

# 7 BREW

## 3999 MAPLE ROAD

### AMHERST, NEW YORK

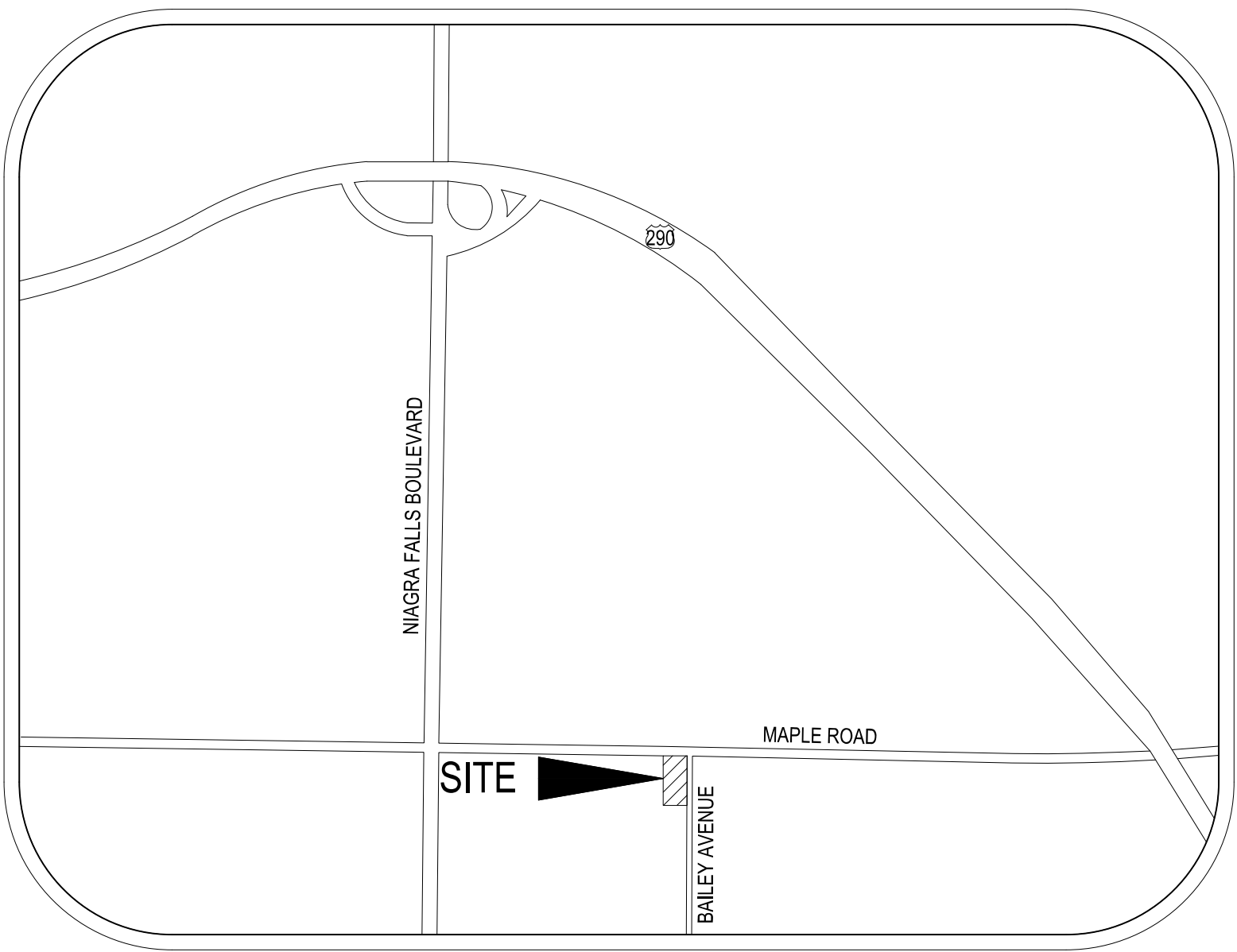
PREPARED FOR  
**BREWTOPIA BUFFALO, LLC**  
 34050 SOLON ROAD, SUITE 500  
 SOLON, OH 44139

**LEGAL DESCRIPTION**

ALL THAT TRACT OR PARCEL OF LAND, SITUATE IN THE TOWN OF AMHERST, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT 84, TOWNSHIP 12, RANGE 7 OF THE HOLLAND LAND COMPANY'S SURVEY AND MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHERLY LINE OF MAPLE ROAD WITH THE WESTERLY LINE OF BAILEY AVENUE, RUNNING THENCE SOUTHERLY ALONG THE WESTERLY LINE OF BAILEY AVENUE 365 FEET; THENCE WESTERLY PARALLEL WITH THE SOUTHERLY LINE OF MAPLE ROAD 120 FEET; THENCE NORTHERLY PARALLEL WITH THE WESTERLY LINE OF BAILEY AVENUE 365 FEET TO THE SOUTHERLY LINE OF MAPLE ROAD; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF MAPLE ROAD 120 FEET TO THE POINT OF BEGINNING.

SITE DATA	
APPLICANT	BREWTOPIA BUFFALO, LLC
PARCEL ID NUMBER:	1422890540300001011100
PROPERTY ADDRESS:	3999 MAPLE ST AMHERST, NY 14226
PROPERTY OWNER:	ALMAN COMPANY LLC.
ZONING:	BOULEVARD CENTER 2.5 MIXED-USE DISTRICT
ZONING OF ADJACENT PARCELS:	SHOPPING CENTER, CENTER 2.5, NEIGHBORHOOD BUSINESS, AND NEW COMMUNITY DISTRICTS
PROPOSED USE:	DRIVE-THROUGH COFFEE SHOP
OVERALL SITE AREA:	0.95 AC
SHOP AREA:	540 SF
OVERALL BUILDING AREA (GROSS SF):	1,483 SF
OVERALL LOT COVERAGE:	44.53%
MAX BUILDING HEIGHT:	35'
PARKING REQUIRED:	4 PACES PER 1000 SF = 723.34/1000 = 3 SPACES
PARKING PROVIDED:	15
ADA PARKING PROVIDED:	1




VICINITY MAP  
 NOT TO SCALE

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**APPROVALS**

APPROVED:   
 AARON C HACKER, P.E.  
 PROFESSIONAL ENGINEER #6201061397

DATE: 09-20-24

TRILON SERVICE, NY, INC. AND  
  
 20600 CHAGRIN BLVD, SUITE 500  
 SHAKER HEIGHTS, OHIO 44122  
 TEL: (216) 378-1490  
 FAX: (216) 378-1497  
 www.MannikSmithGroup.com



**PROJECT CONTACTS**

DEVELOPER & APPLICANT  
 BREWTOPIA BUFFALO, LLC  
 GAURAV AGGARWAL  
 34050 SOLON ROAD, SUITE 105  
 SOLON, OH 44139

CIVIL ENGINEER & PETITIONER  
 JULIA CHEN  
 THE MANNIK & SMITH GROUP, INC.  
 20600 CHAGRIN BLVD, SUITE 500  
 SHAKER HEIGHTS, OH 44122

OFFICIAL TOWN USE ONLY

TITLE SHEET

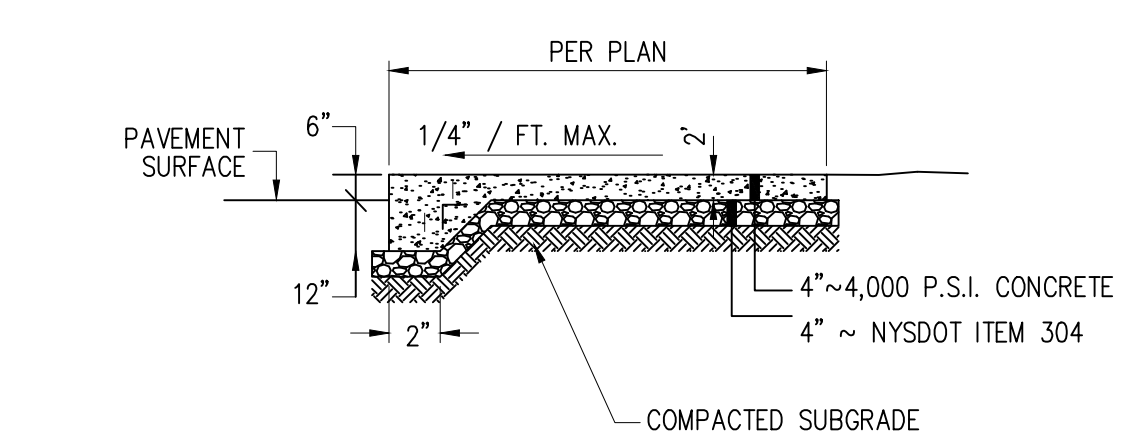
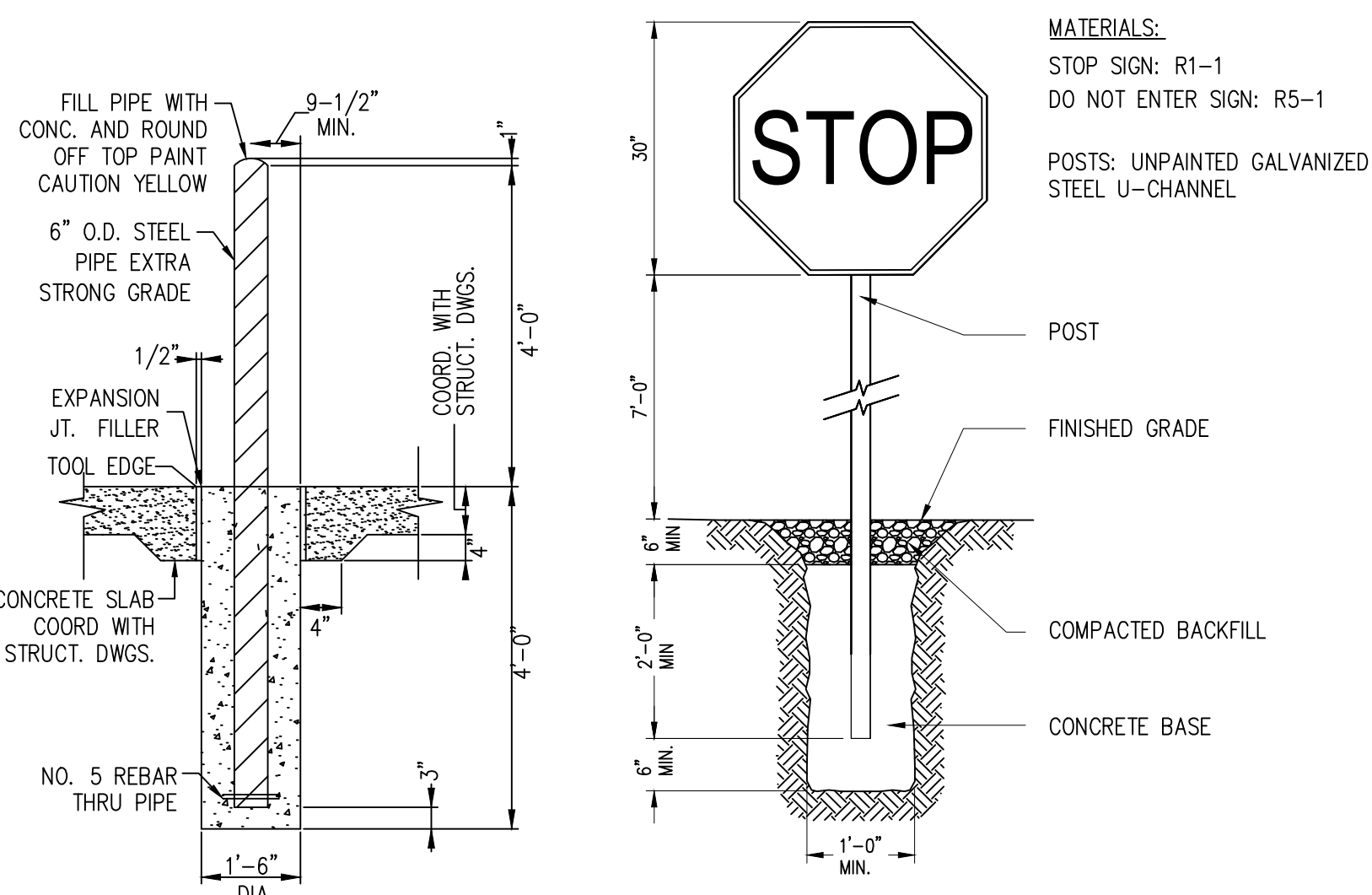
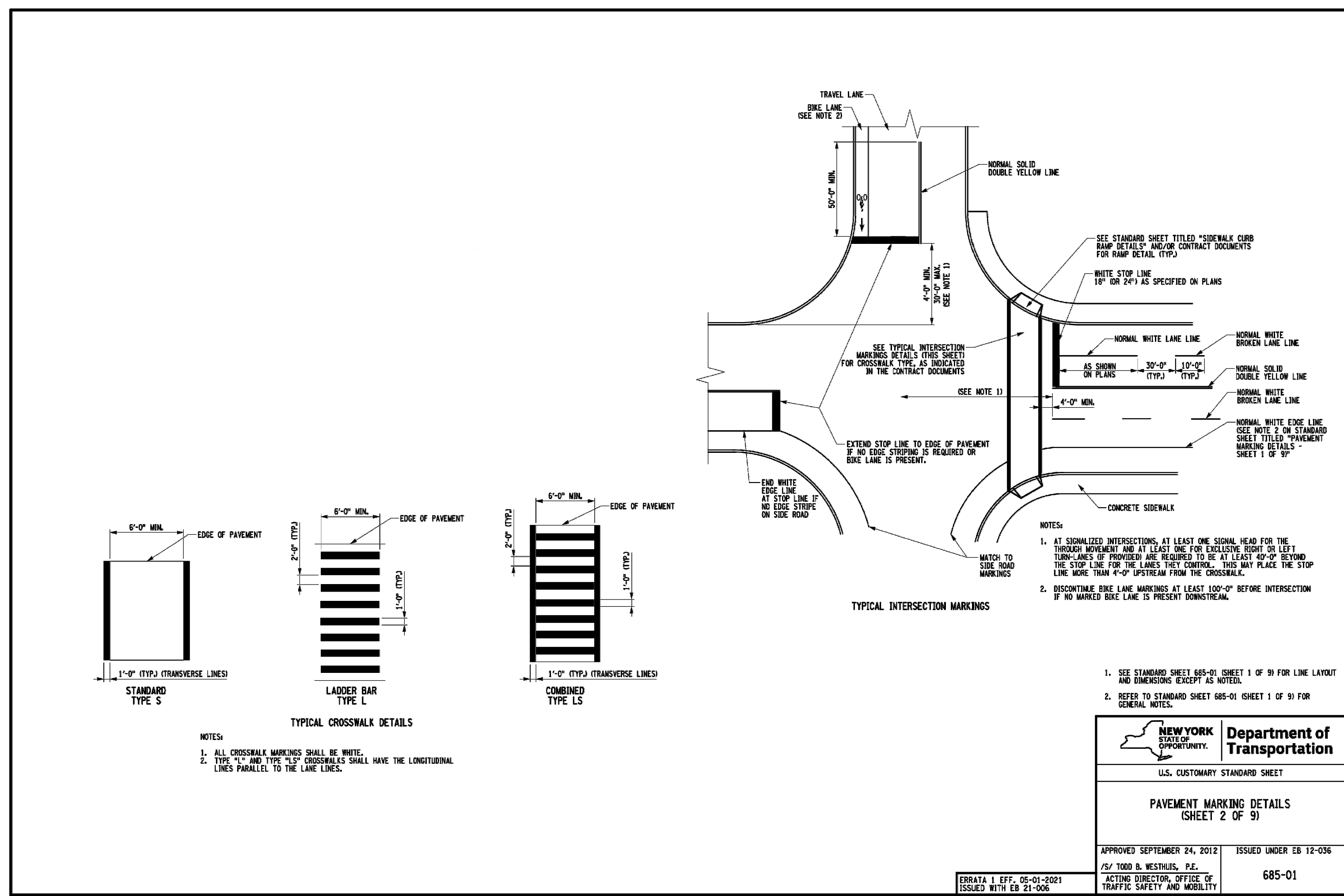
C000

