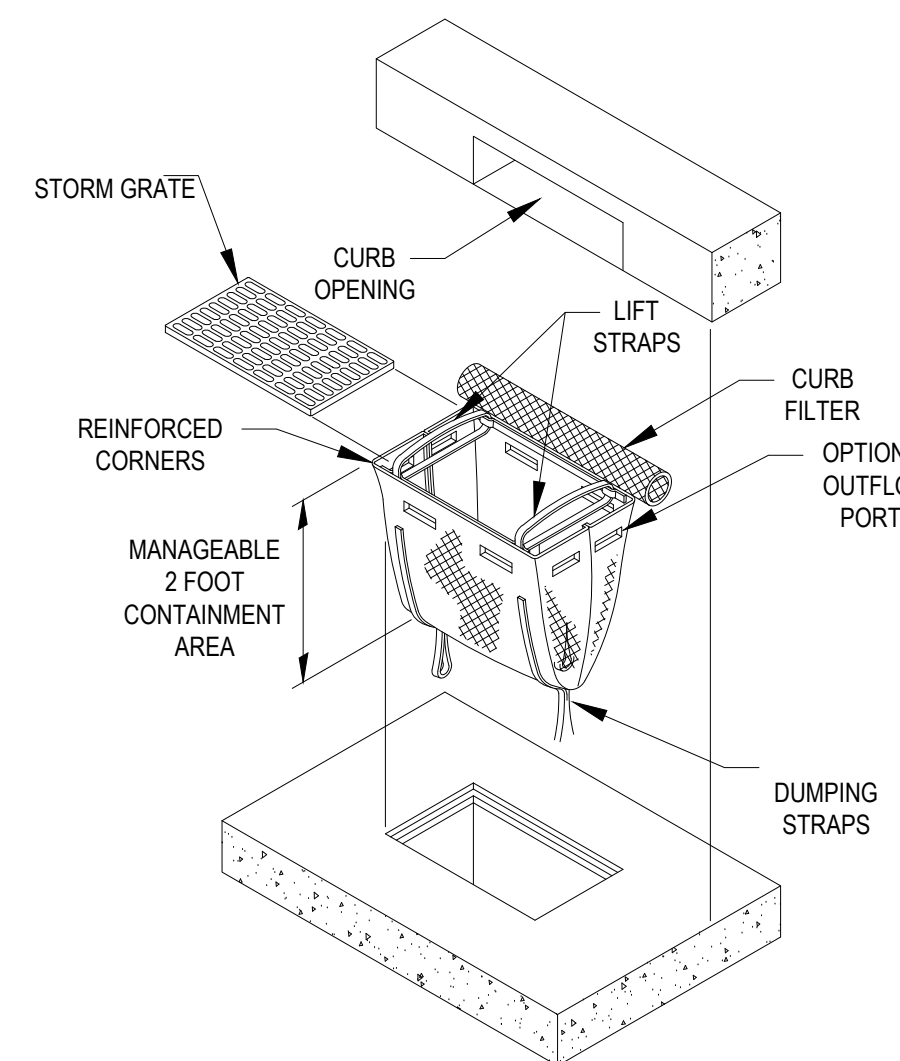
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- NOTES:**
- INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE INLET BECOMES FUNCTIONAL.
 - THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
 - THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-INCH BY 4-INCH CONSTRUCTION GRADE LUMBER. THE 2-INCH BY 4-INCH POSTS SHALL BE DRIVEN ONE (1) FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-INCH BY 4-INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WILL POSE A SAFETY HAZARD TO TRAFFIC.
 - WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
 - GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
 - BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6-INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
 - A COMPACTED EARTH DIKE OR CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION. THE TOP OF THE DIKE SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.
 - ALL STORM SEWER INLETS SHALL BE PROTECTED BY SEDIMENT TRAPS (INLET PROTECTION), WHICH WILL BE MAINTAINED AND MODIFIED AS REQUIRED AS CONSTRUCTION PROGRESSES.
 - THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAINFALL AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF (1/2) THE DESIGN OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - ANY SEDIMENT BLOCKING DRAINAGE AT INLETS THAT CREATES STANDING WATER ON ROADWAYS AND/OR DRIVEWAYS SHALL BE REMOVED IMMEDIATELY.
 - INLET PROTECTION STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

GEOTEXTILE INLET PROTECTION FOR INLETS
SCALE: N.T.S.

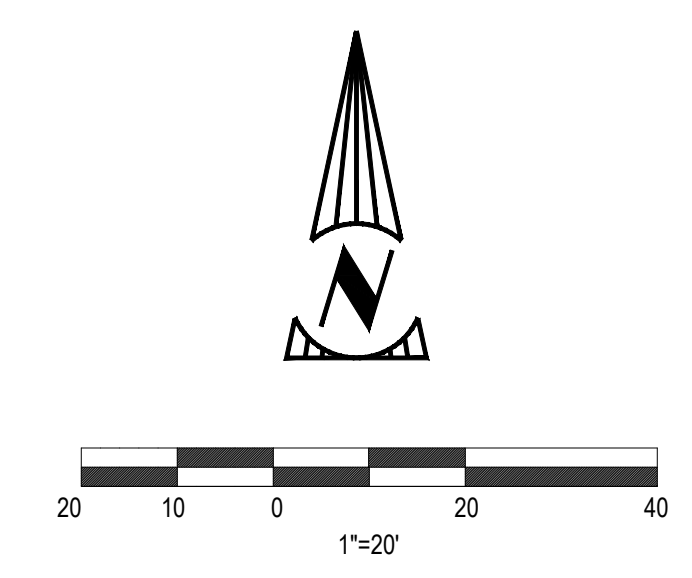


DANDY MATERIALS SPECIFICATION TABLE

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	KN (LBS)	1.62 (365) X 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 X 10
PUNCTURE STRENGTH	ASTM D 4833	KN (LBS)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	KPA (PSI)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	KN (LBS)	0.51 (115) X 0.33 (75)
UV RESISTENCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	MM (US STD SIEVE)	0.425 (40)
FLOW RATE	ASTM D 4491	1/MIN/ft (GAL/MIN/FT)	2 5907 (145)
PERMITTIVITY	ASTM D 4491	SEC-1	2.1

*NOTE: ALL DANDY BAGS CAN BE ORDERED WITH OUR OPTIONAL OIL ABSORBENT PILLOWS

DANDY CURB SACK INLET PROTECTION IN PAVEMENT
SCALE: N.T.S.



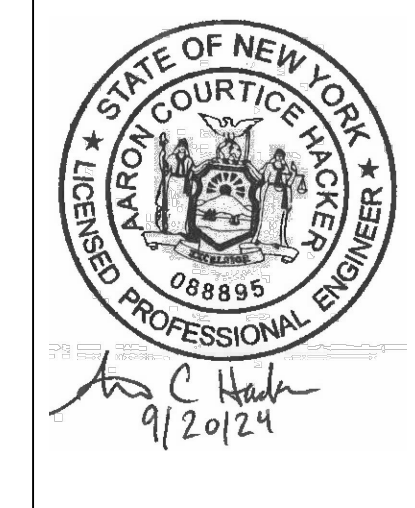
SWPPP ELEMENTS LEGEND

- GEOTEXTILE INLET PROTECTION. FOR INLET PROTECTION IN PAVED AREAS USE DANDY BAG INLET PROTECTION OR APPROVED EQUAL.
- CONCRETE WASHOUT PIT
- CONSTRUCTION ENTRANCE
- PROPOSED SILT FENCE
- DISTURBED LIMITS
- TEMPORARY STAGING AREA FOR FUELING, EQUIPMENT, AND DISPOSAL/STORAGE OF SOLID/SANITARY TOXIC WASTES

GENERAL NOTES:

- CONTRACTOR SHALL BE ADDED AS A CO-PERMITTEE TO THE NOI PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL KEEP ADJACENT PRIVATE PROPERTY AND ADJACENT RIGHT OF WAYS CLEAN THROUGHOUT CONSTRUCTION.
- ALL DISTURBED AREAS TO REMAIN UNPAVED SHALL REQUIRE TEMPORARY AND PERMANENT SEEDING PER SPECIFICATIONS.

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EROSION CONTROL PLAN

C400

OFFICIAL TOWN USE ONLY

SEDIMENT AND EROSION CONTROL NOTES:

- ALL EROSION CONTROL PRACTICES SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY PERMIT NO. GP-0-010-001 REQUIREMENTS.
- THE STORM WATER POLLUTION PREVENTION PLAN AND DETAILS SHALL BE AVAILABLE FOR INSPECTION ON SITE DURING WORKING HOURS.
- CONTRACTOR SHALL MAINTAIN A LOG DOCUMENTING GRADING AND STABILIZATION ACTIVITIES AS WELL AS AMENDMENTS TO THE STORM WATER POLLUTION PLAN, WHICH OCCUR AFTER CONSTRUCTION ACTIVITIES COMMENCE.
- MINIMIZE TRACKING OF SEDIMENTS BY VEHICLES BY UTILIZING THE CONSTRUCTION ENTRANCE AS THE ONLY ENTRANCE FOR VEHICLES. MAINTAIN THIS ENTRANCE WITH STONE AS NEEDED TO PREVENT DIRT AND MUD FROM TRACKING ONTO THE ROADWAY. REGULAR SWEEPING OF THE ROADWAY MAY BE NECESSARY TO ENSURE ROADWAY DOES NOT BUILD UP WITH SEDIMENTS.
- OTHER EROSION AND SEDIMENT CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS AND MAY BE REQUIRED AT THE DISCRETION OF THE TOWN AND/OR COUNTY SOIL AND WATER CONSERVATION DISTRICT OR ITS REPRESENTATIVES.
- EROSION AND SEDIMENT CONTROLS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN 7 DAYS FROM THE START OF GRUBBING. ALL EROSION AND SEDIMENT CONTROLS SHALL CONTINUE TO FUNCTION UNTIL DISTURBED AREAS ARE RESTABILIZED.
- NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF. (THIS INCLUDES WASHING OUT OF CEMENT TRUCKS.) DESIGNATED WASH PIT AREAS ARE SHOWN ON THE PLANS AND ARE PRESET FOR THIS PURPOSE AWAY FROM AREAS OF STORM WATER RUNOFF.
- SITE STABILIZATION EITHER PERMANENT OR TEMPORARY MUST FOLLOW THE APPLICABLE FOLLOWING REQUIREMENTS:
 - PERMANENT STABILIZATION:
 - ANY AREA THAT WILL LIE DORMANT FOR ONE YEAR OR MORE MUST BE STABILIZED WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE.
 - ANY AREA WITHIN 50 FEET OF A WATERCOURSE AND AT FINAL GRADE, MUST BE STABILIZED WITHIN 2 DAYS OF REACHING FINAL GRADE.
 - ANY AREA AT FINAL GRADE, MUST BE STABILIZED WITHIN 7 DAYS OF REACHING FINAL GRADE WITHIN THAT AREA.
 - TEMPORARY STABILIZATION:
 - ANY DISTURBED AREA WITHIN 50 FEET OF A WATERCOURSE AND NOT AT FINAL GRADE MUST BE STABILIZED WITHIN 2 DAYS OF THE MOST RECENT DISTURBANCE, IF THAT AREA WILL REMAIN IDLE FOR MORE THAN 7 DAYS.
 - FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREA, INCLUDING SOIL STOCKPILES, THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A WATERCOURSE, MUST BE STABILIZED WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA.
 - DISTURBED AREAS THAT WILL BE IDLE OVER THE WINTER MUST BE STABILIZED BEFORE NOVEMBER 1.
 - IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS BEEN TEMPORARILY OR PERMANENTLY CEASED, TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE INSTALLED AND/OR IMPLEMENTED WITHIN SEVEN (7) DAYS FROM THE SOIL DISTURBANCE ACTIVITY CEASE. THE SOIL STABILIZATION MEASURES SHALL BE IN CONFORMANCE WITH THE MOST CURRENT VERSION OF THE TECHNICAL STANDARD, NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENTATION CONTROL.
 - WHERE VEGETATIVE STABILIZATION TECHNIQUES MAY CAUSE STRUCTURAL INSTABILITY OR ARE OTHERWISE UNOBTAINABLE, ALTERNATIVE STABILIZATION TECHNIQUES MUST BE EMPLOYED. THESE TECHNIQUES MAY INCLUDE MULCHING, EROSION MATTING, OR PLACEMENT OF STONE.
- THE CONTRACTOR SHALL LIMIT THE SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY EXCAVATION, BORROW, AND FILL OPERATIONS AND PROVIDE IMMEDIATE PERMANENT OR TEMPORARY CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT STREAMS OR OTHER WATER COURSES, LAKES, PONDS, OR OTHER AREAS OF WATER IMPOUNDMENT.
- THIS WORK SHALL CONSIST OF TEMPORARY CONTROL MEASURES AS DETAILED IN THE PLANS OR ORDERED BY THE ENGINEER DURING THE LIFE OF THE CONTRACT TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGH USE OF BEST MANAGEMENT PRACTICES AS DETAILED IN THE BLUE BOOK.
- TEMPORARY EROSION AND SEDIMENT CONTROL ITEMS, THE LOCATION AND SIZE OF WHICH ARE DETAILED IN THE PLANS, SHALL BE INSTALLED BY THE CONTRACTOR UPON COMMENCEMENT OF ANY CLEARING OR EARTHWORK OPERATIONS. TEMPORARY CONTROL MEASURES WILL BE USED WHEN AND AS DIRECTED BY THE ENGINEER TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT WERE NOT FORESEEN DURING THE DESIGN STAGE; THAT ARE NEEDED PRIOR TO INSTALLATION OF PERMANENT CONTROL FEATURES; OR THAT ARE NEEDED TEMPORARILY TO CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- EXISTING VEGETATIVE GROWTH SHALL REMAIN UNDISTURBED AS LONG AS POSSIBLE. THE CONTRACTOR SHALL SEED AND MULCH ALL AREAS DISTURBED.
- TEMPORARY EROSION CONTROL FEATURES SHALL BE ACCEPTABLY MAINTAINED AND SHALL SUBSEQUENTLY BE REMOVED OR REPLACED WHEN DIRECTED BY THE ENGINEER. TEMPORARY AND PERMANENT EROSION CONTROL FEATURES SHALL BE CHECKED AFTER EACH MEASURABLE RAINFALL AND RE-ESTABLISHED AS NECESSARY. REMOVED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE SITE.
- IF PROPER CONTROL OF SOIL EROSION AND SEDIMENTATION IS NOT BEING PROVIDED BY THE CONTRACTOR, THE ENGINEER MAY WITHHOLD PROGRESS ESTIMATES UNTIL PROPER CONTROL IS ACHIEVED.
- IN THE EVENT THAT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE REQUIRED DUE TO THE CONTRACTOR'S NEGLIGENCE, CARELESSNESS, OR FAILURE TO INSTALL PERMANENT CONTROLS AS A PART OF THE WORK AS SCHEDULED, AND ARE ORDERED BY THE ENGINEER, SUCH TEMPORARY WORK SHALL BE PERFORMED BY THE CONTRACTOR AT HIS EXPENSE.
- INSTALL SILT FENCE OR COMBINATION BARRIERS AT LOCATIONS SO INDICATED ON THE STORMWATER POLLUTION PREVENTION PLAN (SEE DETAIL).
- INSTALL GRAVEL AND WIRE SEDIMENT FILTERS ON ALL ROAD INLETS (SEE DETAIL).
- INSTALL TEMPORARY AGGREGATE PAD AT POINT OF INGRESS AND EGRESS FROM PROJECT TO PREVENT VEHICULAR TRACKING OFF-SITE (SEE DETAIL). THE PAD SHALL BE CLEANED AND REPLENISHED, AS NECESSARY, DURING THE CONSTRUCTION PERIOD.
- TOPSOIL STOCKPILES SHALL RECEIVE TEMPORARY SEEDING AND MULCHING AS SOON AS STOCKPILING OPERATIONS ARE COMPLETED OR A SILT FENCE SHALL BE INSTALLED ALONG AND 20 FEET FROM THE TOE OF THE STOCKPILE. TOPSOIL SHALL BE REPLACED AS QUICKLY AS CONSTRUCTION PERMITS.
- ADDITIONAL EROSION CONTROLS MAY BE MANDATED BY THOSE AGENCIES HAVING JURISDICTION.
- ROUTINE INSPECTION WILL BE CONDUCTED ON ALL EROSION CONTROL PRACTICES FOR THIS PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ALL DEFICIENCIES REVEALED BY THE INSPECTIONS.