NO.	1	DATE	09/20/2024	BY	ACH	DESCRIPTION	MAJOR SITE REVIEW APPLICATION
20600 CHAGRIN BLVD SUITE 500, SHAKER HEIGHTS, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497 PROJECT DATE: 09/12/2024 PROJECT NO.: 24001014 DRAWN BY: CHECKED BY:							PTS ACH
TRILON SERVICES, NY, INC AND  www.MannikSmithGroup.com							
PREPARED FOR: BREWTOPIA BUFFALO, LLC 34050 SOLON ROAD, SUITE 105 SOLON, OH 44139							
7 BREW AMHERST 3999 MAPLE ROAD, AMHERST, NY 14226							

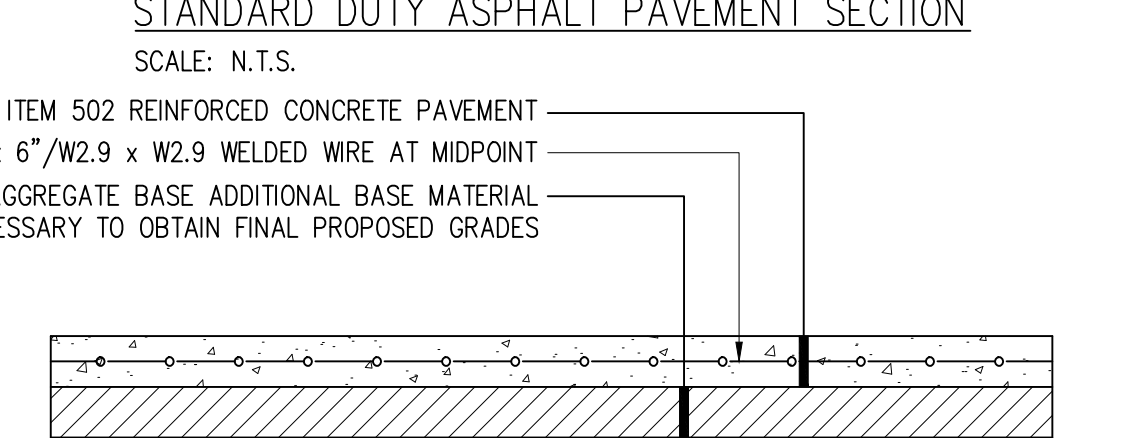
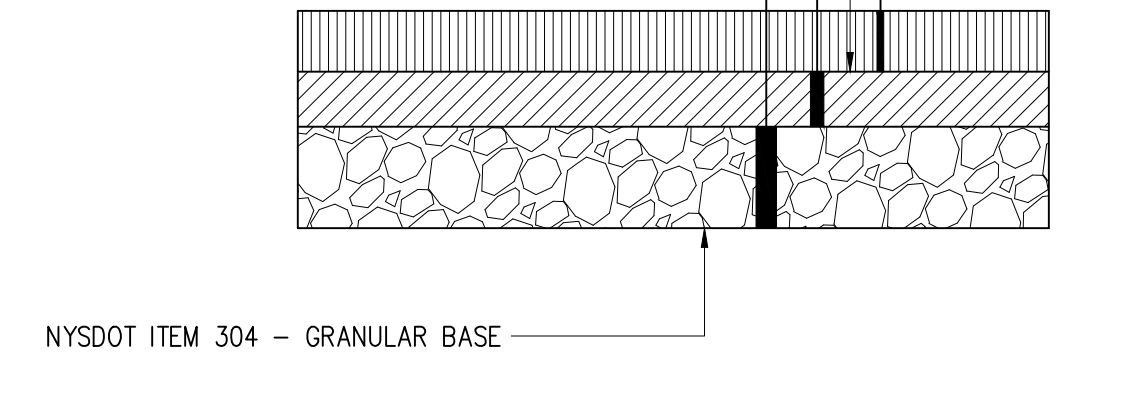
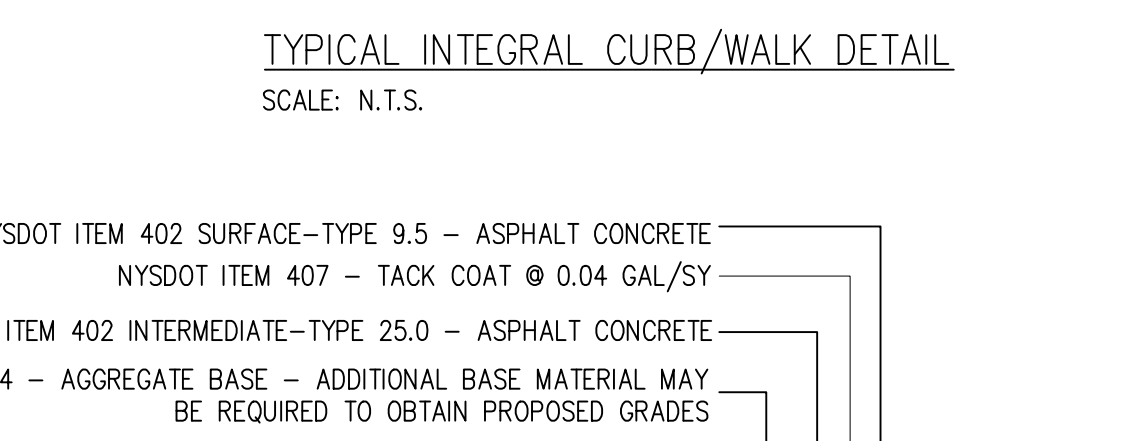


STANDARD SHEETS, May 01, 2023

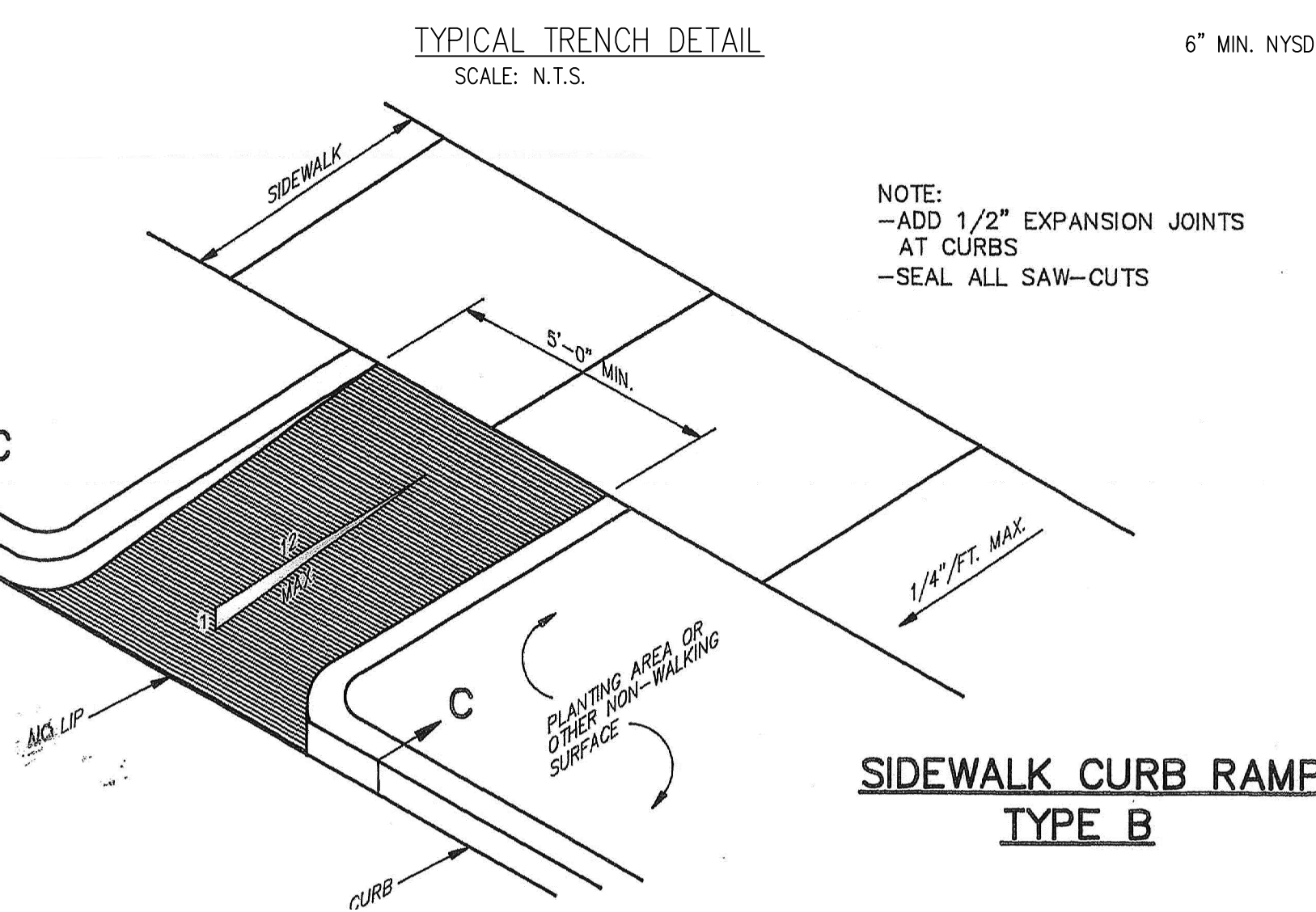
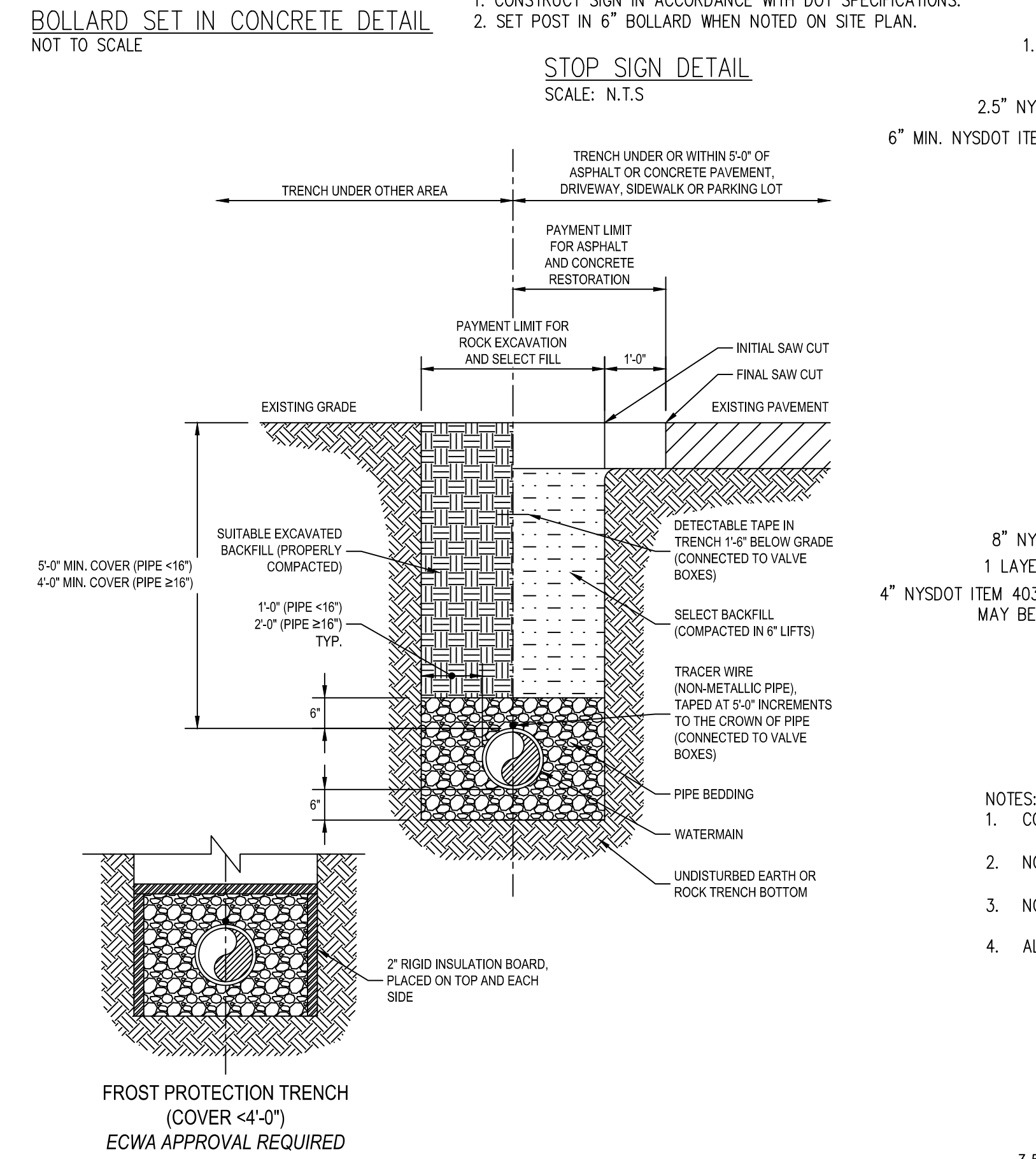
FILE NAME: 685-01-02-02-01-01  
DATE PLOTTED: 11/15/2023 10:57 AM