CONSTRUCTION SPECIFICATIONS

- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF SIX INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS
- EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOO, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.

- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF CONSTRUCTION
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.

EQUIPMENT FUELING AND MAINTENANCE

- THE GENERAL LOCATION OF THE STAGING AREA IS SHOWN. THE STAGING AREA SHALL BE ESTABLISHED EITHER ON EXISTING PAVEMENT OR ON 12" OF GRANULAR AGGREGATE BASE. IF AN AGGREGATE BASE COURSE IS USED, THEN THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE STONE SUCH THAT IT IS REPLENISHED WHEN THE DEPTH IS LESS THAN 6" OR REMOVED AND REPLACED IF THE STONE BECOMES LADEN WITH MUD.
- A SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPOC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE GROUND STORAGE TANK (AST) OF 660 GALLONS OR MORE, TOTAL ABOVE GROUND TANK STORAGE OF 1330 GALLONS, OR BELOW GROUND STORAGE OF 42,000 GALLONS OF FUEL.

WASTE DISPOSAL

- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A MINIMUM OF ONE SOLID WASTE DISPOSAL RECEPTACLE AND HAVE THIS RECEPTACLE EMPLOYED BY A CONTRACT TRASH DISPOSAL SERVICE AND HAULED AWAY FROM THE SITE AS NECESSARY. NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORM WATER. ALL SOLID WASTE, INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE MAJOR CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN THESE RECEPTACLES. THE LOCATION IS TO BE DETERMINED IN THE FIELD. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF.

SPILL REQUIREMENTS

- SHOULD AN ACCIDENTAL SPILL OCCUR, IMMEDIATE ACTION WILL BE UNDERTAKEN BY THE GENERAL CONTRACTOR TO CONTAIN AND REMOVE THE SPILLED MATERIAL IMMEDIATELY AND BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY LOCAL, STATE, AND FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS, AS SOON AS POSSIBLE. ALL SPILLS >25 GALLONS SHALL BE REPORTED TO THE APPROPRIATE STATE AND LOCAL AGENCIES. THIS SHALL INCLUDE THE NEW YORK DEPARTMENT OF ENVIRONMENTAL CONSERVATION, THE LOCAL FIRE DEPARTMENT, AND THE NATIONAL RESPONSE CENTER AT 800-424-8802.

- ALL CONTAMINATED SOILS MUST BE TREATED AND/OR DISPOSED IN AN NEW YORK STATE DEC APPROVED SOLID WASTE MANAGEMENT FACILITIES OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFs).

NON-SEDIMENT POLLUTION CONTROLS

- THE CONTRACTOR IS RESPONSIBLE FOR ALL NON-SEDIMENT POLLUTION CONTROLS AT THIS SITE, WHICH PROHIBIT NON-SEDIMENT POLLUTANTS FROM DISCHARGING INTO RUNOFF OR INTO THE GROUND AND MUST DISPOSE OF THEM IN A PROPER MANNER IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATORY AUTHORITIES. IT IS PROHIBITED TO BURN, BURY, OR POUR OUT ONTO THE GROUND, DITCH OR INTO A STORM SEWER- SOLVENTS, PAINTS, STAINS, GASOLINE, DIESEL FUEL, USED MOTOR OIL, HYDRAULIC FLUID, ANTIFREEZE, CEMENT, CURING COMPOUND AND OTHER SUCH TOXIC OR HAZARDOUS WASTE. STORAGE TANKS SHALL BE LOCATED IN DIKED AREAS AWAY FROM DRAINAGE CHANNELS AND THE DIKED AREA SHOULD HOLD A VOLUME OF 110% OF THE LARGEST TRUCK OR TANK, SHOULD THE CONTRACTOR FAIL TO PREVENT NON-SEDIMENT POLLUTION AT THIS SITE, HE MUST IMMEDIATELY REMEDIATE THE SITE TO LOCAL, STATE AND FEDERAL REGULATORY AUTHORITIES APPROVAL AT HIS OWN EXPENSE.

- CONTRACTOR MAY NOT USE OIL AS A DUST SUPPRESSANT.

CONSTRUCTION FILL, DEMOLITION DEBRIS & CHEMICAL COMPOUNDS

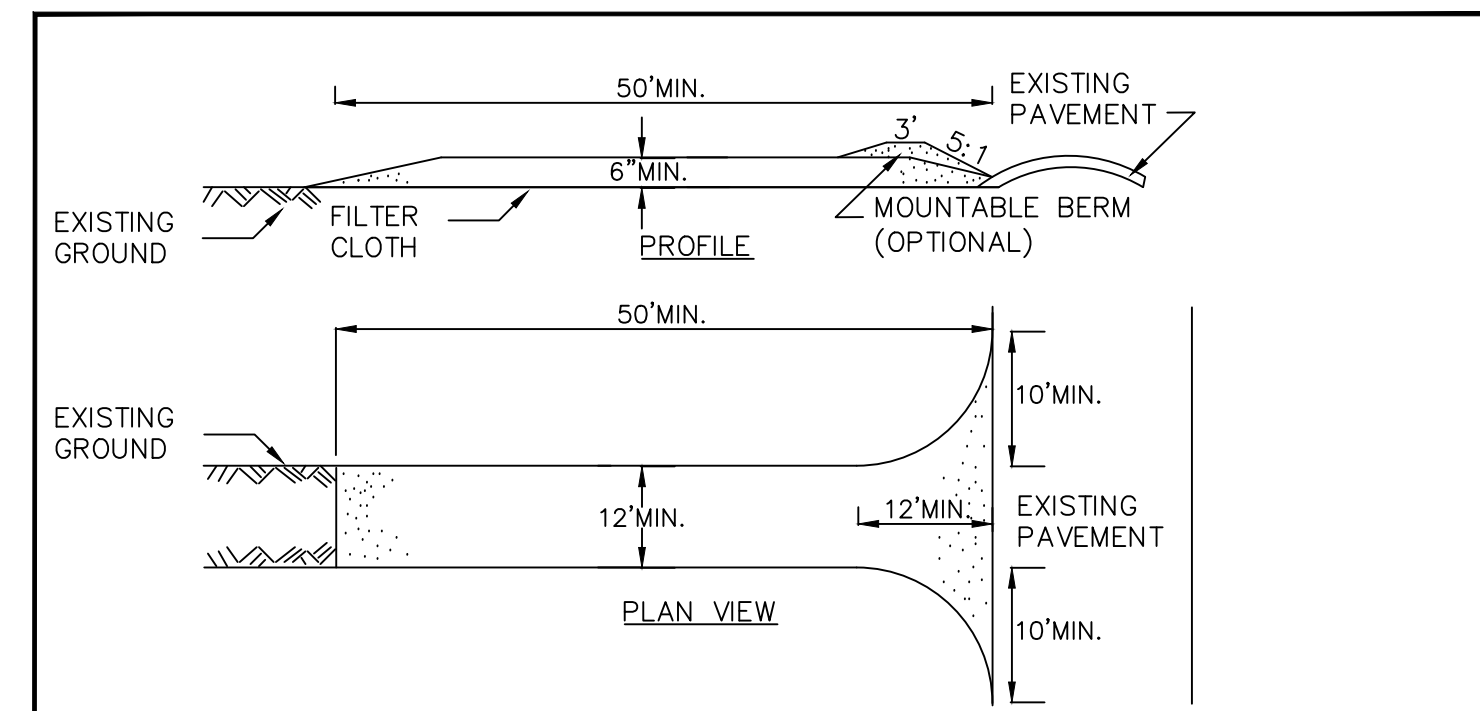
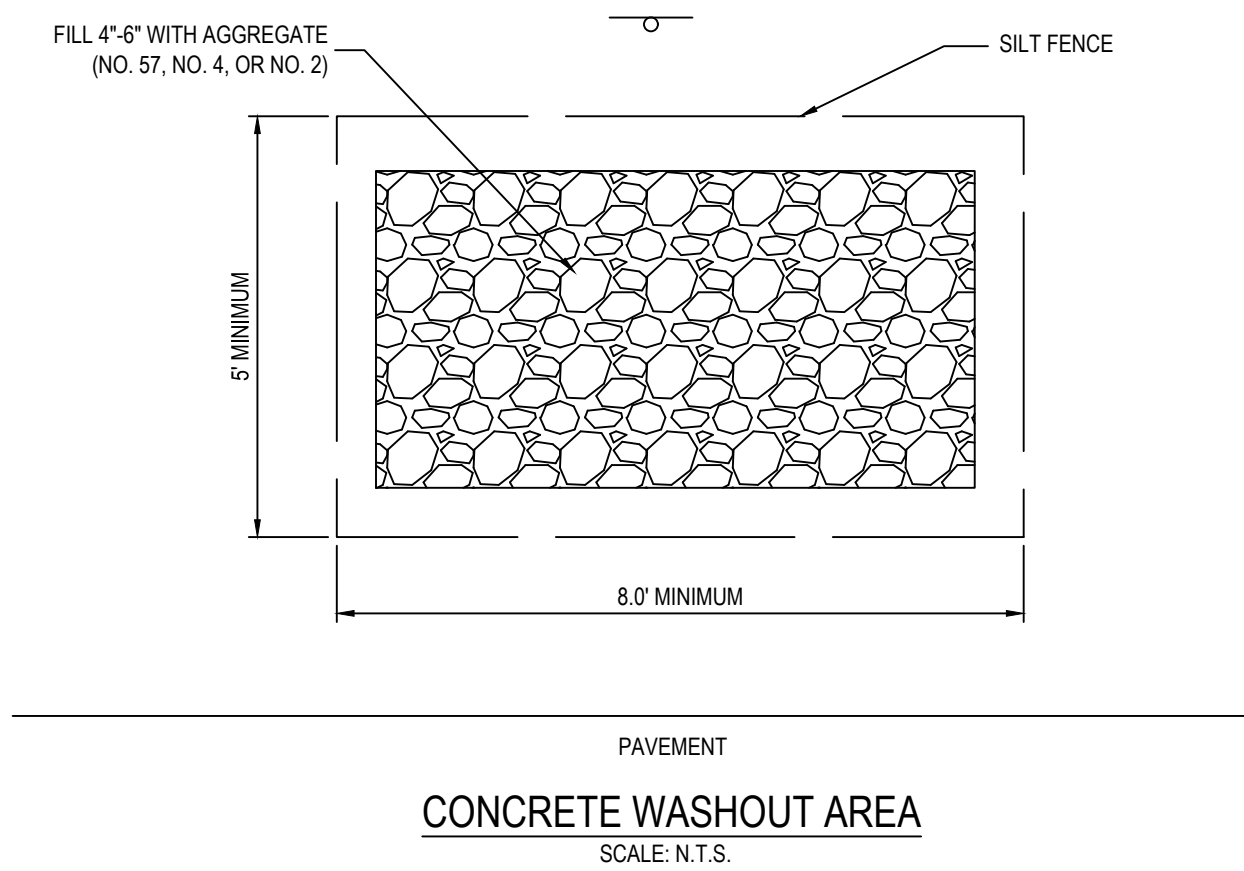
- THE CONTRACTOR IS RESPONSIBLE TO PREVENT DISCHARGE OF WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS FROM MIXING WITH RUN-OFF AND LEAVING THE SITE. THE CONTRACTOR SHALL SIZE THE CONCRETE WASHOUT PIT TO HANDLE HIS PROPOSED CONCRETE OPERATIONS AND SHALL MAINTAIN THE PIT SUCH THAT ALL CONCRETE TRUCKS CAN USE IT TO WASHOUT. ALL CURED RESIDUE FROM THE PIT SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. A GENERAL LOCATION FOR THE WASHOUT PIT IS SHOWN ON THE PLAN AND MAY BE MOVED TO BETTER FIT THE CONTRACTOR'S METHODS.
- ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&D) WASTE WILL BE DISPOSED OF IN A NEW YORK DEC APPROVED C&D LANDFILL. MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS.

SEDIMENT AND EROSION CONTROL NARRATIVE

PLAN DESIGNER: TRILON SERVICES, NY, INC. AND THE MANNIK & SMITH GROUP, INC. 20600 CHAGRIN BLVD., SUITE 500 SHAKER HEIGHTS, OH 44122 (216) 378-1497

OWNER: BREWTOPIA BUFFALO, LLC 34050 SOLON ROAD, SUITE 105 SOLON, OH 44139

- PROJECT DESCRIPTION: THE PROPOSED PROJECT CONSISTS OF THE PLACEMENT OF A 900 SOFT BUILDING, QUEUING AISLES, ASSOCIATED DRIVES, AND MINOR UTILITY IMPROVEMENTS.
- SITE DESCRIPTION: THE EXISTING SITE IS A CORNER LOT AT THE INTERSECTION OF MAPLE ROAD AND BAILEY AVENUE. THE SITE IS COMPOSED OF AN EXISTING PARKING LOT AND DEMOLISHED BUILDING.
- ADJACENT AREAS: THE SITE IS BORDERED ON THE NORTH BY MAPLE ROAD, ON THE EAST BY BAILEY AVENUE, TO THE SOUTH BY A LANDSCAPED AREA, AND ON THE WEST BY A DEVELOPED LOT WITH AN EXISTING OLIVE GARDEN RESTAURANT.
- RECEIVING STREAM: THE SITE IS TRIBUTARY TO ELLIOT CREEK, WHICH IN TURN IS TRIBUTARY TO THE NIAGARA RIVER/LAKE ERIE WATERSHED.
- CRITICAL AREAS: ADJACENT COMMERCIAL LOTS, AND ALL PUBLIC ROADWAYS ARE TO REMAIN CLEAR OF SEDIMENT AND DEBRIS FROM THE IMPROVEMENT PROJECT AT ALL TIMES. THE CONTRACTOR IS TO BE RESPONSIBLE TO CLEAR WHEELS OF DEBRIS AND SEDIMENT TO LIMIT THE DEPOSIT OF SEDIMENT ON THE ROADWAYS.
- EROSION & SEDIMENT CONTROL MEASURES: THE PROPOSED CONSTRUCTION WILL REQUIRE EROSION AND SEDIMENT RUNOFF PROTECTION BY USE OF SILT FENCE, CONSTRUCTION ENTRANCE, INLET PROTECTION, AND TEMPORARY SEEDING. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL DEVICES UNTIL SITE VEGETATION IS ESTABLISHED.
- MAINTENANCE: MAINTENANCE OF THE EROSION & SEDIMENT CONTROL ITEMS SHALL BE IN ACCORDANCE WITH ALL ITEMS OF THE EROSION AND SEDIMENT CONTROL PLAN.
- SITE ACREAGE SUMMARY:
 - IMPERVIOUS AREA CREATED WITH THIS PROJECT: 0.00 ACRES
 - GREENSPACE CREATED WITH THIS PROJECT: 0.51 ACRES
 - AREA DISTURBED BY THIS PROJECT: 0.89 ACRES
 - TOTAL SITE AREA: 0.95 ACRES
 - PERCENTAGE OF SITE DISTURBED: 100.00%

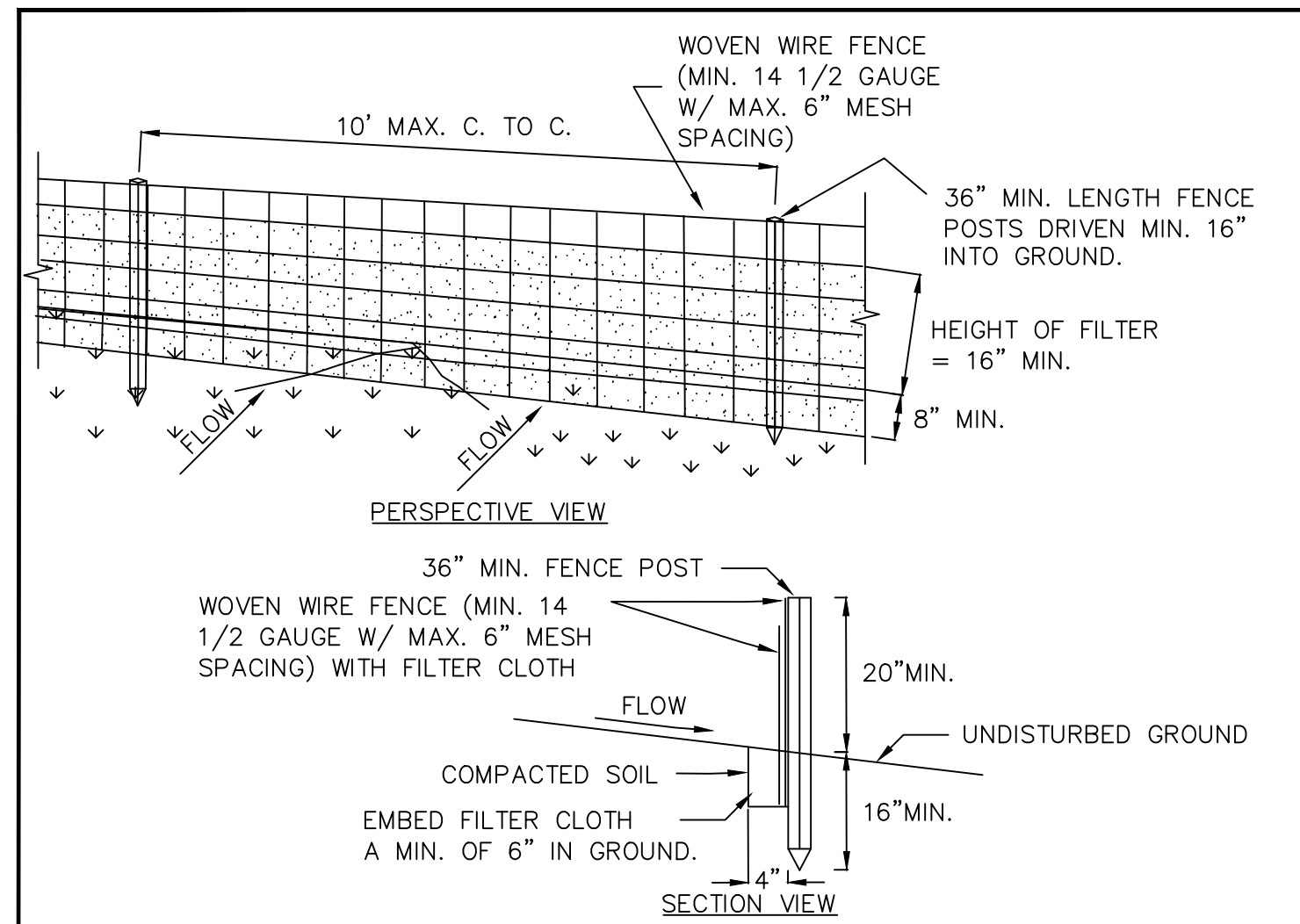


CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

STABILIZED
CONSTRUCTION
ENTRANCE



CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFL 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

SILT FENCE

OFFICIAL TOWN USE ONLY

NO.	DATE	BY	DESCRIPTION
1	09/20/2024	ACH	MAJOR SITE REVIEW APPLICATION
2	11/19/2024	ACH	MAJOR SITE REVIEW APP. - RESUBMITTAL
3	12/24/2024	ACH	NSP REVISIONS PER DAB COMMENTS & TOWN COMMENTS



20600 CHAGRIN BLVD
SUITE 500, SHAKER
HEIGHTS, OH 44122
TEL: 216.378.1497
FAX: 216.378.1497

PROJECT NO.: 2401014
DRAWN BY: PITS
CHECKED BY: ACH

TRILON SERVICES, NY, INC
AND
Mannik & Smith GROUP
www.MannikSmithGroup.com

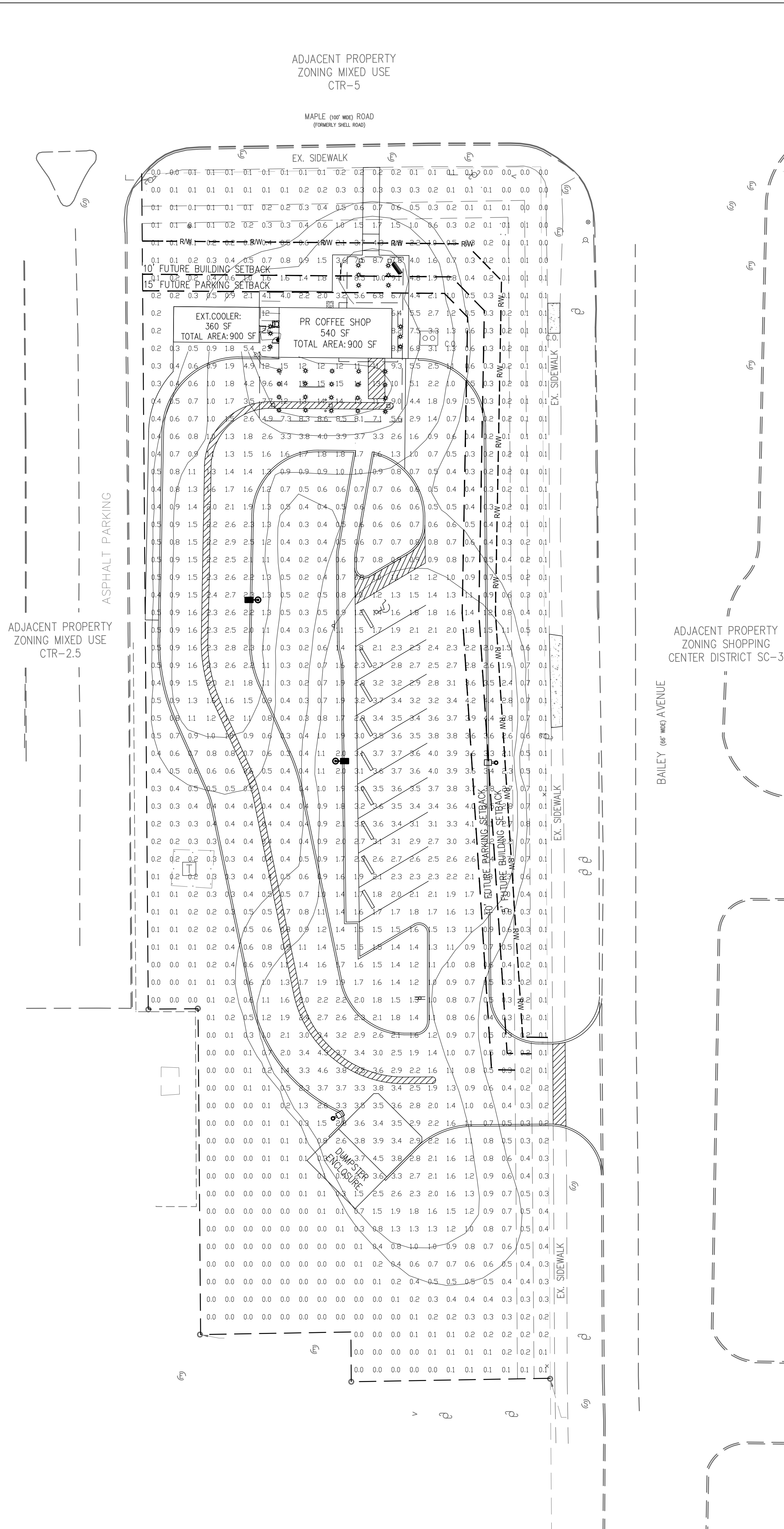
TECHNICAL SKILL
CREATIVE SPIRIT

PREPARED FOR:
BREWTOPIA
BUFFALO, LLC
34050 SOLON ROAD, SUITE 105
SOLON, OH 44139

7 BREW AMHERST
3999 MAPLE ROAD,
AMHERST, NY 14226

EROSION CONTROL
NOTES AND DETAILS

C401



Project	Catalog #	Type
Prepared by	Notes	Date

Lumark Prevail LED

Area / Site Luminaire

Product Features

- Interactive Menu
- Ordering Information page 2
- Mounting Details page 3, 4
- Optical Configurations page 5
- Product Specifications page 6
- Energy and Performance Data page 6, 7
- Control Options page 8

Quick Facts

- Lumen packages range from 4,800 - 84,000 lumens (35W - 588W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 160 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Dimensional Details

Product Certifications

- ETL
- UL
- DLC LISTED
- DLC QUALIFIED
- FC
- IP66
- 5 YEAR

Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

Quick Facts

- Lumen packages range from 4,800 - 84,000 lumens (35W - 588W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 160 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Dimensional Details

Lumark Prevail LED

Ordering Information

SAMPLE NUMBER: PRV-XL-C75-D-UNV-T4-SA-BZ

Product Family	Light Engine	Color Temperature	Driver	Voltage	Distribution	Mounting	Color
PRV-P-Prevail Petite	C58-(1) LED: 4,800 Nominal Lumens	740-700K, 4000K	D-Dimming (0-10V)	120V Universal (120-277V) Bridge Voltage 347-400V 8-347V	T2-Type II T4-Type IV T5-Type V	SA-GM Standard Variable Arm	BZ-Bronze
BAA-PRV-P-Prevail Petite BAA Compliant	C15-(1) LED: 6,000 Nominal Lumens	727-700K, 2700K			T3-Type III T4-Type IV	MA-CM Mast Arm	AP-Grey
TAA-PRV-P-Prevail Petite TAA Compliant	C25-(1) LED: 8,000 Nominal Lumens	726-700K, 3000K			FMA-Fixed Mast Arm	MA-CM Mast Arm	BB-Black
PRV-Prevail	C15-(1) LED: 7,100 Nominal Lumens	726-700K, 3000K			AW-Adjustable Arm	ADJA-Adjustable Arm	MB-Matte Black
BAA-PRV-Prevail BAA Compliant	C15-(1) LED: 7,100 Nominal Lumens	726-700K, 3000K			AW-Adjustable Arm	ADJA-Adjustable Arm	MB-Matte Black
TAA-PRV-Prevail TAA Compliant	C25-(1) LED: 11,100 Nominal Lumens	726-700K, 3000K			AW-Adjustable Arm	ADJA-Adjustable Arm	MB-Matte Black
PRV-XL-Prevail XL	C75-(4) LED: 26,100 Nominal Lumens	726-700K, 3000K			AW-Adjustable Arm	ADJA-Adjustable Arm	MB-Matte Black
BAA-PRV-XL-Prevail XL BAA Compliant	C15-(1) LED: 31,200 Nominal Lumens	726-700K, 3000K			AW-Adjustable Arm	ADJA-Adjustable Arm	MB-Matte Black
TAA-PRV-XL-Prevail XL TAA Compliant	C25-(1) LED: 41,100 Nominal Lumens	726-700K, 3000K			AW-Adjustable Arm	ADJA-Adjustable Arm	MB-Matte Black
PRV-M-Prevail Max	C250-(1) LED: 48,000 Nominal Lumens	726-700K, 3000K			AW-Adjustable Arm	ADJA-Adjustable Arm	MB-Matte Black
BAA-PRV-M-Prevail Max BAA Compliant	C250-(1) LED: 48,000 Nominal Lumens	726-700K, 3000K			AW-Adjustable Arm	ADJA-Adjustable Arm	MB-Matte Black
TAA-PRV-M-Prevail Max TAA Compliant	C250-(1) LED: 48,000 Nominal Lumens	726-700K, 3000K			AW-Adjustable Arm	ADJA-Adjustable Arm	MB-Matte Black

Options (Add as Suffix)

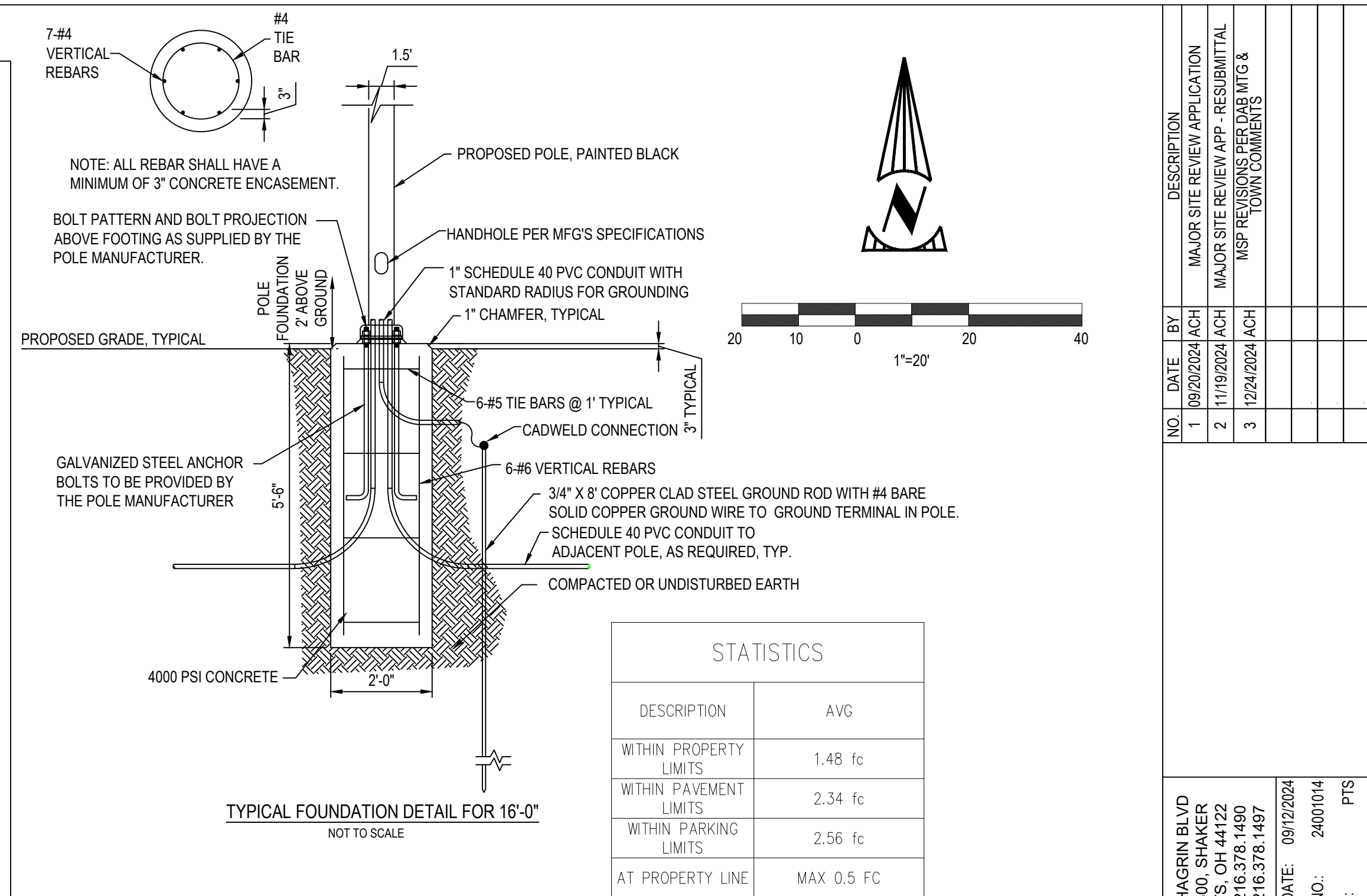
Accessories (Order Separately)

LumenSense Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul
L-LumenSense Technology	M-Camera, High Res	E-Ethernet Networking
	Z-Camera, Remote PTZ	S-Cellular, Factory Installed 4G LTE SIM Card

Stock Ordering Information

Product Family	Light Engine	Voltage	Distribution
PRV-P-Prevail	C15-(1) LED: 7,100 Nominal Lumens	120V Universal (120-277V)	T3-Type III T4-Type IV
PRV-XL-Prevail XL	C75-(4) LED: 26,100 Nominal Lumens	347-347V	T4-Type IV