- NOTES:
- WALK TO BE DIVIDED INTO EQUALLY SPACED BLOCKS AT APPROXIMATELY 8" INTERVALS. EXPANSION JOINT FILLER 1/2" THICK SHALL BE INSTALLED BETWEEN WALK AND ANY FIXED STRUCTURE EXTENDING FOR THE FULL DEPTH OF THE SIDEWALK. THE EXPANSION JOINT FILLER SHALL BE 1" THICK WHERE WALK IS INSTALLED AGAINST BACK OF CURB.
  - CONCRETE THICKNESS TO BE INCREASED TO 6-INCHES THROUGH ALL DRIVE APRONS.
  - NYSDOT ITEM 403.12 THICKNESS TO BE INCREASED TO 6-INCHES THROUGH ALL DRIVE APRONS.



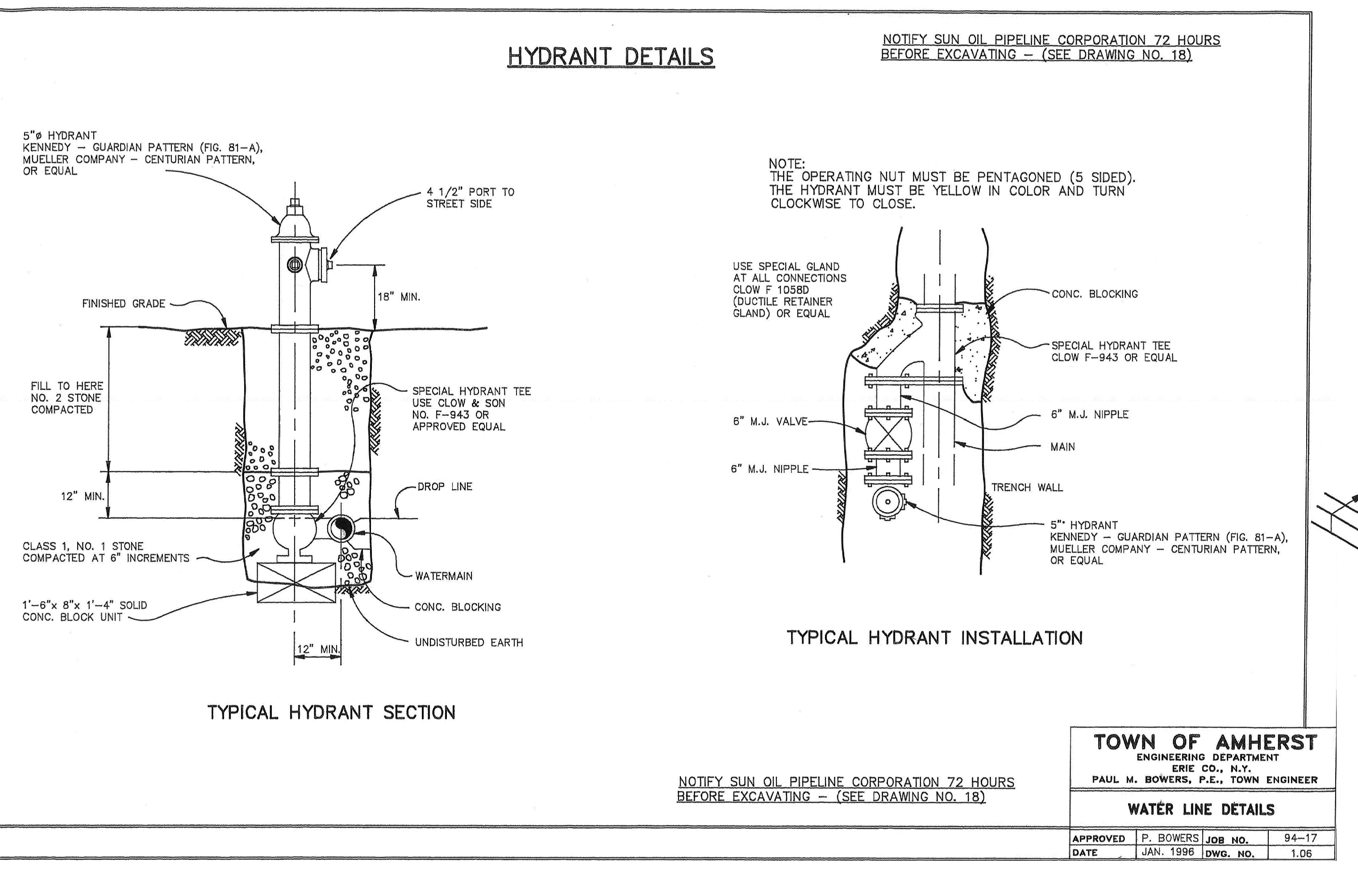
- NOTES:
- CONTRACTOR SHALL INSTALL CONTROL AND EXPANSION JOINTS PER DETAIL.
  - NO SLAB DIMENSION MEASURED ALONG JOINT SHALL EXCEED 15'.
  - NO JOINTS SHALL BE PLACED CLOSER THAN 6' FROM ANY OTHER PARALLEL JOINT OR OF PAVEMENT.
  - ALL JOINTS ENDING AT A CURB SHALL BE EXTENDED THROUGH CURB.



**TOWN OF AMHERST**  
ENGINEERING DEPARTMENT  
ERIE CO., N.Y.  
PAUL M. BOWERS, P.E., TOWN ENGINEER

**PAVING, CURBING AND STORM SEWERS**

APPROVED P. BOWERS JOB NO. 94-17  
DATE JAN. 1996 DWG. NO. 12.1



NO.	DATE	BY	DESCRIPTION
1	09/20/2024	ACH	MAJOR SITE REVIEW APPLICATION



20800 CHAGRIN BLVD  
SUITE 500, SHAKER  
HEIGHTS, OH 44122  
TEL: 216.378.1490  
FAX: 216.378.1497

PROJECT NO.: 08122024  
DRAWING NO.: 2401014  
P.TS  
CHECKED BY:



PREPARED FOR:  
**BREWTOPIA**  
BUFFALO, LCC  
34051 SOLON ROAD, SUITE 105  
SOLON, OH 44139

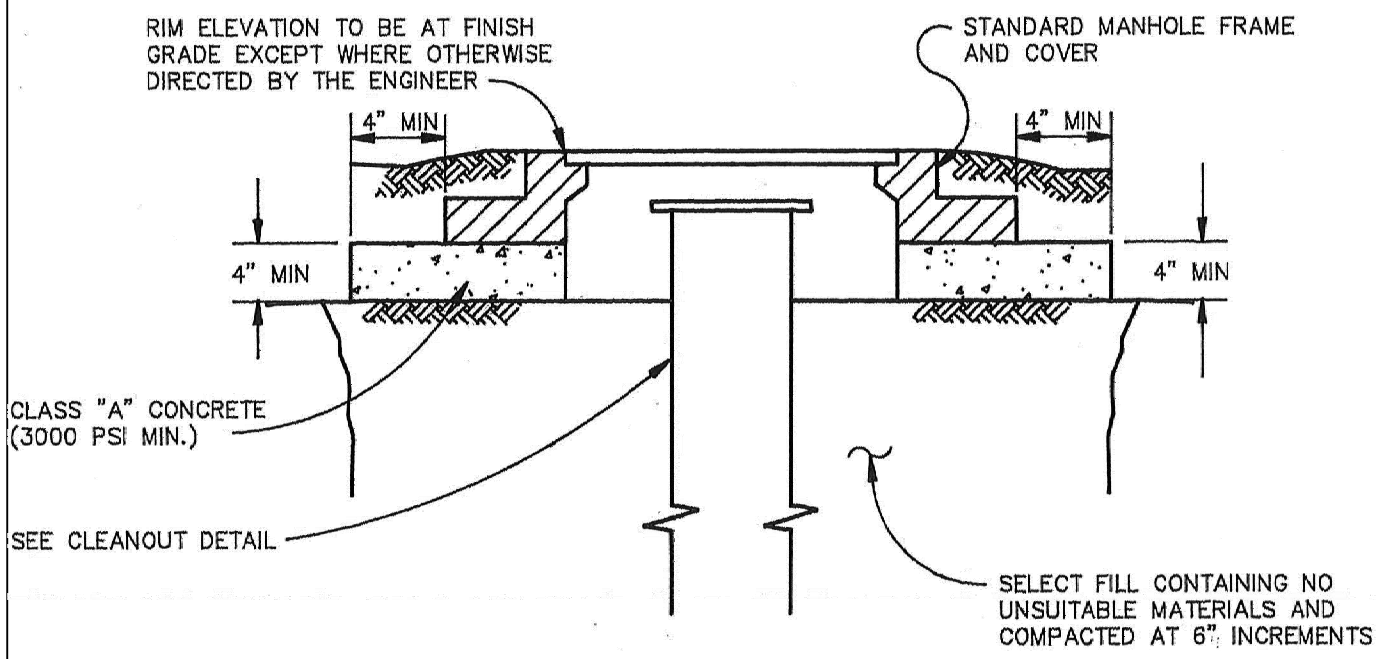
**7BREW AMHERST**  
3999 MAPLE ROAD,  
AMHERST, NY 14226

**CONSTRUCTION DETAILS**

C002

**CLEANOUT WITH STANDARD MANHOLE FRAME AND COVER**

(TO BE USED IN LOCATIONS ONLY AS APPROVED BY TOWN ENGINEER)