LUMINAIRE SCHEDULE

SYMBOL	CATEGORY	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LUMENS PER LAMP	FINISH	HEIGHT
☉	AREA LIGHT	2	COOPER LIGHTING SOLUTIONS	PRV-C15-D-UNV-T2-SA-BZ-HSS-OARA1014	LUMARK PREVAIL LED POLE AREA LIGHT FIXTURE WITH TYPE II ASYMMETRIC WIDE DISTRIBUTION, ZERO UPLIGHT AND REAR SHIELDING	6,900	BRONZE	22.5'
☉	AREA LIGHT	2	COOPER LIGHTING SOLUTIONS	PRV-C25-D-UNV-T3-SA-BZ-HSS-OARA1014	LUMARK PREVAIL LED POLE AREA LIGHT FIXTURE WITH TYPE III ASYMMETRIC WIDE DISTRIBUTION, ZERO UPLIGHT AND REAR SHIELDING	11,800	BRONZE	19.5'
☐	WALL/BLDG PACK	1	WVP	SEE MEP PLANS FOR ADDITIONAL INFORMATION	WVP DIMMABLE LED VOLTAGE ARCHITECTURAL HORIZONTAL WALL PACK WITH TYPE III ASYMMETRIC WIDE DISTRIBUTION, ZERO UPLIGHT, AND REAR SHIELDING, AND TEMPERED GLASS LENS	ABSOLUTE	DARK BRONZE	7'-10"
☀	CANOPY LIGHT	32	HALO	SEE MEP PLANS FOR ADDITIONAL INFORMATION	SMD6R69SWH 6" ROUND SURFACE MOUNT DOWNLIGHT	ABSOLUTE	WHITE	8'-11"

POLE FIXTURE SCHEDULE

MANUFACTURER	QUANTITY	CATALOG NUMBER	HEIGHT (FT)	POLE SHAFT SIZE (O.D. IN)	WALL THICKNESS (IN)	DRILL MOUNTING	EPA	FINISH
LITHONIA LIGHTING	2	RSS-22-6-3B-DD BXD	22' POLE ON A 6" CONCRETE BASE	3	0.12	ANCHOR BOLTS	3.4	BRONZE
LITHONIA LIGHTING	2	RSS-18-2-3B-DD BX	19' POLE ON A 6" CONCRETE BASE	3	0.12	ANCHOR BOLTS	3.4	BRONZE

GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR LIGHT POLE FOUNDATIONS AND INSTALLATION, ALL ASSOCIATED CIRCUITING, AND CONDUIT INSTALLATION.
- REFER TO ARCHITECTURAL PLANS FOR LIGHTING AND WIRING OF FLAGPOLE AND FRONT SIGN.
- ALL CANOPY LIGHTING WILL BE DETAILED IN MEP AND ARCHITECTURAL PLANS. BUILDING LIGHT ("WALL PACK") IS SHOWN FOR INTENT ONLY AND NOT INCLUDED IN FOOT CANDLE CALCULATIONS.
- EXISTING LIGHT POLES SHOWN FOR LOCATION ONLY AND NOT INCLUDED IN FOOT CANDLE CALCULATIONS.

OFFICIAL TOWN USE ONLY

20800 CHAGRIN BLVD
SUITE 500, SHAKER
HEIGHTS, OH 44122
TEL: 216.378.1480
FAX: 216.378.1487

PROJECT NO.: 24001014
DRAWN BY: PTS
CHECKED BY: ACH

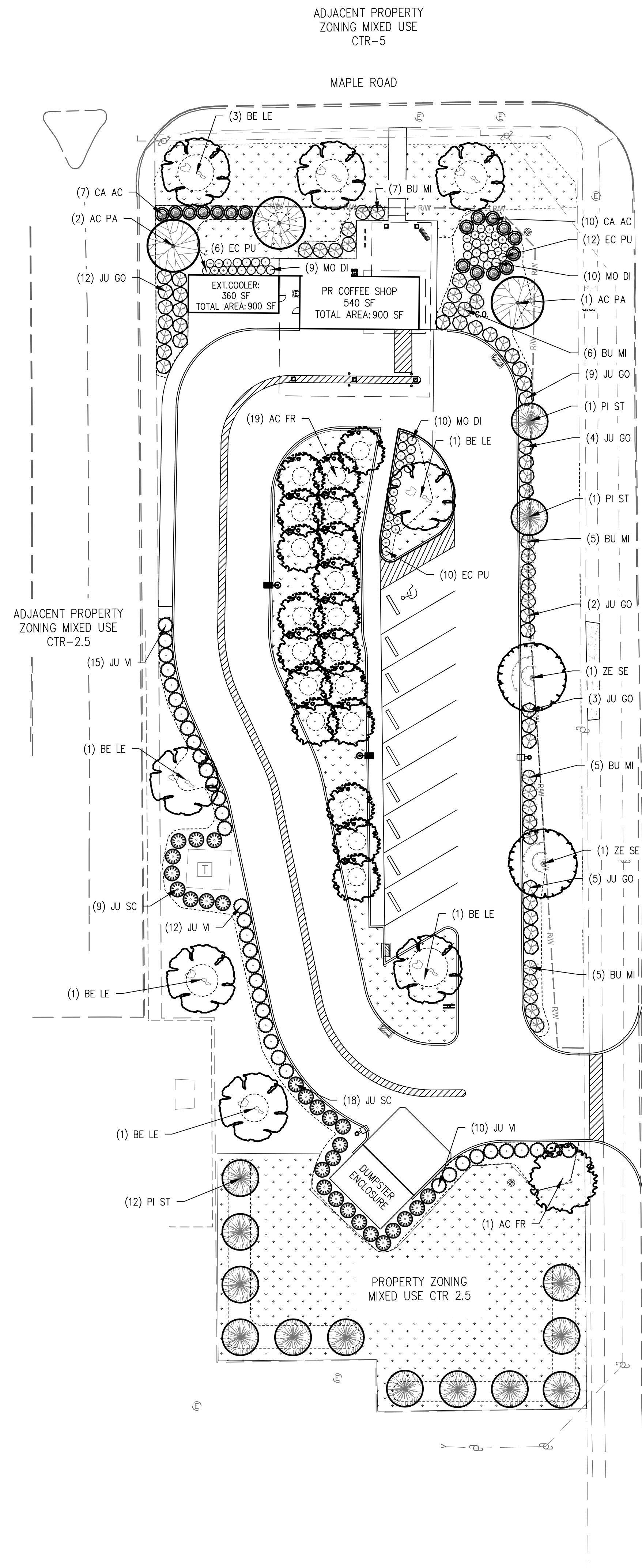
TRILON SERVICES, NY, INC
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BREWSTER AMHERST
BUFFALO, LCC
34650 SOLOM ROAD, SUITE 105
SOLOM, OH 44139

PHOTOMETRIC PLAN

C500

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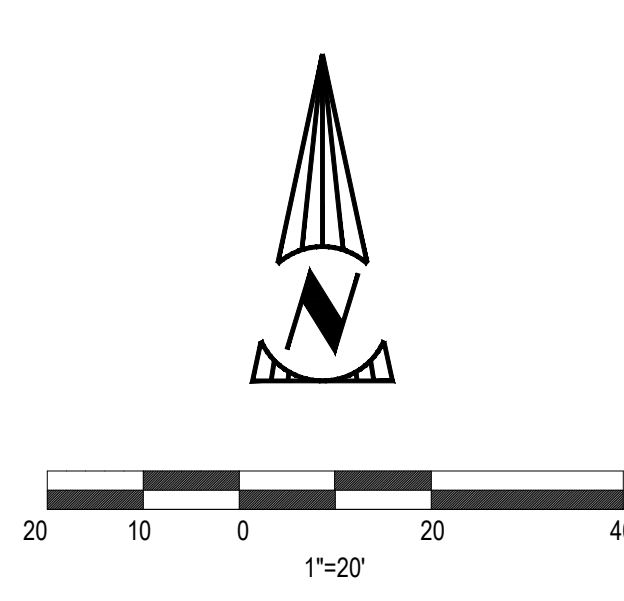
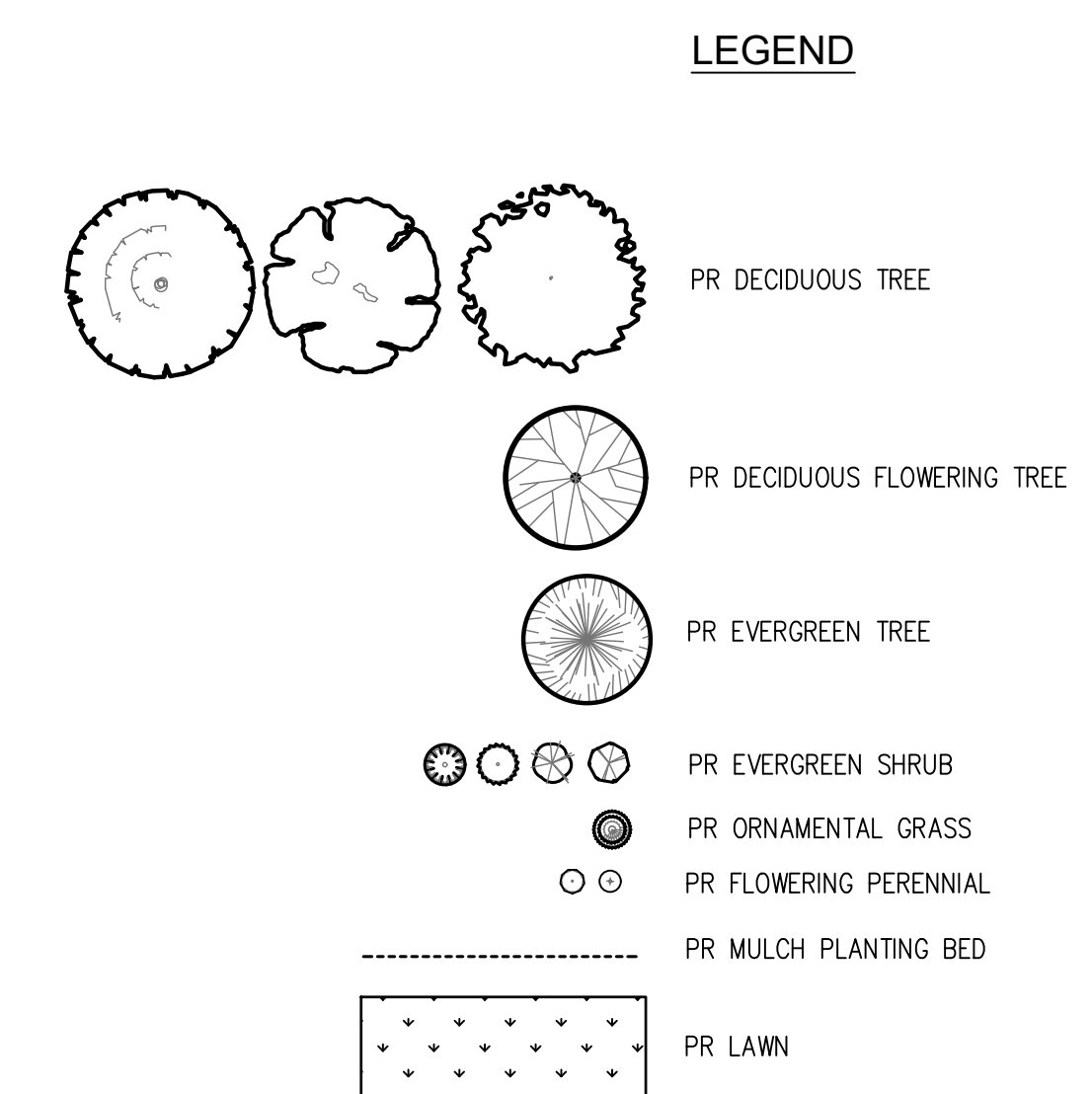


LANDSCAPE CODE REQUIREMENTS

REQUIRED:	PROVIDED:
<p>CHAPTER 203. ZONING, 7-2-3 LANDSCAPE REGULATIONS:</p> <p>A. 2. A LANDSCAPED AREA WITH A MINIMUM AVERAGE WIDTH OF THREE FEET SHALL BE PROVIDED BETWEEN EACH AND EVERY SIDE OF THE PROPOSED PRINCIPAL USE BUILDING AND ANY OFF-STREET PARKING OR INTERNAL ACCESS ROAD WITH THE EXCEPTION OF BUILDING ENTRANCES/EXITS, DRIVE-THROUGHS, LOADING DOCKS AND COVERED PEDESTRIAN WALKWAYS. A MINIMUM OF 50 PERCENT OF THIS LANDSCAPED AREA SHALL BE PLANTED WITH SMALL TREES, SHRUBS, PERENNIALS OR COMBINATIONS THEREOF.</p>	<p>27' WIDE LANDSCAPED AREA PROVIDED BETWEEN PRINCIPAL BUILDING AND ACCESS DRIVE/ADJACENT PROPERTY TO THE EAST ON BAILEY AVENUE. LANDSCAPED AREA CONSISTS OF EVERGREEN SHRUBS, ORNAMENTAL GRASSES, AND PERENNIALS.</p>
<p>A. 1. G. ALL LARGE AND SMALL DECIDUOUS TREES PLANTED SHALL HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES, MEASURED SIX INCHES ABOVE THE GROUND. ALL LARGE DECIDUOUS TREES PLANTED IN MULTI-STEM FORM SHALL HAVE A MINIMUM HEIGHT OF 12 FEET ABOVE THE FINISHED GRADE. ALL SMALL DECIDUOUS TREES PLANTED IN MULTI-STEM FORM SHALL HAVE A MINIMUM HEIGHT OF 10 FEET ABOVE THE FINISHED GRADE. ALL CONIFEROUS TREES PLANTED SHALL HAVE A MINIMUM HEIGHT OF FIVE FEET ABOVE THE FINISHED GRADE. ALL ORNAMENTAL TREES PLANTED SHALL HAVE A MINIMUM CALIPER OF ONE AND THREE-QUARTERS INCHES MEASURED SIX INCHES ABOVE THE GROUND. ALL ORNAMENTAL TREES PLANTED IN MULTI-STEM FORM SHALL HAVE A MINIMUM HEIGHT OF EIGHT FEET ABOVE THE FINISHED GRADE. ALL SHRUBS PLANTED SHALL HAVE A MINIMUM HEIGHT OF 24 INCHES ABOVE THE GROUND EXCEPT WHEN BEING USED AS A GROUND COVER. ALL EVERGREEN SHRUBS USED FOR SCREENING SHALL HAVE A MINIMUM HEIGHT OF 48 INCHES (4 FEET) ABOVE THE FINISHED GRADE.</p>	<p>PROPOSED TREES HAVE A 2.5" CALIPER. REQUIRED PLANT SIZES SPECIFIED IN PLANT LIST</p>
<p>A. 3. B. AN INTERIOR LANDSCAPED ISLAND SHALL BE PROVIDED FOR EVERY 15 SPACES. EACH ISLAND SHALL HAVE A MINIMUM WIDTH OF EIGHT FEET INSIDE THE CURB AND A MINIMUM LENGTH OF 16 FEET FOR A SINGLE ROW AND 32 FEET FOR A DOUBLE ROW. INTERIOR ISLANDS MAY BE CONSOLIDATED OR INTERVALS MAY BE EXPANDED IN ORDER TO PRESERVE EXISTING TREES OR FACILITATE SNOW PLOWING IF APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR, AS APPLICABLE.</p>	<p>10 SPACES PROPOSED, 1 LARGE INTERIOR LANDSCAPED ISLAND PROVIDED</p>
<p>A. 3. F. A MINIMUM OF ONE LARGE DECIDUOUS SHADE TREE SHALL BE PLANTED FOR EVERY 200 SQUARE FEET OF LANDSCAPED AREA WITHIN ANY DIVIDER MEDIAN, PLANTED INDIVIDUALLY OR IN GROUPS SEPARATED BY A MAXIMUM OF 40 FEET.</p>	<p>APPROXIMATELY 3,678 FT² = 19 TREES 19 LARGE DECIDUOUS TREES PROVIDED PLANTED INDIVIDUALLY 10' APART IN MAIN CENTER ISLAND</p>
<p>A. 3. J. ALL INTERIOR LANDSCAPED AREAS SHALL HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL. ALL ISLANDS AND MEDIANS SHALL HAVE SIX INCH HIGH CONCRETE CURBING AS A MINIMUM TO PROTECT PLANT MATERIALS FROM DAMAGE.</p>	<p>PLANTING DEPTH AND CURB HEIGHT REQUIREMENTS SPECIFIED IN CONTRACTORS NOTES</p>
<p>CHAPTER 203. ZONING, 7-2-4 BUFFERS AND SCREENING:</p>	
<p>A. 2. VEHICLE USE AREAS (VUAS) LOCATED ADJACENT TO A PUBLIC STREET SHALL BE SCREENED FROM THE STREET WITH TREE AND SHRUB PLANTINGS, EARTHEN BERMS, WALLS OR A COMBINATION OF THESE METHODS SO AS TO ESTABLISH AN EFFECTIVE VISUAL SCREEN WHICH IS NOT LESS THAN 36 INCHES ABOVE THE GRADE AT THE ADJACENT VUA WITHIN TWO YEARS OF INSTALLATION. A MINIMUM OF ONE LARGE DECIDUOUS TREE, TWO SMALL DECIDUOUS/ORNAMENTAL TREES OR THREE EVERGREEN TREES OR ANY COMBINATION THEREOF SHALL BE PLANTED WITHIN THE REQUIRED YARD AREA FOR EACH 40 LINEAR FEET OF FRONTAGE ALONG A STREET.</p>	<p>LANDSCAPE SCREENING CONSISTING OF 2 LARGE DECIDUOUS TREES, 2 EVERGREEN TREES, AND EVERGREEN SHRUBS PROVIDED FOR VEHICULAR USE AREA ADJACENT TO N. BAILEY AVENUE</p>

LANDSCAPE PLANT LIST

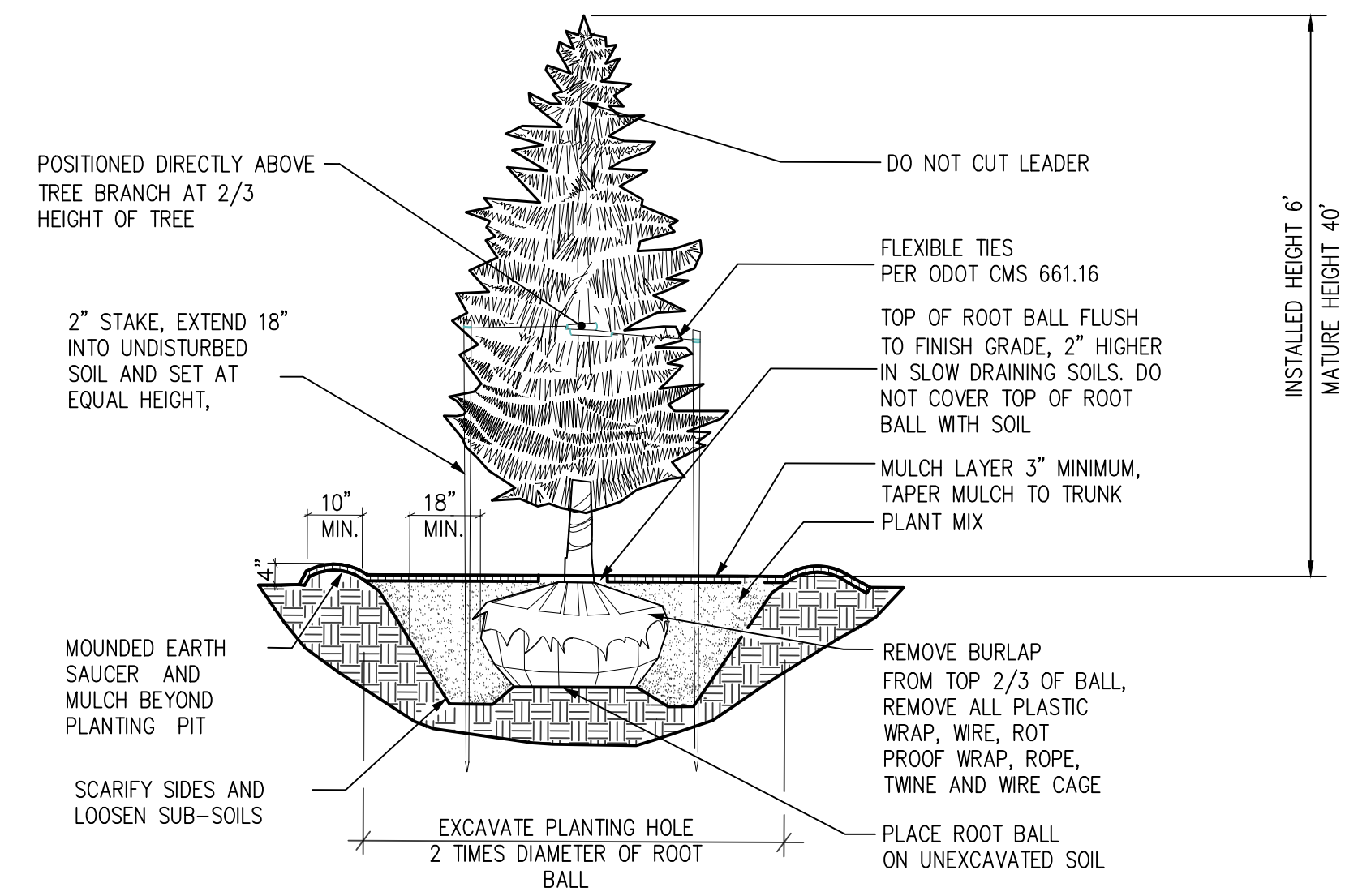
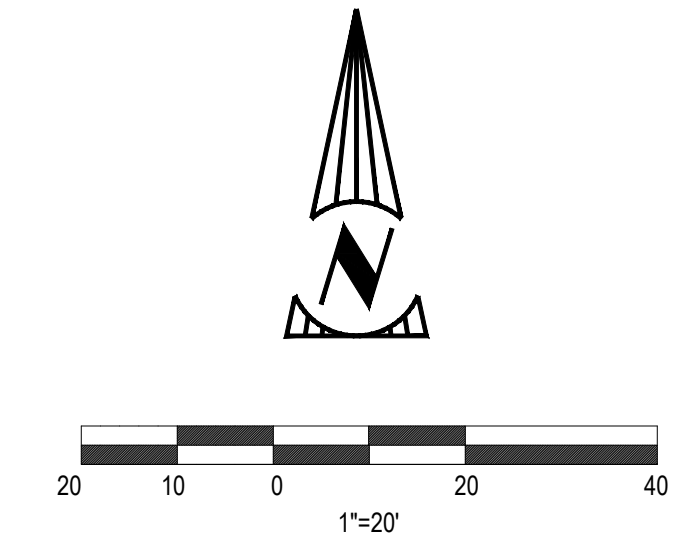
ABRV.	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	MATURE HEIGHT	REMARKS	TYPE
BE LE	8	BETULA LENTA	SWEET BIRCH	2.5" CALIPER	40-50'	B&B	DECIDUOUS TREE
AC FR	20	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG MAPLE	2.5" CALIPER	50-70' *10-15' SPREAD	B&B	DECIDUOUS TREE
ZE SE	2	ZELKOVA SERRATA 'MUSASHINO'	COLUMNAR ZELKOVA	2.5" CALIPER	45-50' *15' SPREAD	B&B	DECIDUOUS TREE
AC PA	3	ACER PALMATUM 'FIREGLOW'	'FIREGLOW' JAPANESE MAPLE	2.5" CALIPER	12-15'	B&B	DECIDUOUS TREE
PI ST	14	PINUS STROBUS	EASTERN WHITE PINE	48" MINIMUM	25' *12' SPREAD		EVERGREEN TREE
JU VI	37	JUNIPERUS VIRGINIANA 'HETZLI'	'HETZLI' RED CEDAR	48" MINIMUM	12-15'		EVERGREEN TREE
JU GO	35	JUNIPERUS COMMUNIS 'GOLD CONE'	'GOLD CONE' MINIATURE COMMON JUNIPER	48" MINIMUM	3-5'		EVERGREEN SHRUB
BU MI	28	BUXUS MICROPHYLLA 'VAR. KOREANA'	GREEN MOUNTAIN BOXWOOD	48" MINIMUM	5'		EVERGREEN SHRUB
JN SC	27	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	48" MINIMUM	5-25'		EVERGREEN SHRUB
CA AC	17	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	'KARL FOERSTER' FEATHER REED GRASS	2 GALLON	3-6'		ORNAMENTAL GRASS
MO DI	29	MONARDA DIDYMA	SCARLET BEE BALM	1 GALLON	2-4'		FLOWERING PERENNIAL
EC PU	28	ECHINACEA PURPUREA	PURPLE CONE FLOWER	1 GALLON	2-5'		FLOWERING PERENNIAL



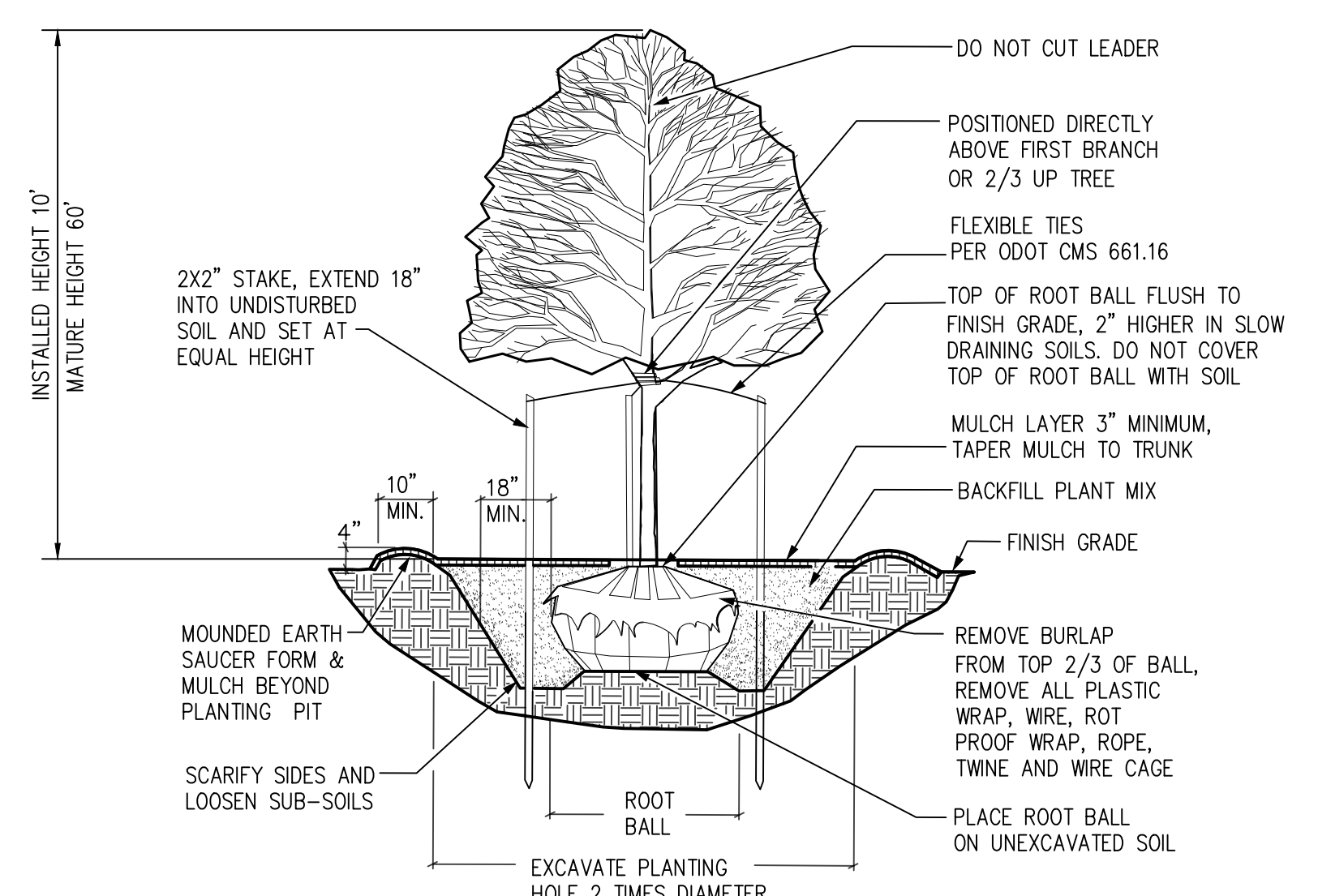
<p>DESCRIPTION</p> <p>MAJOR SITE REVIEW APPLICATION</p> <p>MAJOR SITE REVIEW APP. - RESUBMITTAL</p> <p>MSP REVISIONS PER DAB COMMENTS & TOWN COMMENTS</p>	<p>NO.</p> <p>DATE</p> <p>BY</p> <p>1 09/20/2024 ACH</p> <p>2 11/19/2024 ACH</p> <p>3 12/24/2024 ACH</p>
<p>20800 CHAGRIN BLVD SUITE 500, SHAKER HEIGHTS, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497</p>	
<p>PROJECT DATE: 09/12/2024 PROJECT NO.: 2401014 DRAWN BY: [Signature] CHECKED BY: [Signature]</p>	
<p>TRILON SERVICES, NY, INC AND Mannik Smith GROUP www.MannikSmithGroup.com</p>	
<p>PREPARED FOR: BREWTOPIA BUFFALO, LCC 34050 SOLOM ROAD, SUITE 105 SOLOM, OH 44139</p>	
<p>7BREW AMHERST 3999 MAPLE ROAD, AMHERST, NY 14226</p>	
<p>OFFICIAL TOWN USE ONLY</p>	
<p>LANDSCAPE PLAN</p>	
<p>L100</p>	