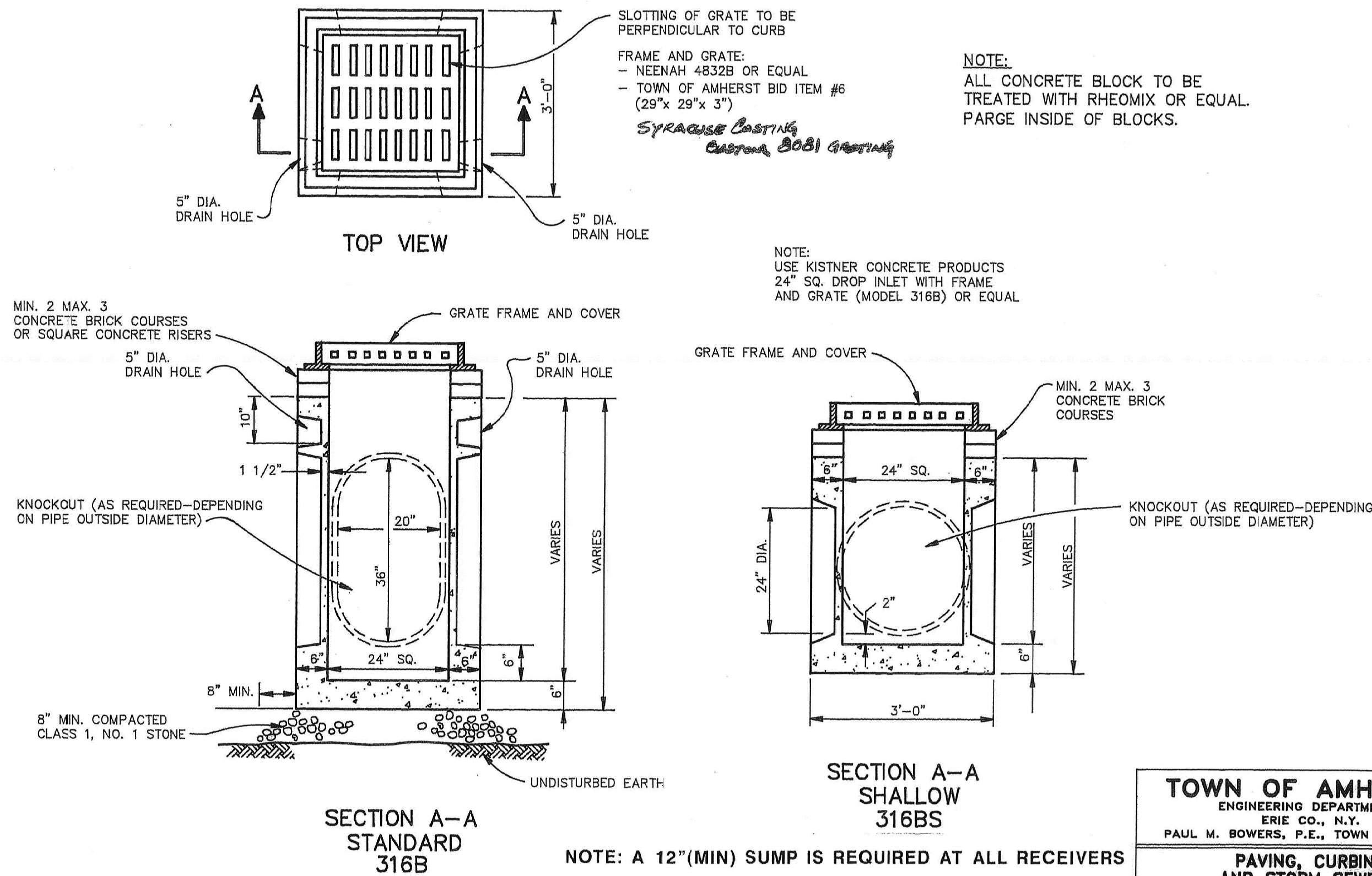
NOTE: CLEANOUT NOT TO BE INSTALLED WHEN DISTANCE FROM M.H. EXCEEDS 150

NOTE: FLOW CHANNELS MUST ALLOW PLACEMENT, REMOVAL AND PASSAGE OF T.V. CAMERAS. THE CAMERA DIMENSIONS ARE APPROXIMATELY 28" LONG X 6 1/2" SQUARE. A BLOCK OF WOOD OF THESE DIMENSIONS MAY BE USED TO SIMULATE THE SIZE OF THE CAMERA. THIS WILL SIMPLIFY THE FORMATION OF FLOW CHANNELS AND INVERTS.

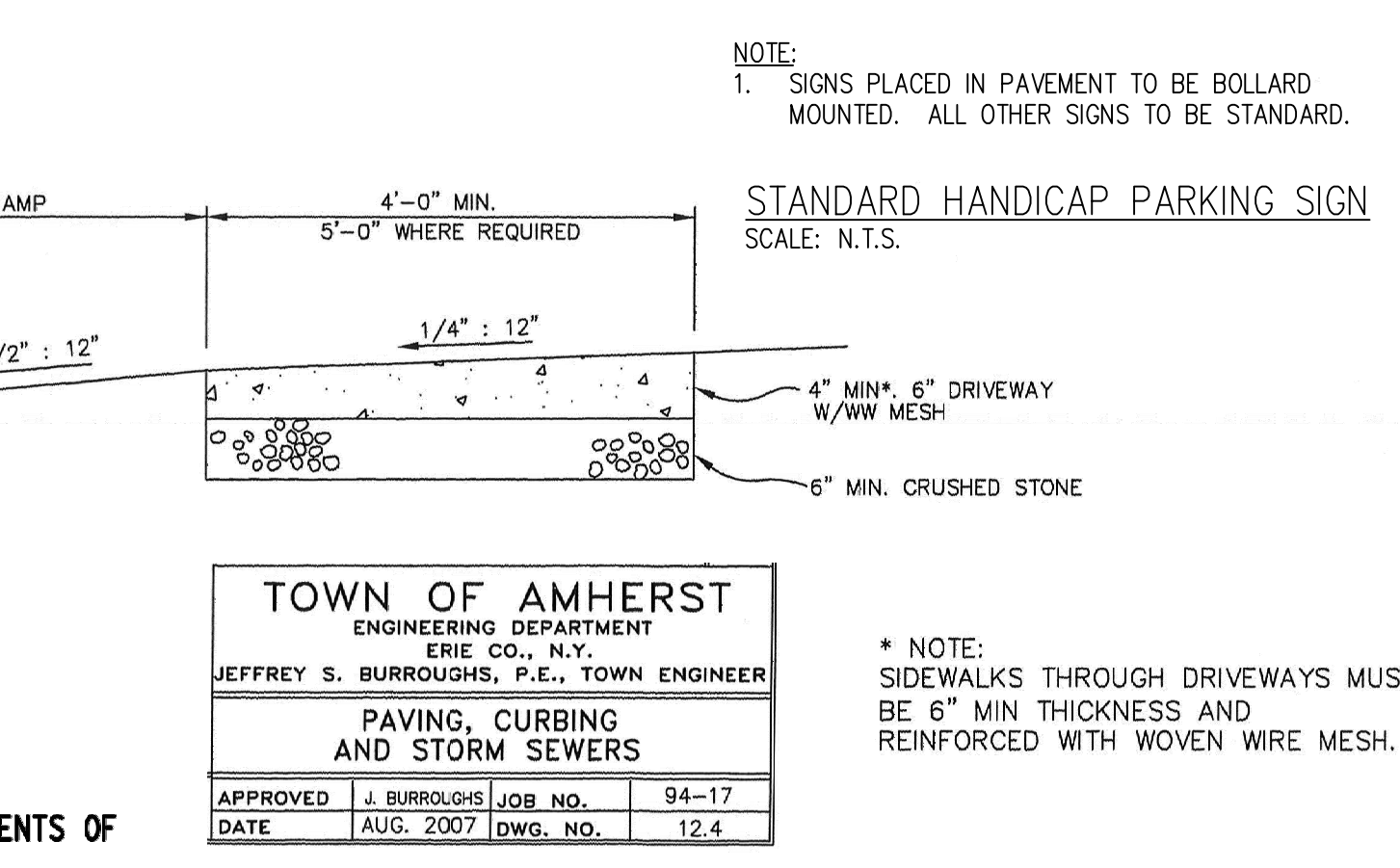
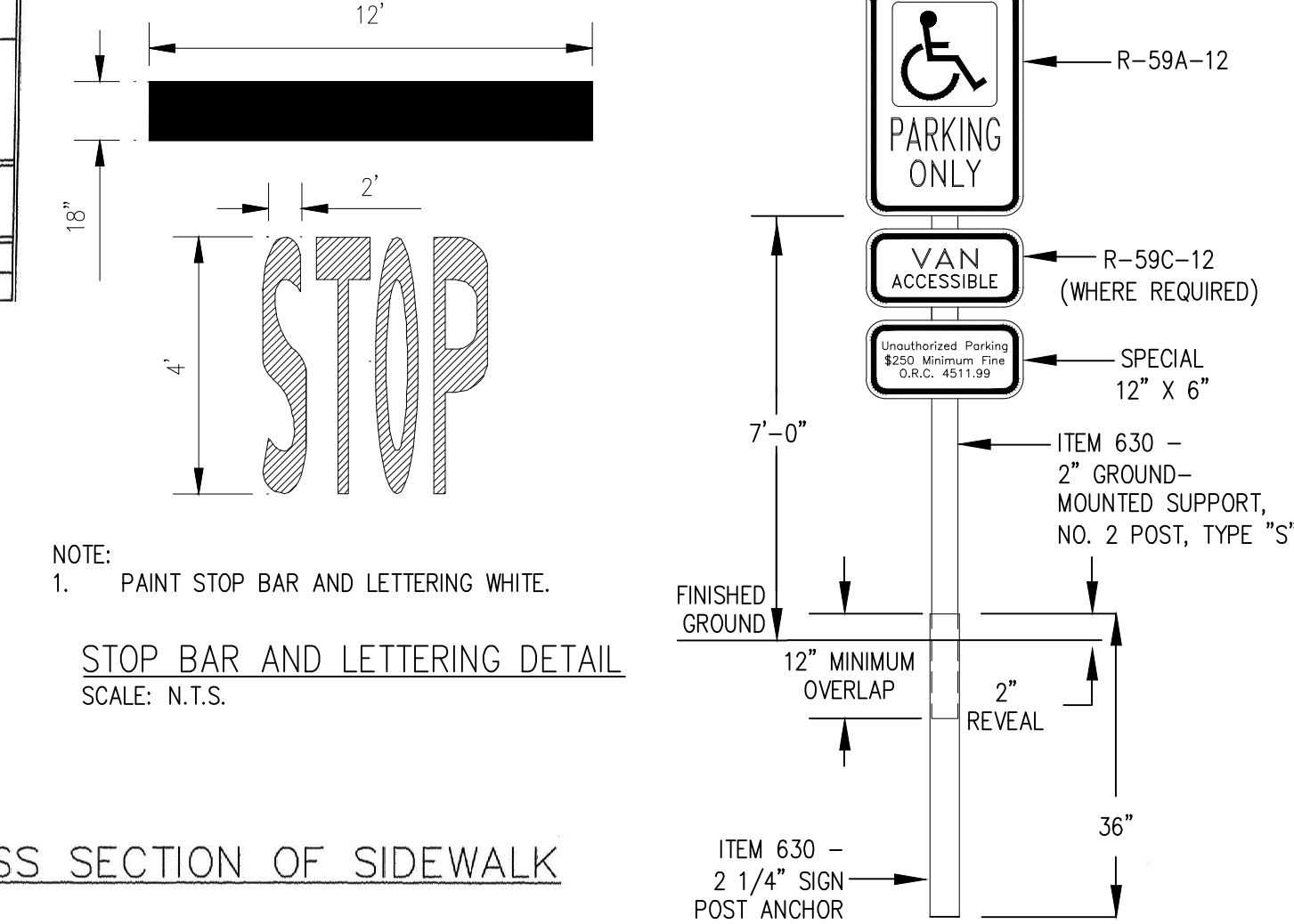
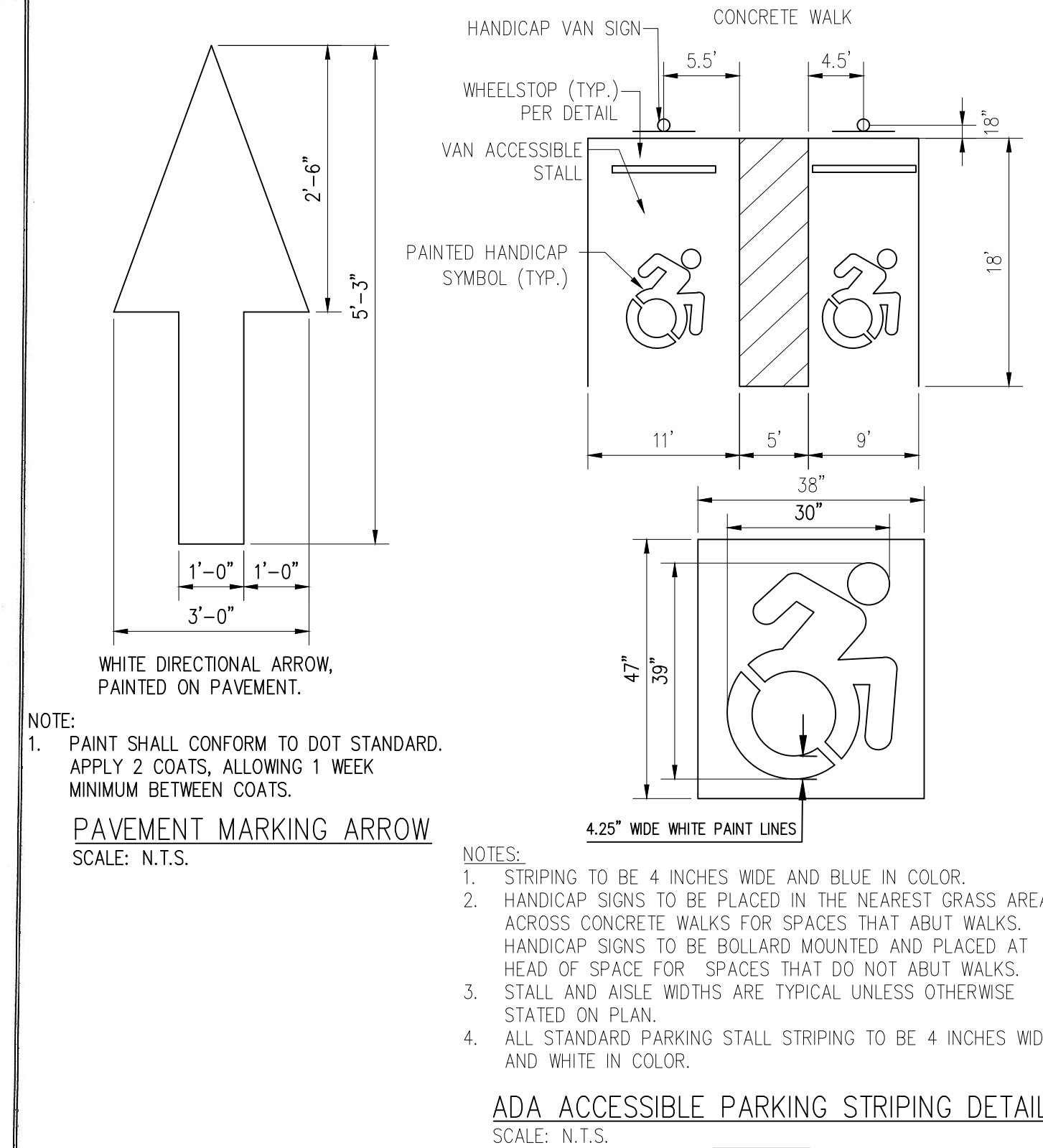
DEPTH OF ALL CHANNELS TO BE 75% OF PIPE DIAMETER. FINISH ALL CHANNELS AT PROPER GRADE AS TO ALLOW SMOOTH & UN-OBSTRUCTED FLOW. ALL INVERTS TO BE FLUSH WITH THE INSIDES.