- THE CONTRACTOR SHALL PROVIDE A TWO (2) YEAR WARRANTY ON ALL PLANTS AND VEGETATION PROPOSED ON THE LANDSCAPING PLAN. ANY TREES, SHRUBS, GROUND COVER OR OTHER VEGETATION PLANTED AS PART OF THIS PROJECT THAT DO NOT SURVIVE TWO YEARS FROM PLANTING SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES THREE WORKING DAYS IN ADVANCE OF ANY DIGGING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF ANY UTILITIES.
- REFER TO THE LANDSCAPE PLAN FOR ADDITIONAL NOTES. LANDSCAPE IMPROVEMENTS SHALL CONFORM TO THE LATEST EDITION OF NYS DOT CONSTRUCTION SPECIFICATIONS.
- ALL PLANTING MATERIALS: SHALL BE PLANTED PER NYS DOT SPECIFICATIONS.
- PLANTING BEDS. ONE MONTH BEFORE CULTIVATION AND AFTER DAYTIME TEMPERATURES HAVE WARMED TO 60° CONSISTENTLY, TREAT ALL PLANTING BEDS THAT ARE TO BE DEVELOPED IN AREAS OF EXISTING TURF WITH PRE-EMERGENT AND POST-EMERGENT TYPE HERBICIDES. USE A STATE-LICENSED PESTICIDE APPLICATOR TO APPLY THE HERBICIDE. REPEAT HERBICIDE APPLICATION TWO WEEKS LATER AND UNTIL ALL HERBACEOUS MATERIALS HAVE BEEN KILLED. BEFORE PLANTING, TOP DRESS ALL PLANTING BEDS WITH A MINIMUM OF 6 INCHES OF BACKFILL MIX, THEN CULTIVATE PLANTING AREA TO A DEPTH OF 6 INCHES USING A PLOW, DISC, OR ROTO-TILLER.
- BACKFILL MIX. FOR ALL PLANTINGS, USE BACKFILL MIX CONSISTING OF THE FOLLOWING:
 - ONE PART EXCAVATED SOIL.
 - ONE PART TOPSOIL.
 - ONE PART EPA RATED CLASS IV COMPOST.
 - A SLOW RELEASE COMMERCIAL FERTILIZER (0-20-20 OR EQUAL) ADDED AT A RATE OF 5 POUNDS PER CUBIC YARD TO THE BACKFILL MIX.
 - IF SOIL AREAS ARE OF HIGH PH (GREATER THAN 6.5), APPLY 1.25 POUNDS OF ELEMENTAL SULFUR PER CUBIC YARD OF BACKFILL MIX.
 NOTE: CONTRACTOR SHALL SUPPLY A DETAILED SOIL ANALYSIS PRIOR TO ALL PLANT BED PREPARATION. ANALYSIS SHALL INDICATE SOIL PH, TEXTURE, MAJOR NUTRIENTS, SALTS, ETC. SOIL ANALYSIS SHALL BE FROM A REPUTABLE, INDEPENDENT LAB. SOIL AMENDMENTS SHALL BE INCORPORATED INTO BACKFILL/PLANT MIX AS RECOMMENDED BY THE INDEPENDENT LAB.
- MULCH. SMOOTH AND SHAPE THE BACKFILL MIX TO FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PLANTING HOLE. MULCH ALL PLANTING AREAS WITH A LAYER OF FINELY SHREDDED HARDWOOD BARK OF UNIFORM TEXTURE & SIZE. PLANTS GROUPED IN MASSES SHALL HAVE THE ENTIRE CONTIGUOUS PLANTING BED OR ISLAND MULCHED. USE SHREDDED HARDWOOD BARK AGED MIN. ONE YEAR. RAKE AND SMOOTH THE ENTIRE AREA OF THE PLANTING BEDS, MULCH TO A DEPTH OF 3 INCHES. AFTER MULCHING AND BEFORE WATERING, ADD A SLOW RELEASE COMMERCIAL FERTILIZER (12-12-12 OR EQUAL), IN GRANULAR FORM, TO THE TOP OF THE MULCH AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET. DO NOT ALLOW FERTILIZER TO CONTACT THE STEMS, BRANCHES, ROOTS OR LEAVES.
- PERIOD OF ESTABLISHMENT. BEFORE FINAL INSPECTION, PLACE ALL PLANTS, SEED ALL LAWNS, AND CARE FOR THEM FOR A PERIOD OF ESTABLISHMENT. THE PERIOD OF ESTABLISHMENT BEGINS IMMEDIATELY UPON COMPLETION OF THE PLANTING OPERATIONS AND CONTINUES UNTIL OCTOBER 1. THE MINIMUM PERIOD OF ESTABLISHMENT IS ONE GROWING SEASON, JUNE 1 THROUGH OCTOBER 1. DURING THE PERIOD OF ESTABLISHMENT, FOLLOW STANDARD HORTICULTURAL PRACTICES TO ENSURE THE VIGOR AND GROWTH OF THE TRANSPLANTED MATERIAL. WATER, REMULCH, RESTAKE, GUY, AND CULTIVATE AS NECESSARY. PERFORM AT LEAST TWO WEEDING AND MOWING PROGRAMS (AROUND TREES, GUY STAKES, SHRUBS, AND BED EDGES) OF SUCH INTENSITY AS TO COMPLETELY RID THE PLANTED AND MULCHED AREAS OF WEEDS AND GRASSES. BEGIN THE FIRST PROGRAM ON OR ABOUT JUNE 15 AND THE SECOND APPROXIMATELY 8 WEEKS LATER. ON OR ABOUT AUGUST 15, THE ENGINEER WILL INSPECT THE PLANTING AND SUPPLY THE CONTRACTOR WITH A LIST OF MISSING AND DEAD PLANTS AND THOSE THAT HAVE DIED BACK BEYOND NORMAL PRUNING LINES. REPLANT AS REQUIRED ACCORDING TO THE SPECIFICATIONS OF THE ORIGINAL MATERIAL. REPLACEMENT PLANTS ARE SUBJECT TO A NEW PERIOD OF ESTABLISHMENT. IMMEDIATELY REPLACE PLANTS PLANTED INITIALLY IN THE FALL THAT HAVE DIED BEFORE THE SPRING PLANTING SEASON. CARE FOR THE REPLACEMENT PLANTS DURING THE NEW ESTABLISHMENT PERIOD.
- RESTORATION OF DISTURBED AREAS FOR NEW LAWN: ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT OR LANDSCAPE PLANTING BEDS SHALL BE PREPARED FOR GRASS SEED AND SEEDING. LOOSEN RUTS AND WORK THE SOIL AREAS TO A MINIMUM OF 6" DEEP PRIOR TO FINE GRADING AND SEEDING WORK. AREAS TO RECEIVE GRASS SEED SHALL HAVE A MIN. 4" TOPSOIL PLACED, SEEDED AND A STRAW/MULCH BLANKET COVER PLACED OVER THE SEEDED AREAS PER NYS DOT SPECIFICATIONS. FERTILIZE WITH ONE POUND OF ACTUAL NITROGEN PER 1000 SQUARE FEET WITH A SLOW RELEASE COMMERCIAL STARTER FERTILIZER (LESCO 18-24-12 OR EQUAL).
- LANDSCAPE TREES, SHRUBS AND PERENNIAL WATERING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, DELIVERING, APPLYING, MEASURING AND SCHEDULING A SUFFICIENT AMOUNT OF WATER NECESSARY TO KEEP EACH PLANT IN A HEALTHY GROWING CONDITION THROUGHOUT THE TWO (2) YEAR PERIOD OF ESTABLISHMENT. THE CONTRACTOR SHALL APPLY 1" OF WATER PER WEEK TO ALL NEW PLANTS. THE CONTRACTOR SHALL INSTALL & MAINTAIN SUPPLEMENTAL DRIP WATERING TREE BAGS (SUCH AS 20 GALLON TREE GATOR WATER BAG) TO PROVIDE ADEQUATE, SLOW RELEASE OF WATER. WATER BAGS SHALL BE REMOVED AT THE END OF THE SECOND GROWING SEASON.
- TURF GROUNDCOVER (SODDING, SEEDING AND SEED MULCHING): ALL SEEDING INSTALLATION SHALL CONFORM TO NYS DOT SPECIFICATIONS AND NOTE 9 ABOVE. SEED AT 6 LBS/1000 SF WITH THE FOLLOWING SEED MIXTURE:

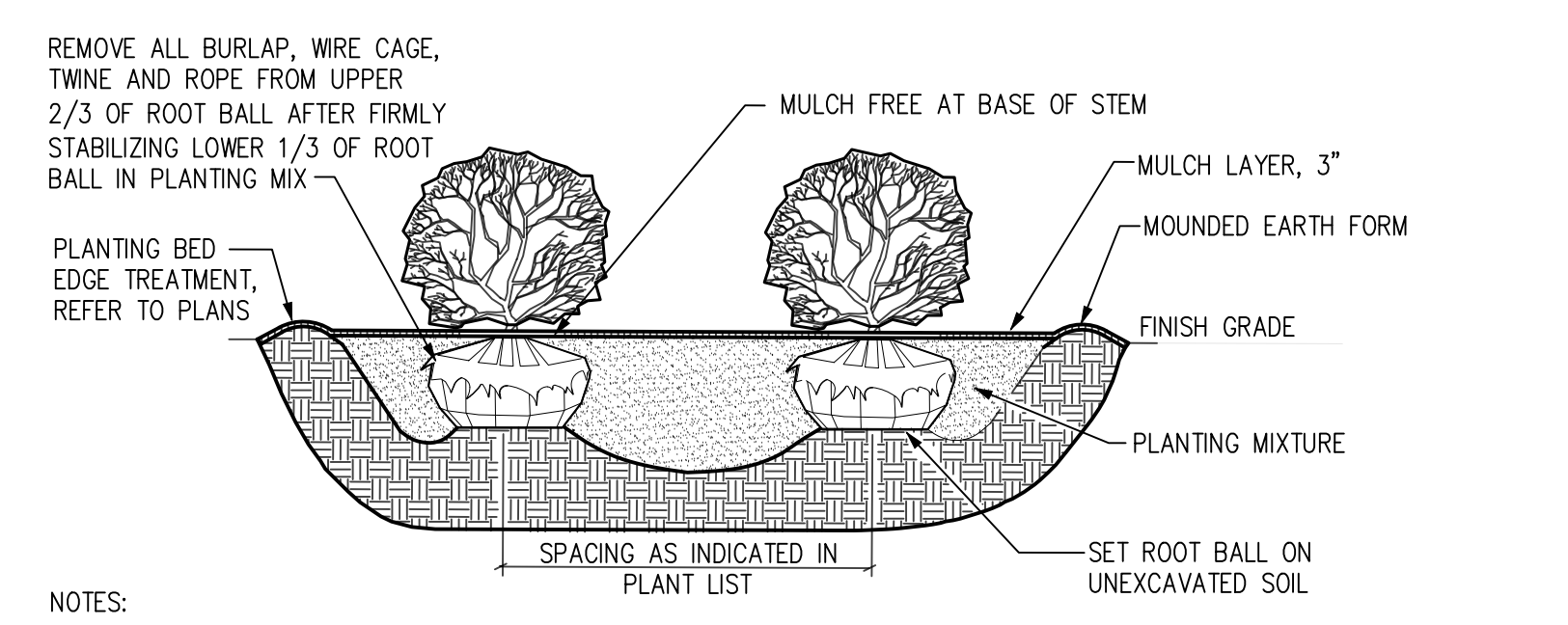
RED FESCUE	42%
PERENNIAL RYEGRASS	42%
KENTUCKY BLUEGRASS	16%
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL INTERIOR LANDSCAPED AREA PLANTING BEDS HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL. ALL ISLANDS AND MEDIANS SHALL HAVE SIX INCH HIGH CONCRETE CURBING AS A MINIMUM TO PROTECT PLANT MATERIALS FROM DAMAGE.



EVERGREEN TREE PLANTING DETAIL
NO SCALE

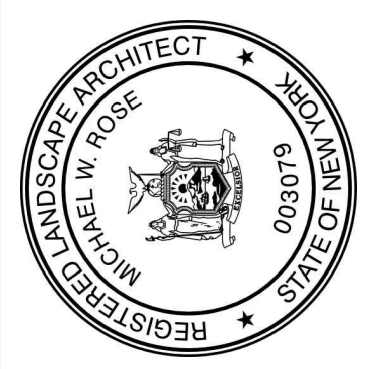


DECIDUOUS TREE PLANTING DETAIL
NO SCALE



NOTES:
ALL SHRUBS PLANTED IN ROWS OR MASSES SHALL BE MATCHED IN SIZE AND FORM.
SHRUBS SHALL BEAR SAME RELATION TO FINISH GRADE AS THEY BORE TO EXISTING GRADE IN THE PREVIOUSLY PLANTED CONDITION.
MASS SHRUB PLANTING DETAIL (B&B OR CONTAINER)
NO SCALE

NO.	DATE	BY	DESCRIPTION
1	09/20/2024	ACH	MAJOR SITE REVIEW APPLICATION
2	11/19/2024	ACH	MAJOR SITE REVIEW APP. - RESUBMITTAL
3	12/24/2024	ACH	NSP REVISIONS PER ODOT COMMENTS



20800 CHAGRIN BLVD
SUITE 600, SHAKER
HEIGHTS, OH 44122
TEL: 216.378.1490
FAX: 216.378.1497
PROJECT NO.: 09172024
DRAWN BY: 2401014
CHECKED BY: ACH

TRILON SERVICES, NY, INC
AND
Mannik Smith GROUP
www.MannikSmithGroup.com

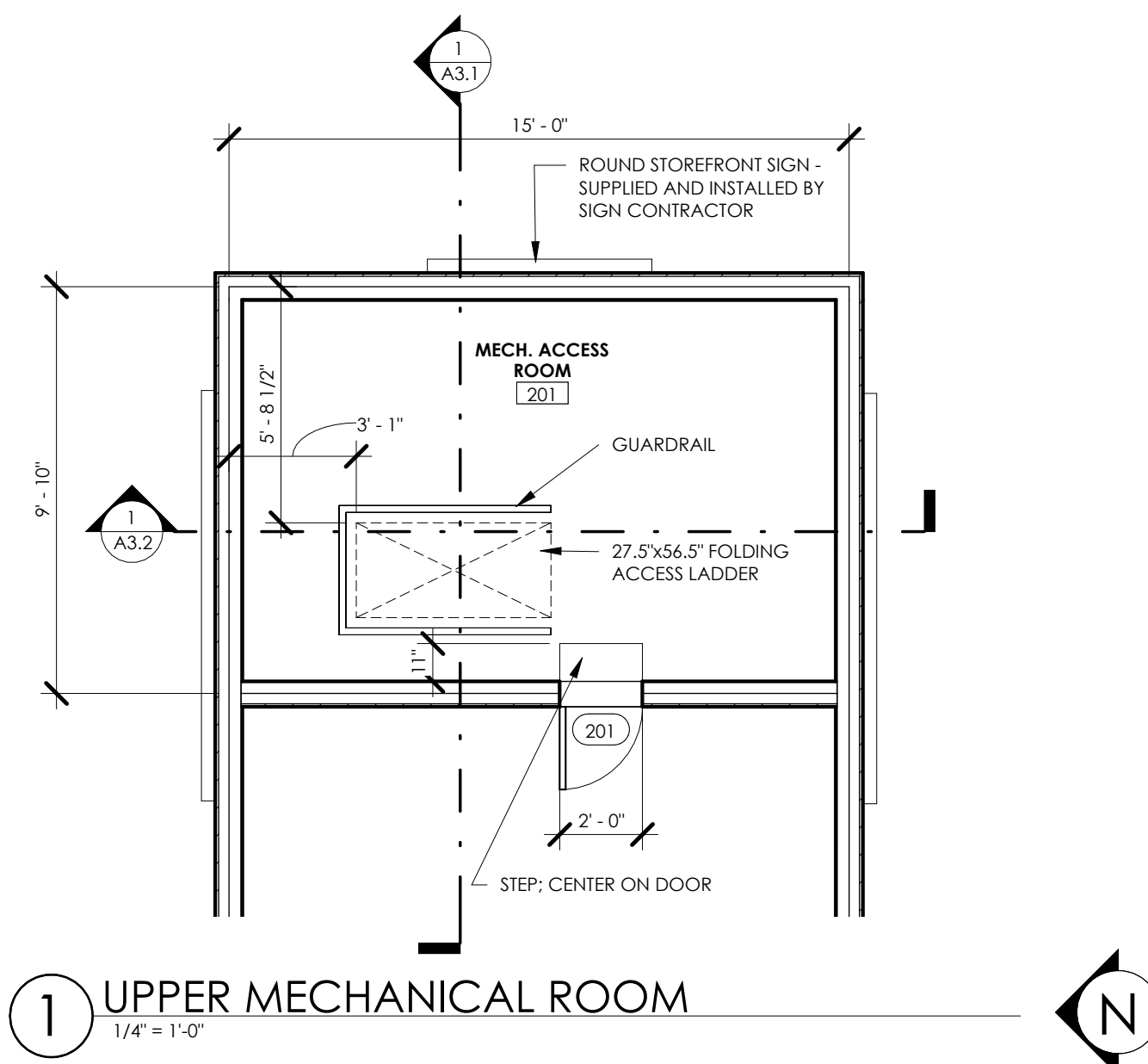
TECHNICAL SKILL.
CREATIVE SPIRIT.