<b>TOWN OF AMHERST</b>			
ENGINEERING DEPARTMENT ERIE CO., N.Y. PAUL M. BOWERS, P.E., TOWN ENGINEER			
<b>SANITARY SEWERS</b>			
APPROVED	P. BOWERS	JOB NO.	94-17
DATE	JAN. 1996	DWG. NO.	4.04

**STANDARD PRECAST CONCRETE DROP INLET**

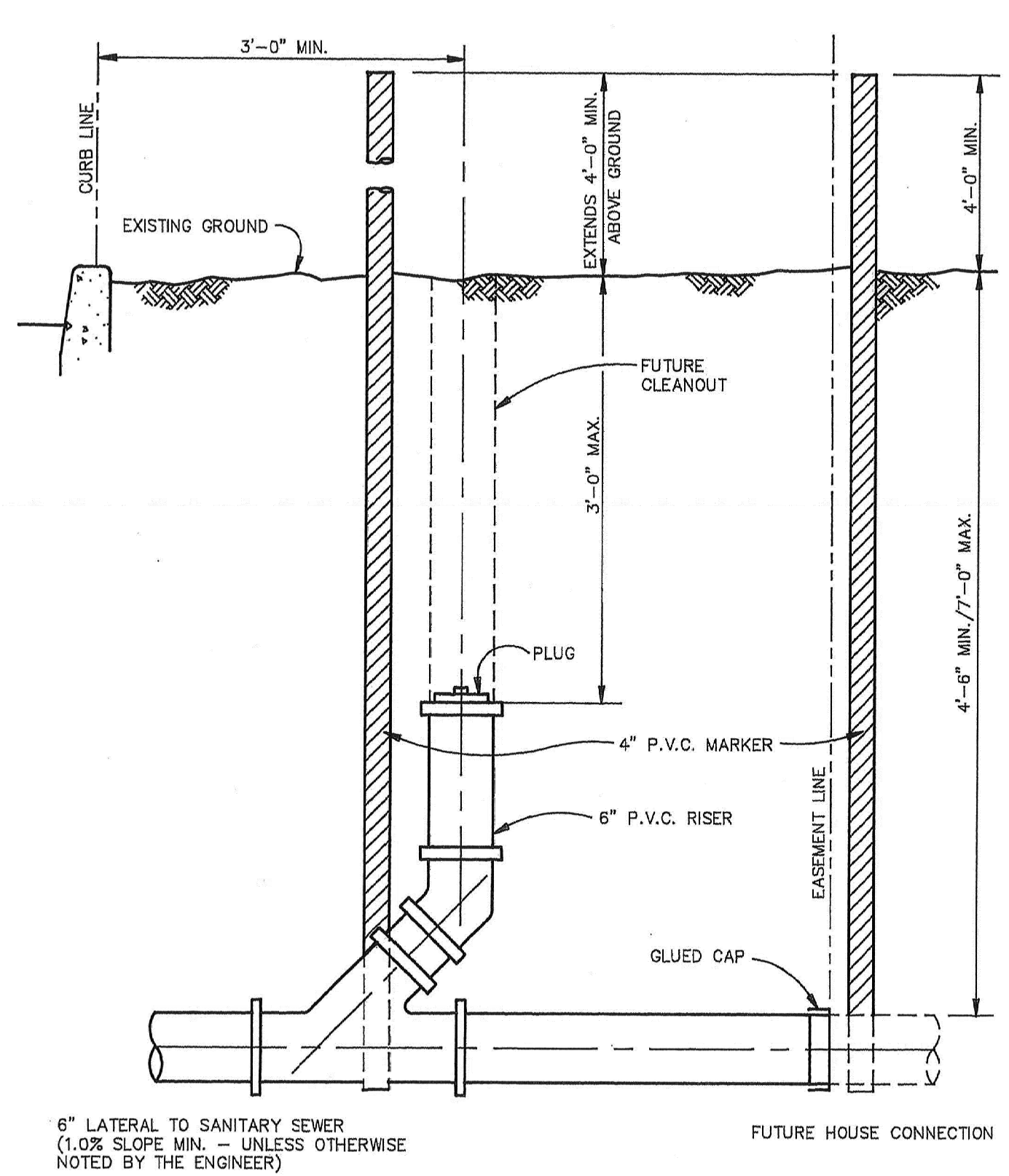


<b>TOWN OF AMHERST</b>			
ENGINEERING DEPARTMENT ERIE CO., N.Y. PAUL M. BOWERS, P.E., TOWN ENGINEER			
<b>PAVING, CURBING AND STORM SEWERS</b>			
APPROVED	P. BOWERS	JOB NO.	94-17
DATE	JAN. 1996	DWG. NO.	8.02

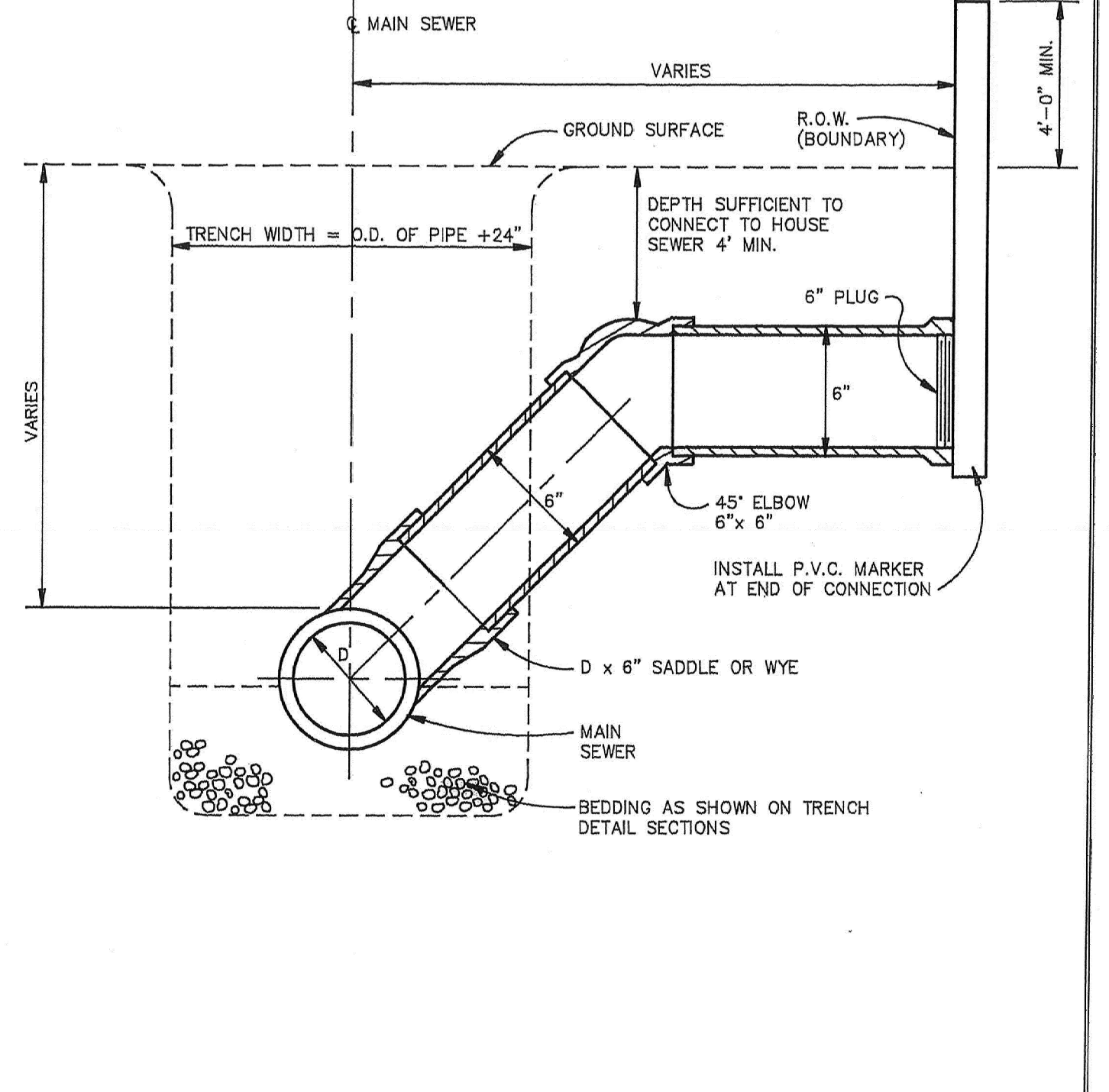


<b>TOWN OF AMHERST</b>			
ENGINEERING DEPARTMENT ERIE CO., N.Y. JEFFREY S. BURROUGHS, P.E., TOWN ENGINEER			
<b>PAVING, CURBING AND STORM SEWERS</b>			
APPROVED	J. BURROUGHS	JOB NO.	94-17
DATE	AUG. 2007	DWG. NO.	12.4

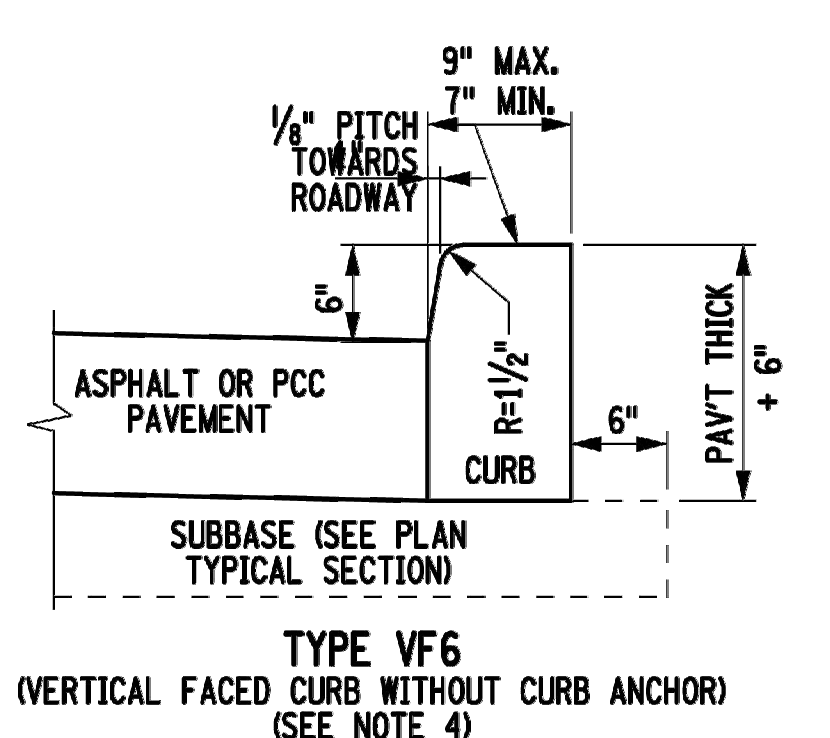
**CLEANOUT AND RISER DETAIL**



**SANITARY-HOUSE CONNECTION-MAIN SEWER TO RIGHT-OF-WAY (BOUNDARY)**



<b>TOWN OF AMHERST</b>			
ENGINEERING DEPARTMENT ERIE CO., N.Y. PAUL M. BOWERS, P.E., TOWN ENGINEER			
<b>SANITARY SEWERS</b>			
APPROVED	P. BOWERS	JOB NO.	94-17
DATE	JAN. 1996	DWG. NO.	7.03