PREPARED FOR:
BREWTOPIA
BUFFALO, LCC
34050 SOLON ROAD, SUITE 105
SOLON, OH 44139

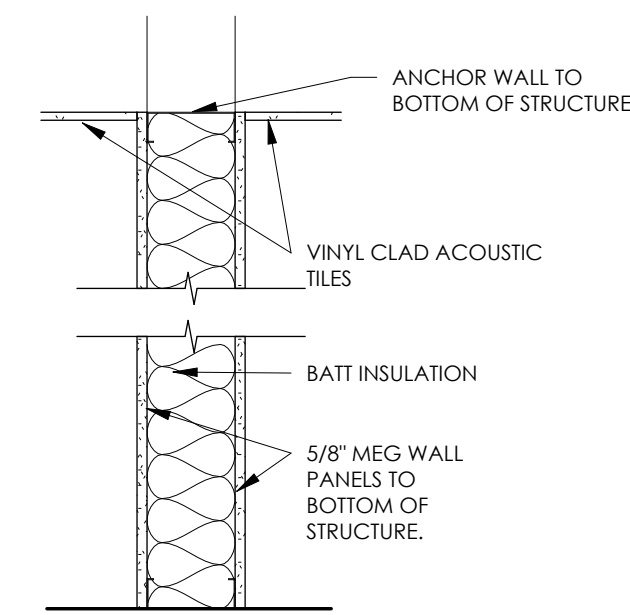
7BREW AMHERST
3999 MAPLE ROAD,
AMHERST, NY 14226

LANDSCAPE
NOTES AND DETAILS

L101



PARTITION TYPES



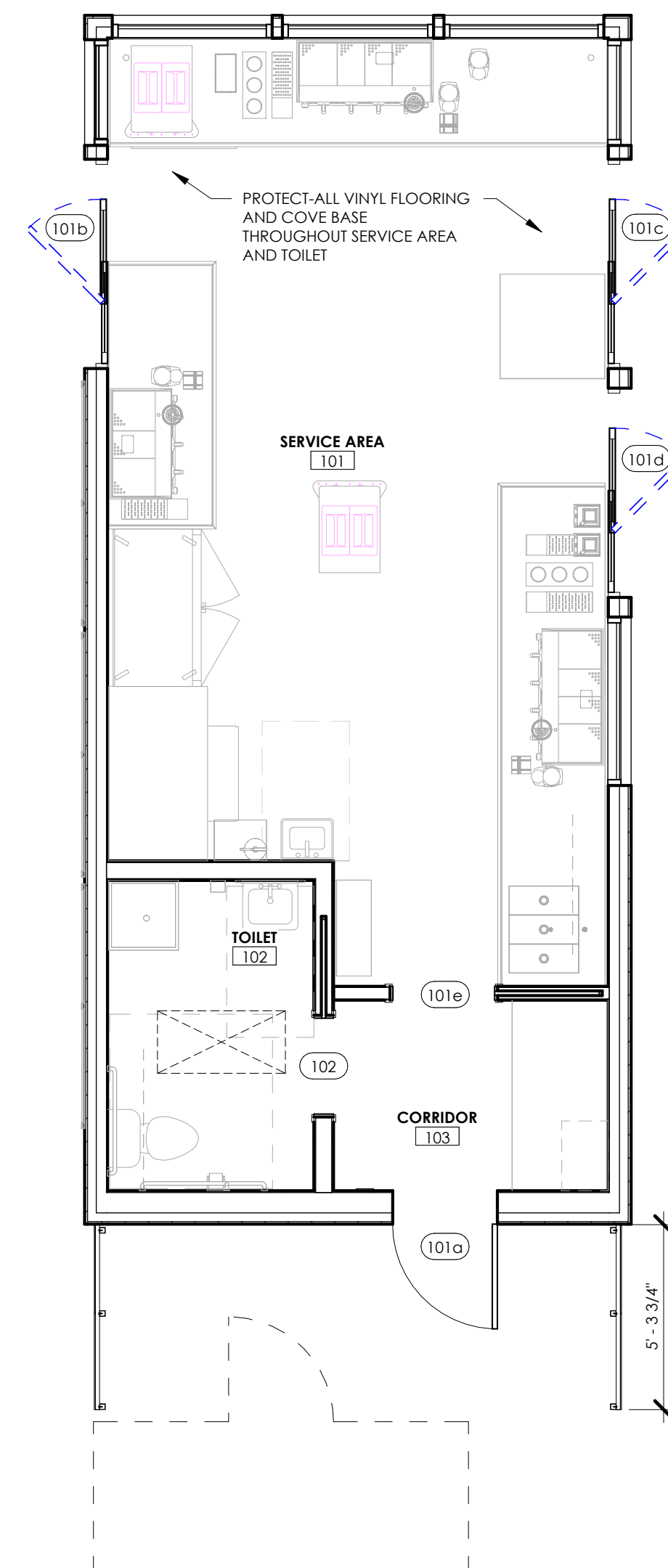
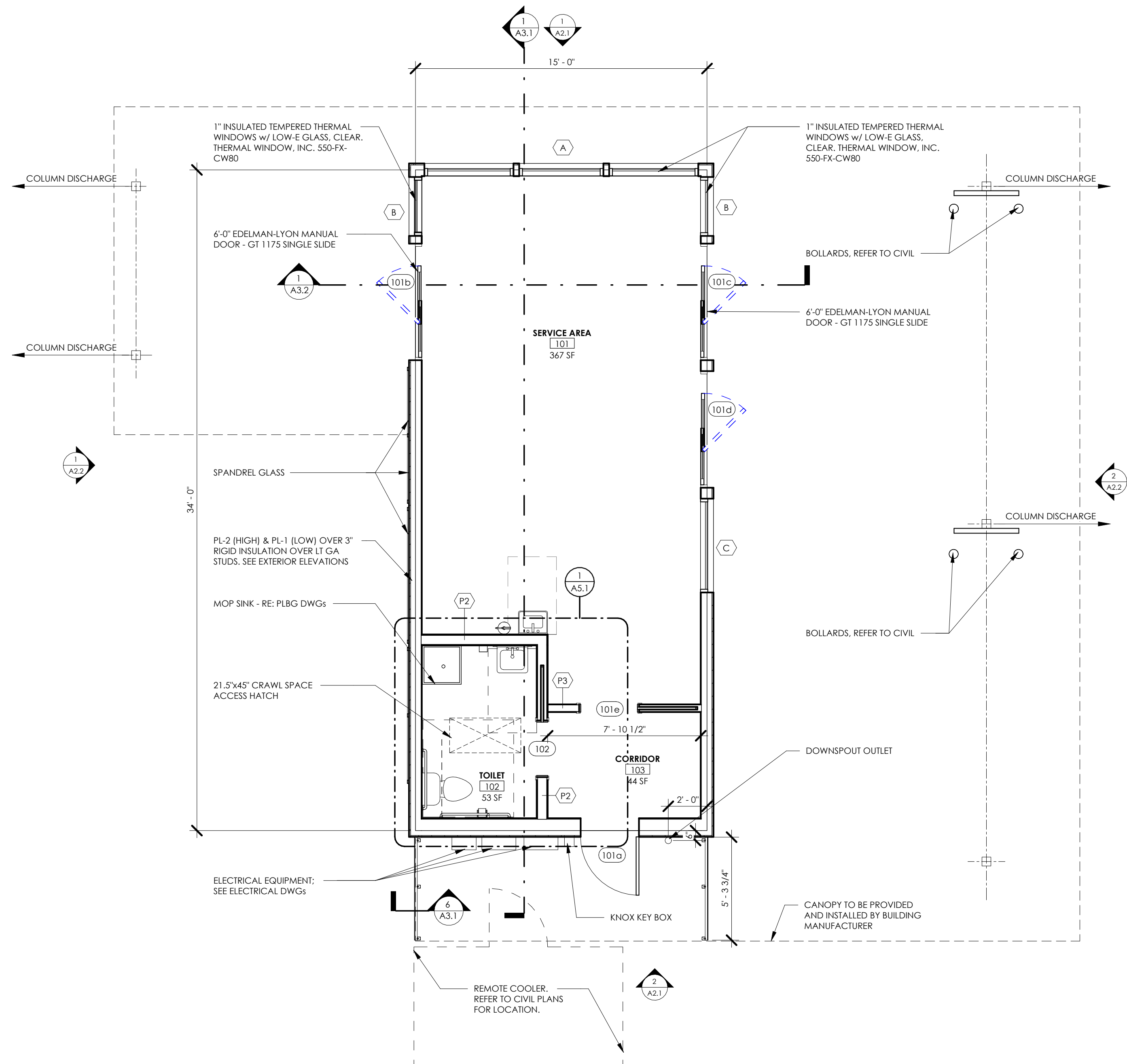
- P1 USES 3-1/2" METAL STUDS
- P2 USES 6" METAL STUDS
- P3 USES 4" METAL STUDS

ROOM FINISH SCHEDULE									
RM NO.	RM NAME	FLR	BASE	WALLS				CLG	CLG HGT
				TOP	RT	BOT	LT		
101	SERVICE AREA	F1	B1	W1/2	W1/2	W1	W1/2	C1	8' - 6 7/8"
102	TOILET	F1	B1	W1	W1	W1	W1	C1	8' - 6 7/8"
103	CORRIDOR	F1	B1	W1	W1	W1	W1	C1	8' - 6 7/8"
201	MECH ACCESS RM	F2	B2	W3	W3	W3	W3	C2	VARIES

FINISH LEGEND:

FLOORS	BASE	WALLS	CEILING
F1 PROTECT-ALL VINYL	B1 METAL COVE BASE	W1 STRATIFICATO WALL PANELS	C1 VINYL CLAD ACOUSTICAL TILES
F2 UNFINISHED PLYWOOD	B2 NONE	W2 ALUM STOREFRONT SYSTEM	C2 EXPOSED STRUCTURE
		W3 EXPOSED STRUCTURE	

- NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF THE LANDLORDS CRITERIA PRIOR TO CONSTRUCTION. FAILURE TO ACCOUNT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM FROM ANY RESPONSIBILITY.
 - CONTRACTOR SHALL THOROUGHLY VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
 - REFER TO FINISH SCHEDULE ON G0.1 FOR FLOOR AND CEILING INTERIOR FINISH CLASSIFICATION.



ARCHITECT OF RECORD:
NAME: ADAM KREHER
LICENSE NO. 045180-01

PROJECT NUMBER: 24322 78AN
REVISION:

7 BREW COFFEE
AMHERST, NY
3999 MAPLE ROAD,
AMHERST, NY 14226

A1.1
FLOOR PLANS

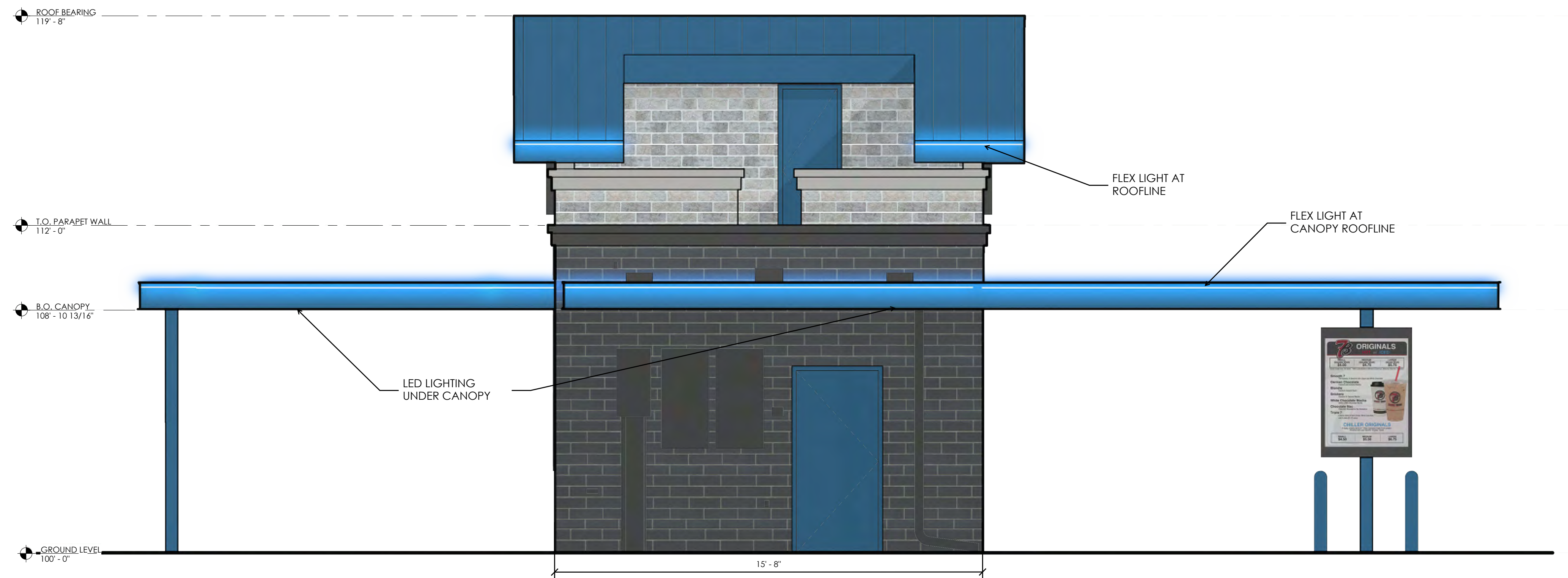


TRANSPARENCY CALCULATIONS:
 FACING N. BAILEY AVE (COLLECTOR ST.)

GROUND STORY - UNDER CANOPY ONLY
 140 SQFT - TOTAL WALL AREA
 92 SQFT - TRANSPARENT
 65% TRANSPARENCY PROVIDED







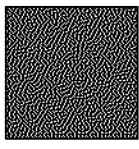

UPPER STORY - ABOVE CANOPY ONLY
 134 SQFT - TOTAL WALL AREA
 31 SQFT - TRANSPARENT
 23% TRANSPARENCY PROVIDED

1 EXTERIOR ELEVATION - EAST
 3/8" = 1'-0"



2 EXTERIOR ELEVATION - WEST
 3/8" = 1'-0"

EXTERIOR FINISH LEGEND

-  NICHIIA MODERNBRICK MIDNIGHT
-  NICHIIA CANYONBRICK SHALE BROWN
-  PAC-CLAD STANDING SEAM PANEL PACIFIC BLUE
-  BRAKE METAL COLOR TO MATCH STOREFRONT FRAMES
-  BRAKE METAL PACIFIC BLUE
-  BRAKE METAL COLOR TO MATCH SHALE BROWN
-  BRAKE METAL MATTE BLACK
-  DOORS HONORABLE BLUE SW6811



ARCHITECT OF RECORD:
 NAME: ADAM KREHER
 LICENSE NO. 045180-01

PROJECT NUMBER: 24322 7BAN
 REVISION:

7 BREW COFFEE
AMHERST, NY
 3999 MAPLE ROAD,
 AMHERST, NY 14226




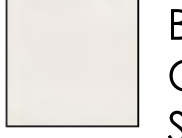


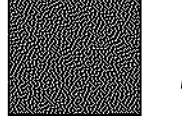

EX-1
 EXTERIOR ELEVATIONS

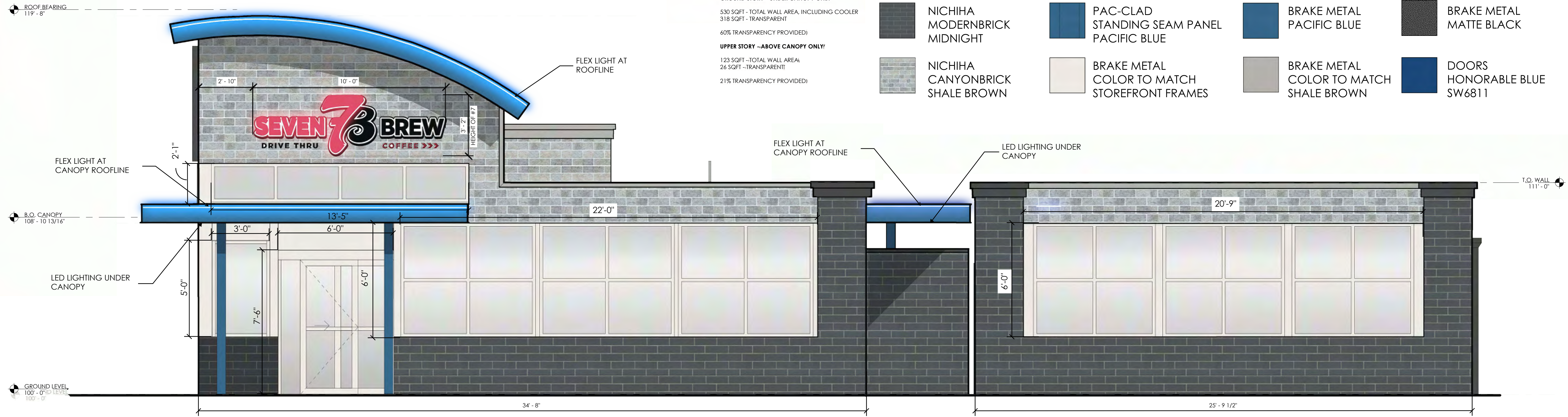
TRANSPARENCY CALCULATIONS:
 FACING MAPLE RD (MINOR ARTERIAL ST.)

GROUND STORY - UNDER CANOPY ONLY
 530 SQFT - TOTAL WALL AREA INCLUDING COOLER
 318 SQFT - TRANSPARENT
 60% TRANSPARENCY PROVIDED

UPPER STORY - ABOVE CANOPY ONLY
 123 SQFT - TOTAL WALL AREA
 26 SQFT - TRANSPARENT
 21% TRANSPARENCY PROVIDED

EXTERIOR FINISH LEGEND

-  NICHIIHA MODERNBRICK MIDNIGHT
-  NICHIIHA CANYONBRICK SHALE BROWN
-  PAC-CLAD STANDING SEAM PANEL PACIFIC BLUE
-  BRAKE METAL COLOR TO MATCH STOREFRONT FRAMES
-  BRAKE METAL PACIFIC BLUE
-  BRAKE METAL COLOR TO MATCH SHALE BROWN
-  BRAKE METAL MATTE BLACK
-  DOORS HONORABLE BLUE SW6811



1 EXTERIOR ELEVATION - NORTH
 3/8" = 1'-0"



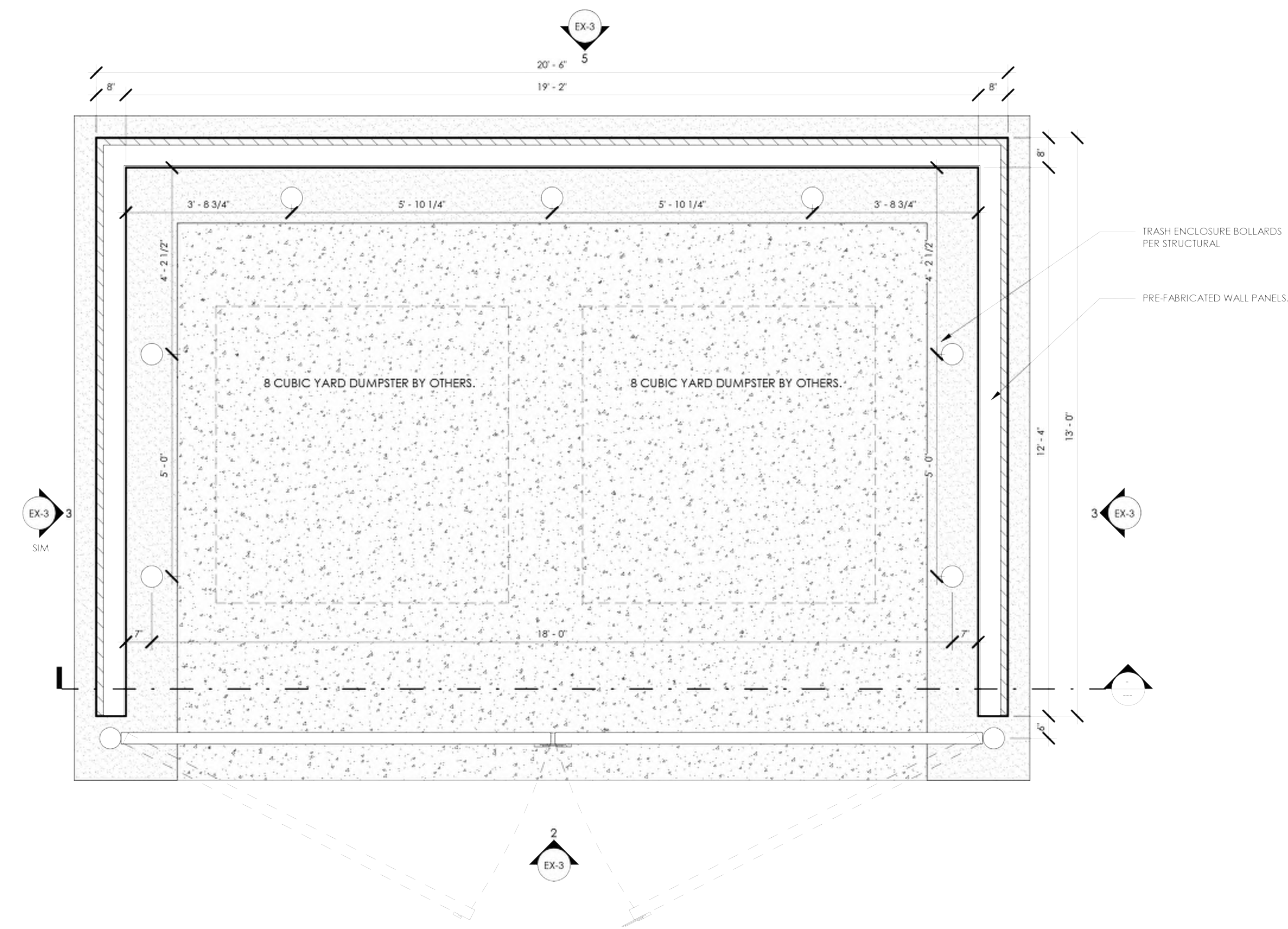
2 EXTERIOR ELEVATION - SOUTH
 3/8" = 1'-0"

ARCHITECT OF RECORD:
 NAME: ADAM KREHER
 LICENSE NO. 045180-01

PROJECT NUMBER: 24322 7BAN
 REVISION:

7 BREW COFFEE
 AMHERST, NY
 3999 MAPLE ROAD,
 AMHERST, NY 14226

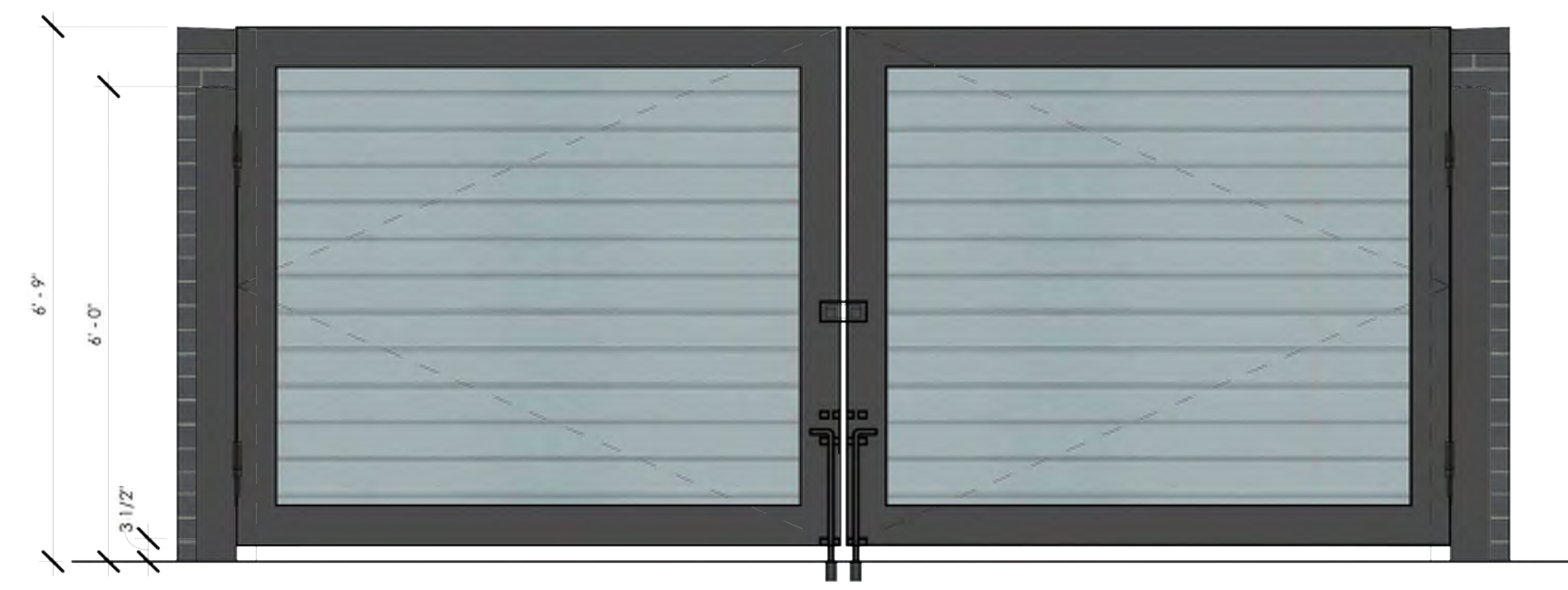
EX-2
 EXTERIOR ELEVATIONS



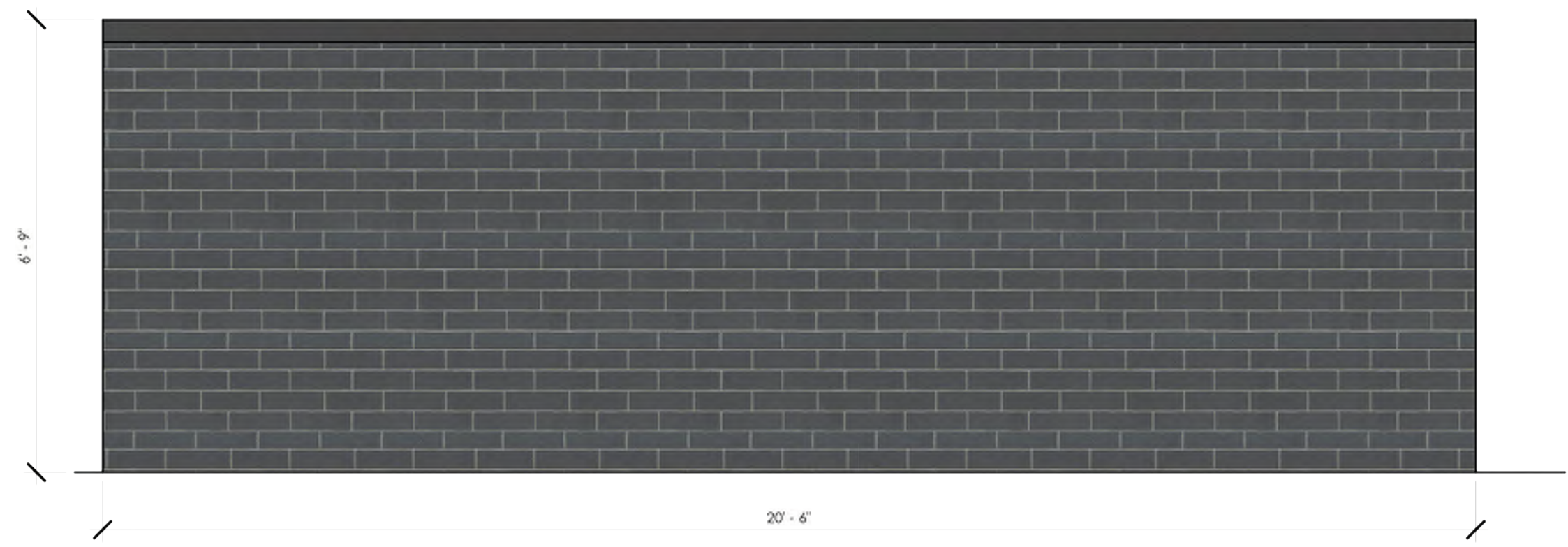
1 TRASH ENCLOSURE
1/2" = 1'-0"

EXTERIOR FINISH LEGEND

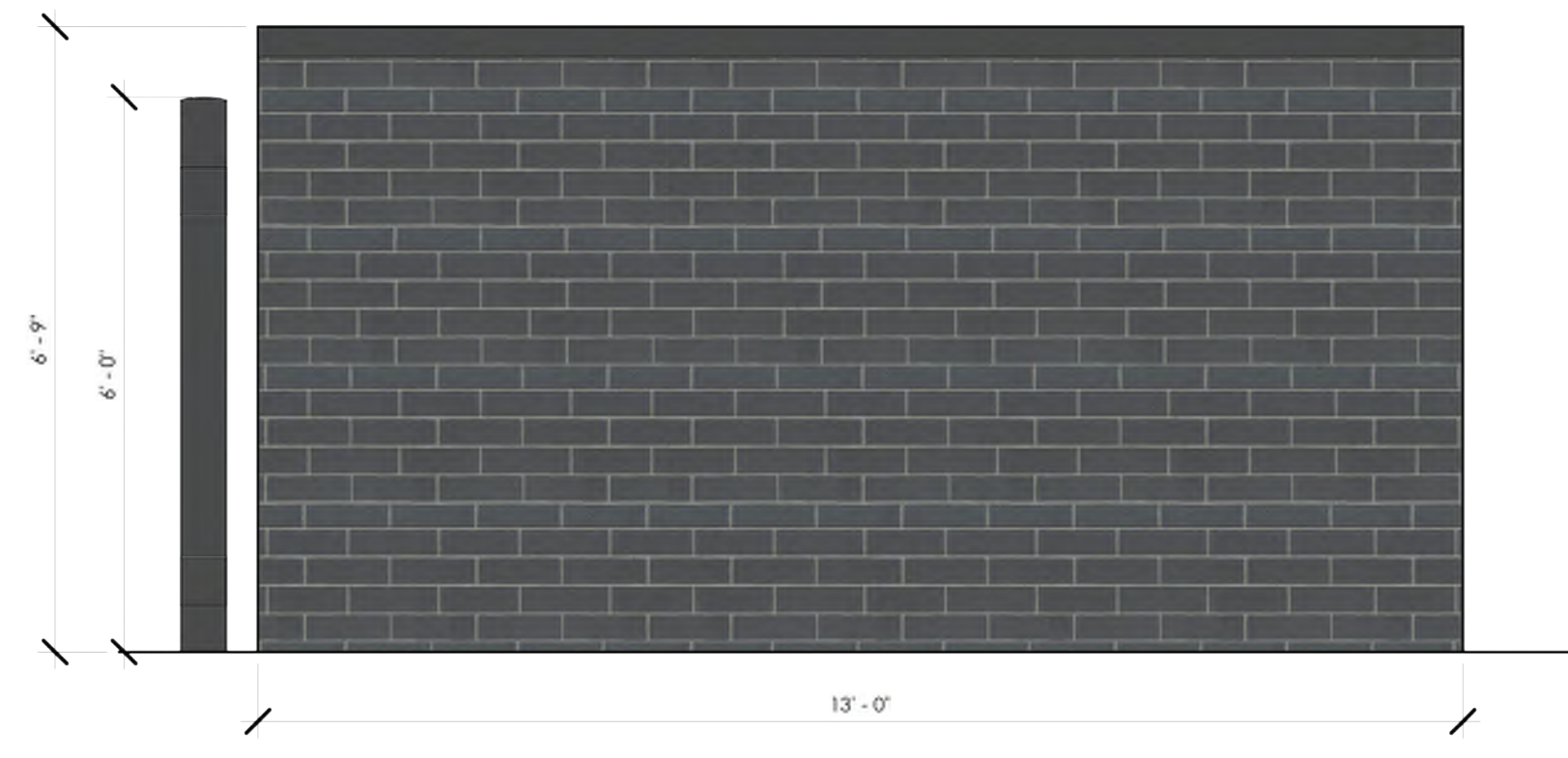
- NICHIBA
MODERNBRICK
MIDNIGHT
- PAC-CLAD
16" METAL WALL PANEL
CITYSCAPE



2 TRASH ENCLOSURE - FRONT ELEVATION
1/2" = 1'-0"



5 TRASH ENCLOSURE - BACK ELEVATION
1/2" = 1'-0"



3 TRASH ENCLOSURE - SIDE ELEVATION
1/2" = 1'-0"



ARCHITECT OF RECORD:
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AMHERST, NY
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AMHERST, NY 14226

EX-3

TRASH ENCLOSURE RENDER

SPACE RESERVED FOR THE NEW YORK STATE STAMP OF APPROVAL

DATE: NOT FOR CONSTRUCTION