- NOTES:
- USE CURB AND CURB AND GUTTER MEETING THE MATERIAL AND CONSTRUCTION REQUIREMENTS OF SECTION 609 OF THE STANDARD SPECIFICATIONS.
  - CURB ANCHOR (NEW CONSTRUCTION). THIS DETAIL SHOWS PLACEMENT OF CURB ANCHORS. PUSH-IN TYPE ANCHORS MAY BE USED (SHOWN ON THE STANDARD SHEET FOR LONGITUDINAL TIES).
  - CURB TYPES M6A, VF6A AND M4A REQUIRE CURB ANCHOR. CURB AND GUTTER TYPES VF6G AND M4G REQUIRE ANCHORS WHEN PLACED ADJACENT TO CONCRETE PAVEMENT OR SHOULDER.
  - WHEN VERTICAL FACED CURB LESS THAN 9" WIDE IS USED WITH CURB BOXES CU1, CU2, AND CU3 AND CONCRETE SIDEWALK IS PLACED ADJACENT TO THIS CURB, SEE STANDARD SHEET MISCELLANEOUS CURB DETAILS FOR CURB BOX JOINTS.
  - USE WITH CURB BOXES, CM1, CM2, AND CM3.
  - THIS DETAIL EXCLUDES CAST-IN-PLACE CONCRETE CURB
  - FROM NYSDOT 609-01 - SHEET 3 OF 4

NO. 1 DATE 1/19/2024 BY ACH MAJOR SITE REVIEW APPLICATION

DESCRIPTION

20800 CHAGRIN BLVD  
SUITE 600, SHAKER  
HEIGHTS, OH 44122  
TEL: 216.378.1490  
FAX: 216.378.1497

PROJECT NO.: 24001014  
PROJECT DATE: 08/12/2024  
DRAWN BY: ACH  
CHECKED BY:

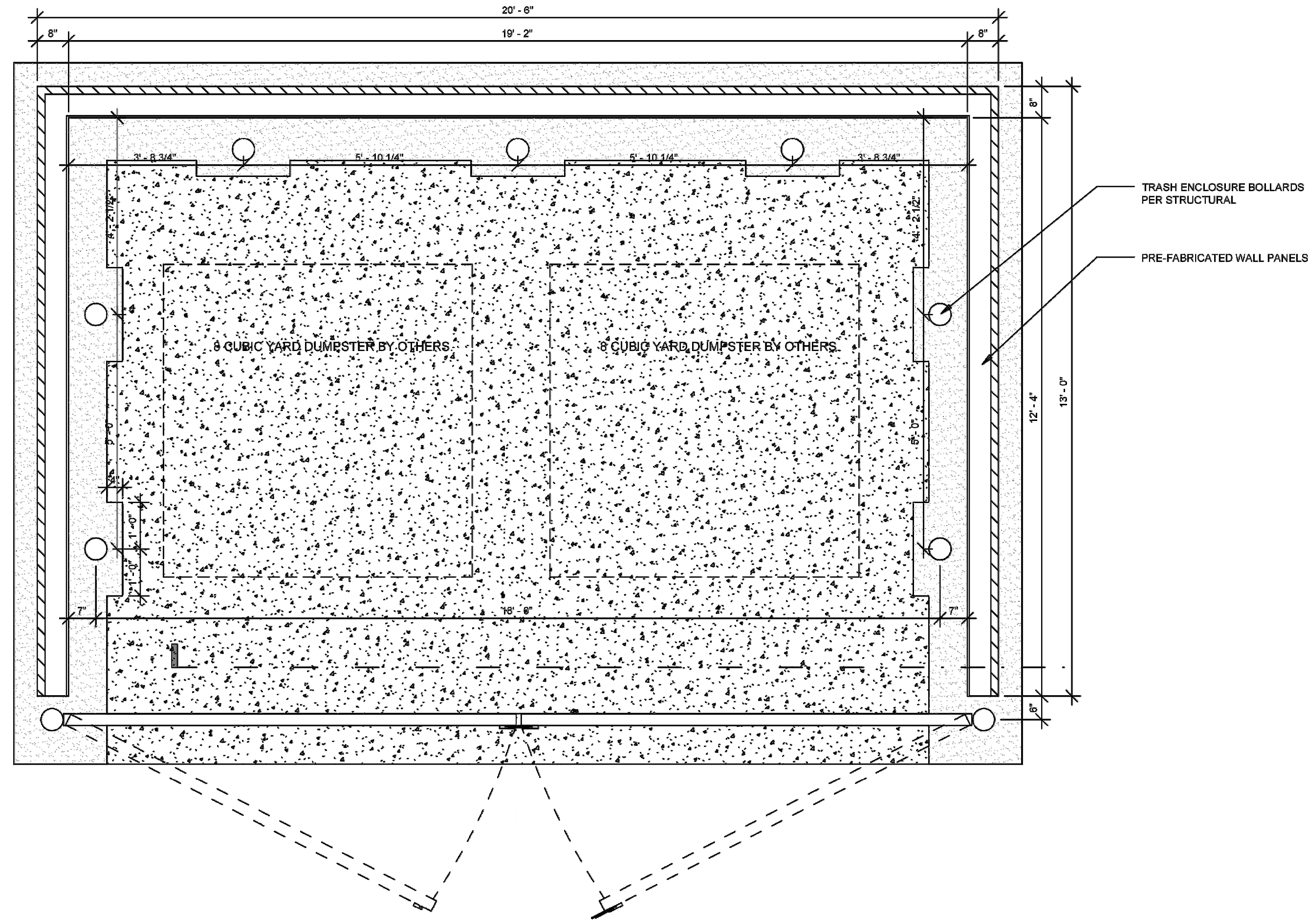
TRILON SERVICES, NY, INC  
AND  
Mannik Smith GROUP  
CREATIVE SPIN!  
www.MannikSmithGroup.com

PREPARED FOR:  
BREWTOPIA  
BUFFALO, LCC  
34050 SOLON ROAD, SUITE 105  
SOLON, OH 44139

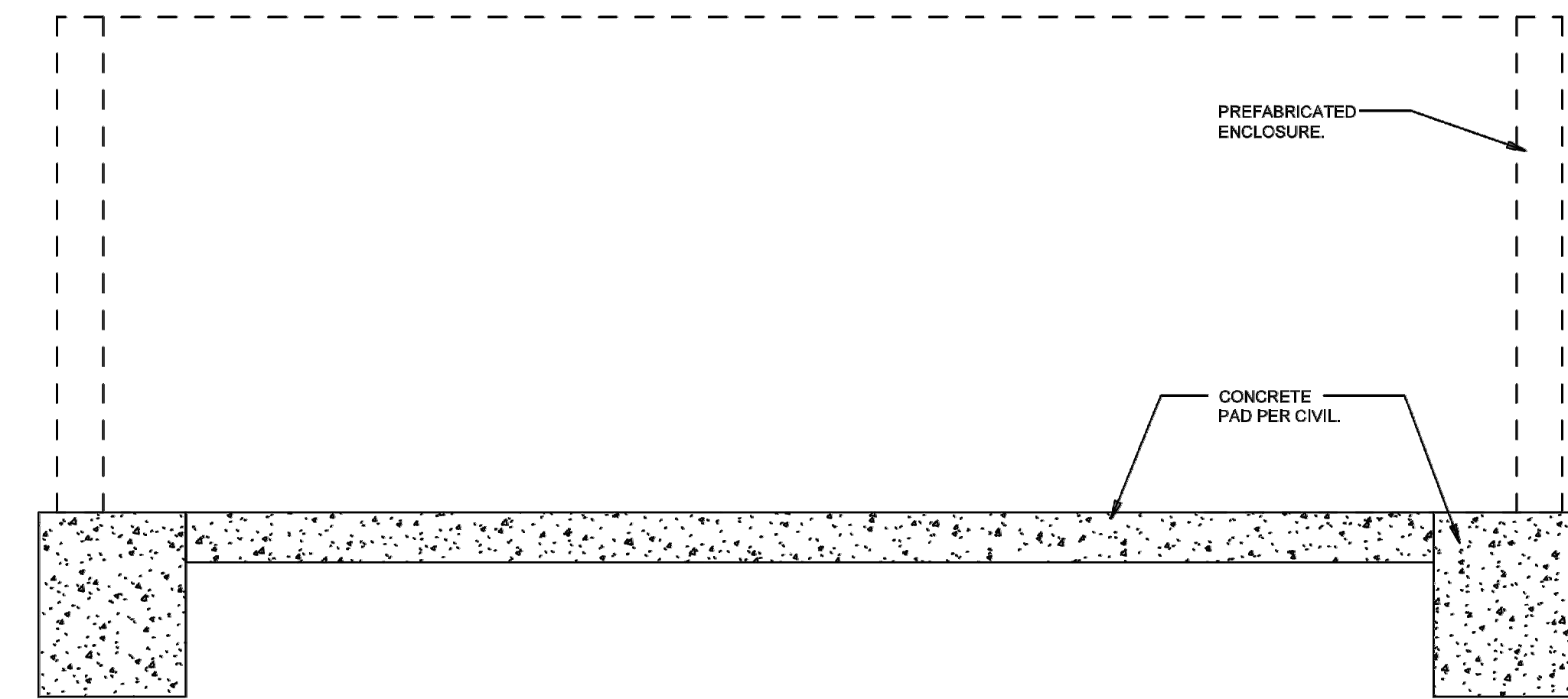
7BREW AMHERST  
3989 MAPLE ROAD,  
AMHERST, NY 14226

CONSTRUCTION DETAILS

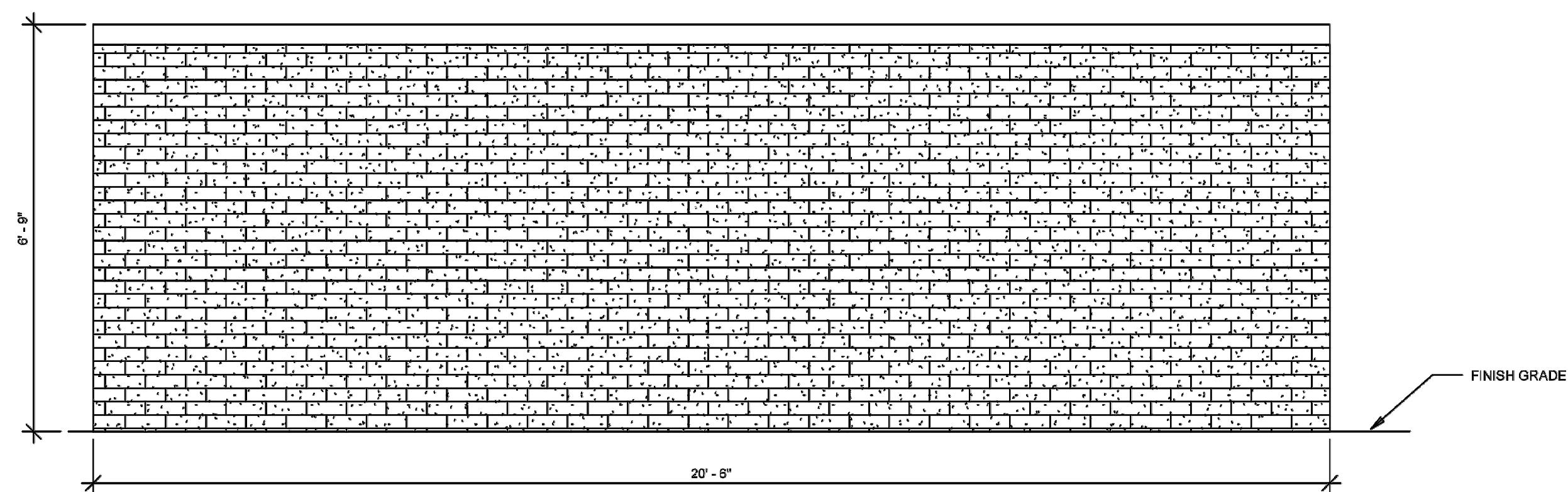
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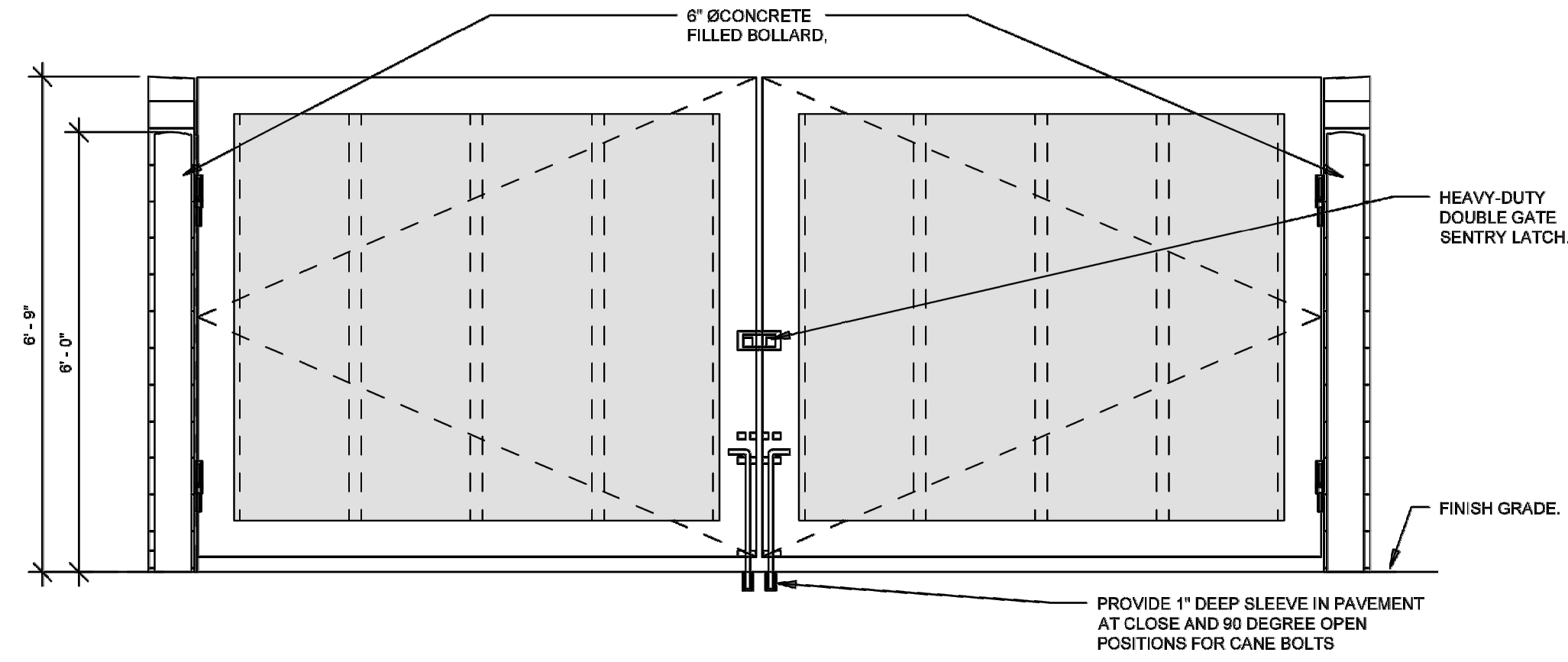
**TRASH ENCLOSURE**  
1/2" = 1'-0"



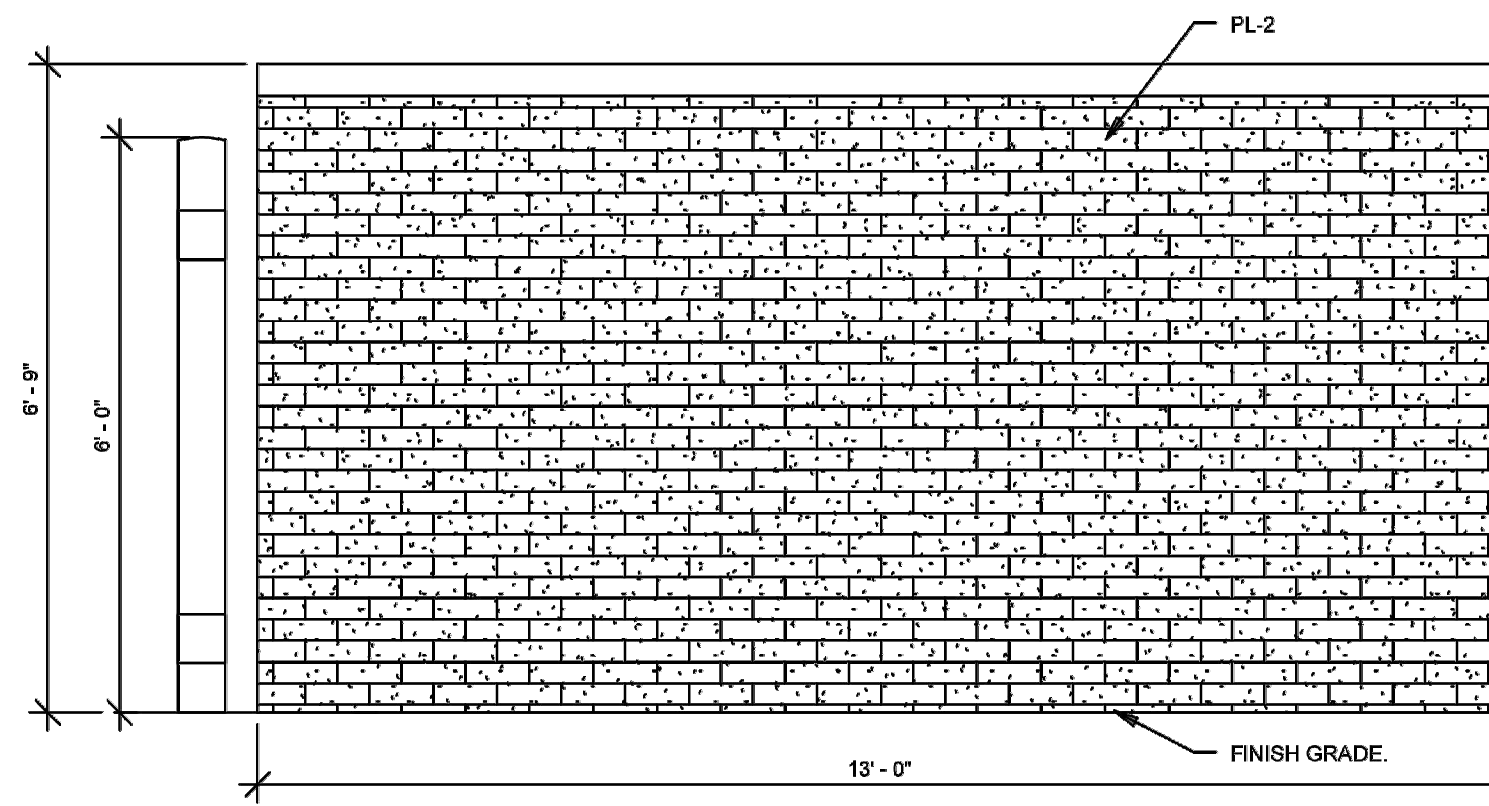
**TRASH ENCLOSURE - SECTION DETAIL**  
1/2" = 1'-0"



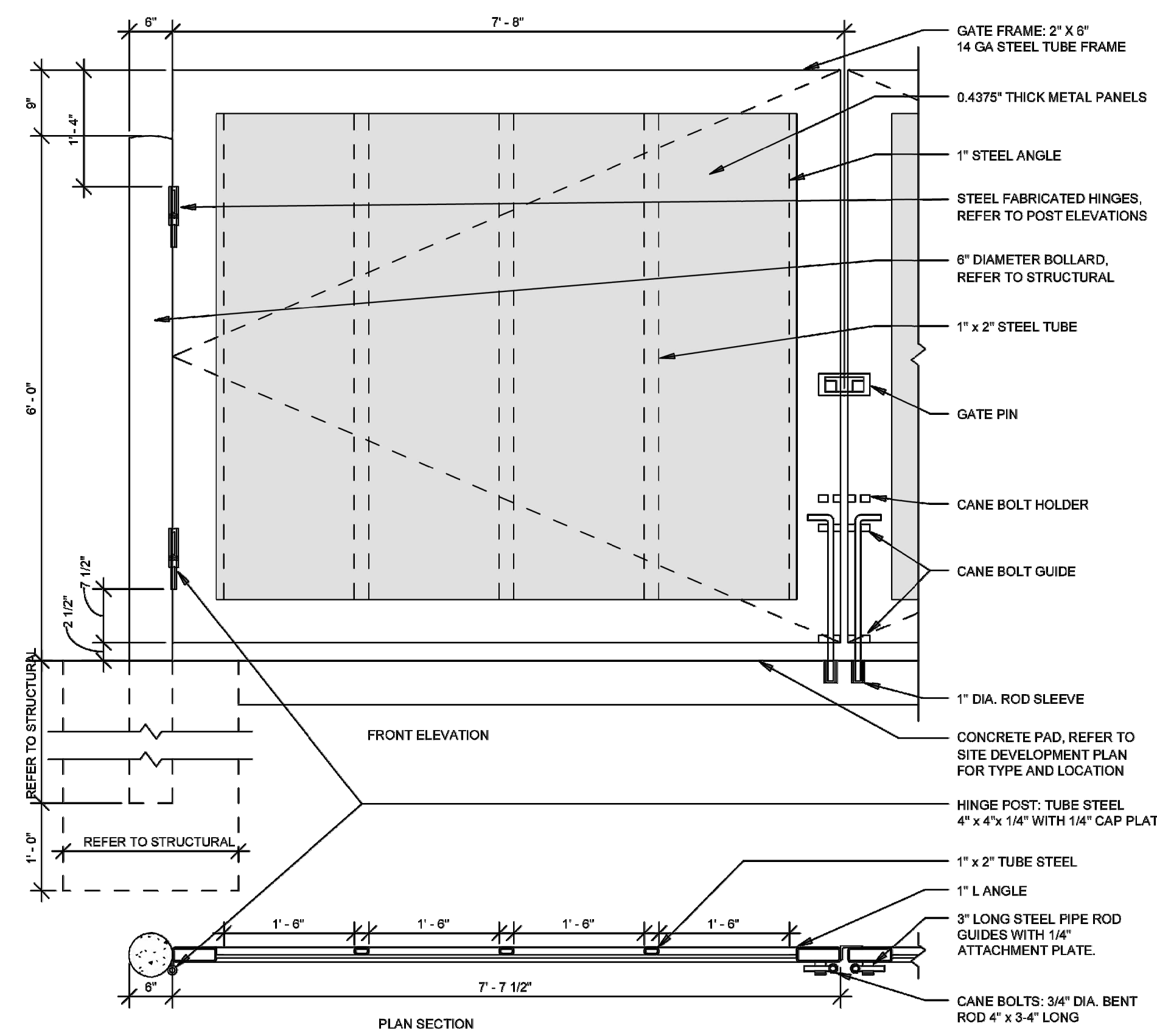
**TRASH ENCLOSURE - BACK ELEVATION**  
1/2" = 1'-0"



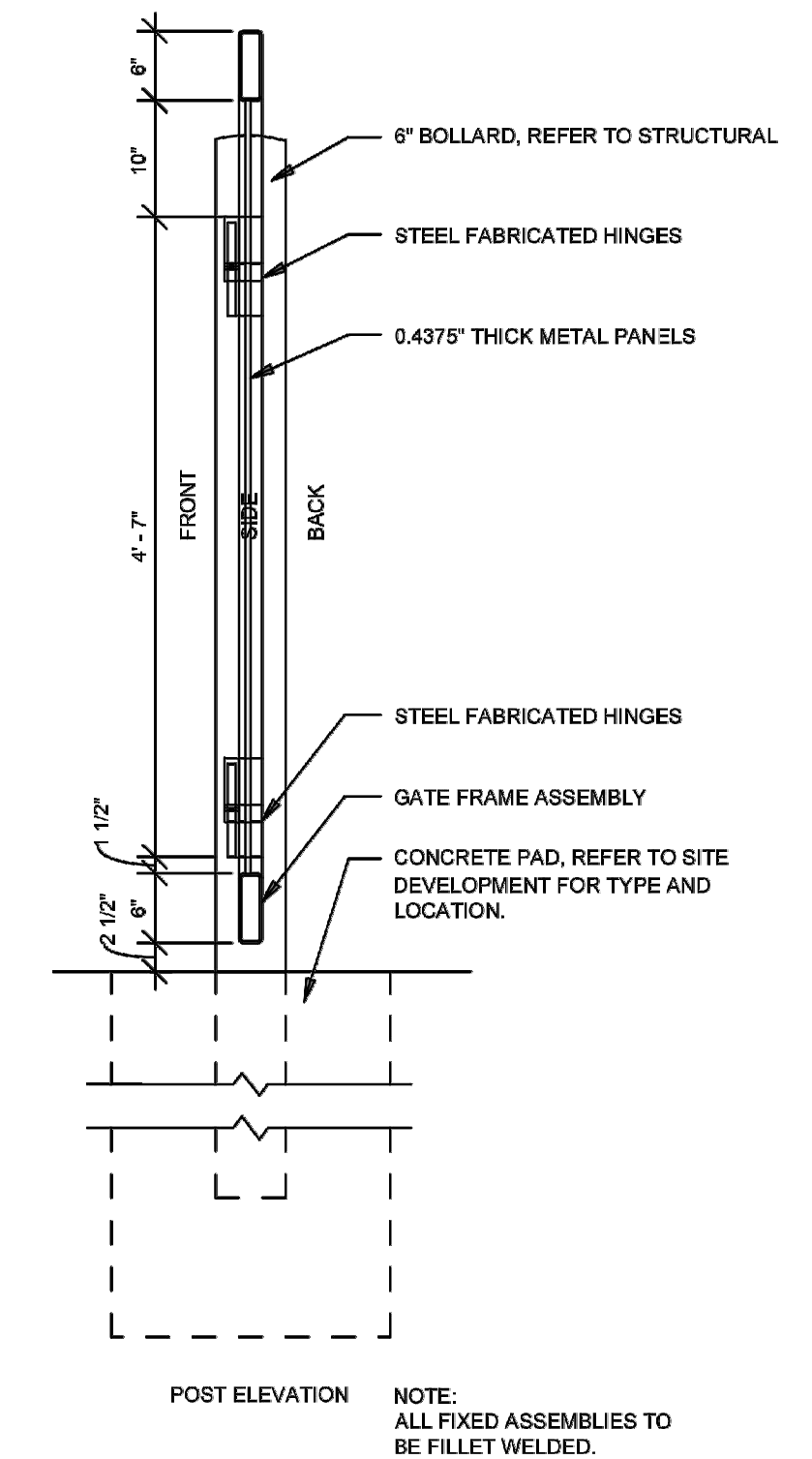
**TRASH ENCLOSURE - FRONT ELEVATION**  
1/2" = 1'-0"



**TRASH ENCLOSURE - SIDE ELEVATION**  
1/2" = 1'-0"



**TRASH ENCLOSURE GATE DETAILS**  
3/4" = 1'-0"



OFFICIAL TOWN USE ONLY

NO.	DATE	BY	DESCRIPTION
1	09/20/2024	ACH	MAJOR SITE REVIEW APPLICATION



20800 CHAGRIN BLVD  
SUITE 500, SHAKER  
HEIGHTS, OH 44122  
TEL: 216.378.1490  
FAX: 216.378.1497

PROJECT DATE: 09/12/2024  
PROJECT NO.: 24001014

DRAWN BY: PTS  
CHECKED BY: ACH

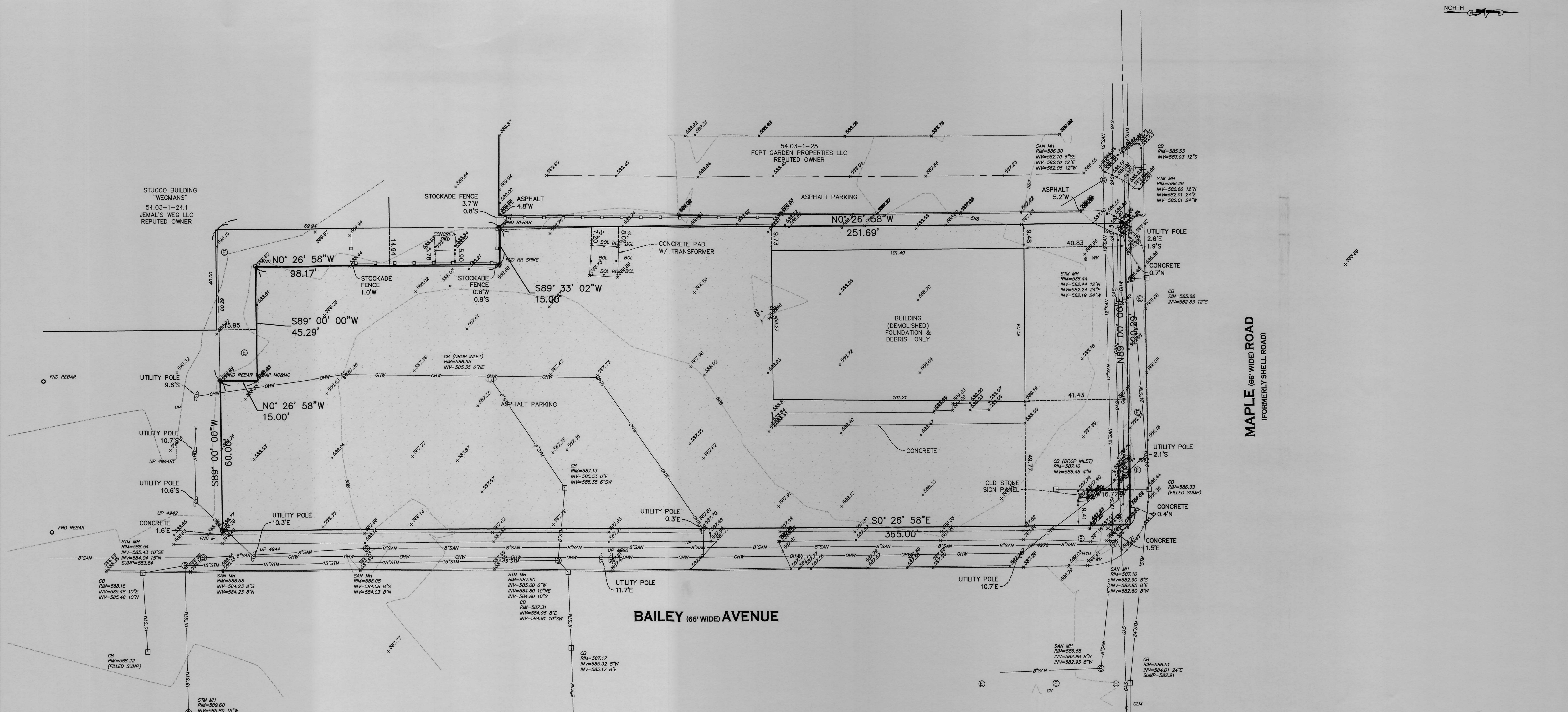
TRILON SERVICES, NY, INC  
AND  
**Mannik Smith GROUP**  
www.MannikSmithGroup.com

PREPARED FOR:  
BREWTOPIA  
BUFFALO, LCC  
34050 SOLON ROAD, SUITE 105  
SOLON, OH 44139

7BREW AMHERST  
3999 MAPLE ROAD,  
AMHERST, NY 14226

DUMPSTER  
ENCLOSURE DETAILS

C004



**LEGEND**

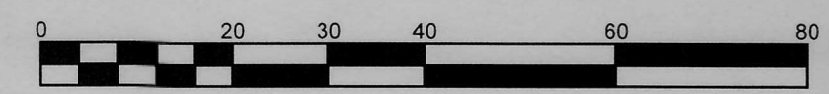
- |                          |  |                       |
|--------------------------|--|-----------------------|
| ▲ ANTENNA/DISH           | ⊕ HYDRANT                                | ⊕ WATER MANHOLE       |
| ⊕ BENCHMARK              | ⊕ PROPERTY MONUMENT (AS DESCRIBED)       | ⊕ WATER METER         |
| ⊕ BOLLARD                | ⊕ LIGHT POLE                             | ⊕ WATER SERVICE VALVE |
| ⊕ CATCH BASIN            | ⊕ MONUMENT AS DESCRIBED                  | ⊕ WATER VALVE         |
| ⊕ CLEANOUT               | ⊕ OIL LINE MARKER                        | ⊕ WELL                |
| ⊕ COMMUNICATIONS BOX     | ⊕ PHONE BOOTH                            | ⊕ YARD DRAIN          |
| ⊕ COMMUNICATIONS MANHOLE | ⊕ PIPE OUTLET                            |                       |
| ⊕ COMMUNICATIONS MARKER  | ⊕ POST                                   | TOP OF DITCH          |
| ⊕ COMMUNICATIONS VAULT   | ⊕ POWER VAULT                            | CENTERLINE OF ROAD    |
| ⊕ CONIFEROUS SHRUB       | ⊕ RAILROAD CONTROL BOX                   | CENTERLINE OF DITCH   |
| ⊕ CONIFEROUS TREE        | ⊕ SANITARY SEWER MANHOLE                 | FENCE (CHAINLINK)     |
| ⊕ CUT                    | ⊕ SCUPPER                                | FENCE (WOOD)          |
| ⊕ DECIDUOUS SHRUB        | ⊕ SIGN (SINGLE POLE)                     | GAS MAIN              |
| ⊕ DECIDUOUS TREE         | ⊕ SIGN (DOUBLE POLE)                     | GUIDE RAIL (BOX BEAM) |
| ⊕ DRILL/AUGER HOLE       | ⊕ SIGN (TRIPLE POLE)                     | GUIDE RAIL (W BEAM)   |
| ⊕ ELECTRIC MANHOLE       | ⊕ SIGNAL POLE                            | OVERHEAD WIRES        |
| ⊕ ELECTRIC METER         | ⊕ SIGNAL POLE (WITH TRAFFIC UTILITY BOX) | LOT LINE              |
| ⊕ END SECTION            | ⊕ STORM SEWER MANHOLE                    | PARCEL LINE           |
| ⊕ FILLER CAPS            | ⊕ TRAFFIC CONTROL BOX                    | RAILROAD              |
| ⊕ FLAG POLE              | ⊕ TRAFFIC PULLBOX                        | RIGHT OF WAY LINE     |
| ⊕ FLOOD LIGHT            | ⊕ UNKNOWN MANHOLE                        | SANITARY SEWER LINE   |
| ⊕ GAS LINE MARKER        | ⊕ UTILITY BOX                            | STORM SEWER LINE      |
| ⊕ GAS MANHOLE            | ⊕ UTILITY POLE                           | TREE LINE             |
| ⊕ GAS METER              | ⊕ UTILITY POLE WITH LIGHT                | UNDERGROUND CONDUIT   |
| ⊕ GAS SERVICE VALVE      |  | UNDERGROUND ELECTRIC  |
| ⊕ GAS VALVE              |  | WATER MAIN            |
| ⊕ GUY WIRE               |  |                       |
| ⊕ HANDICAP PARKING       |  |                       |

**BAILEY (66' WIDE) AVENUE**

**MAPLE (66' WIDE) ROAD (FORMERLY SHELL ROAD)**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORD DRAWINGS PROVIDED TO THE SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO SUBSTANTIATE BURIED UTILITIES AND STRUCTURES. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. BEFORE EXCAVATIONS ARE BEGUN, THE APPROPRIATE AGENCIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.

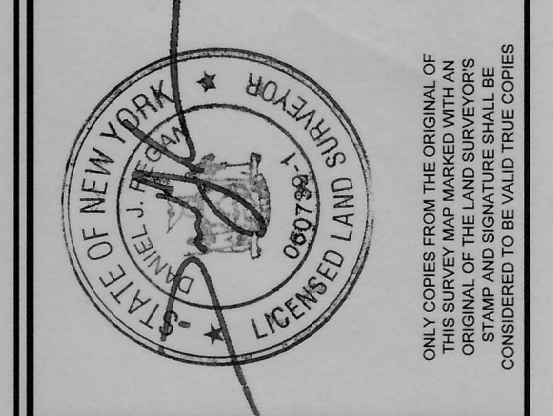
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN UP-TO-DATE ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.



SCALE 1"=20'  
GRAPHIC SCALE IN FEET

ITEM	DATE	DESCRIPTION

DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	

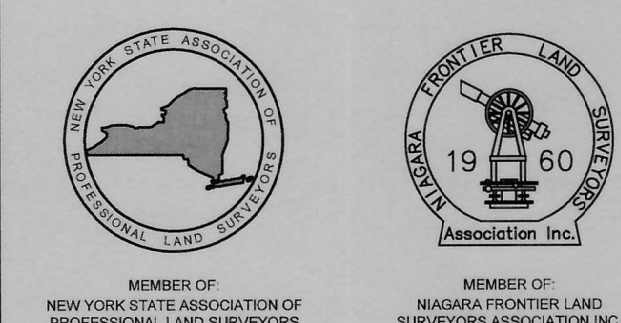


**WM SCHUTT ASSOCIATES**  
 37 CENTRAL AVE.  
 LANCASTER, NY 14086-2143  
 PH. 716-683-5961  
 FAX 716-683-0169  
 WWW.WMSCHUTT.COM

**TOWN OF AMHERST  
 COUNTY OF ERIE, STATE OF NEW YORK  
 PART OF LOT(S) 84, TOWNSHIP 12, RANGE 7  
 HOLLAND LAND COMPANY'S SURVEY  
 3999 MAPLE ROAD  
 BOUNDARY & TOPOGRAPHIC SURVEY**

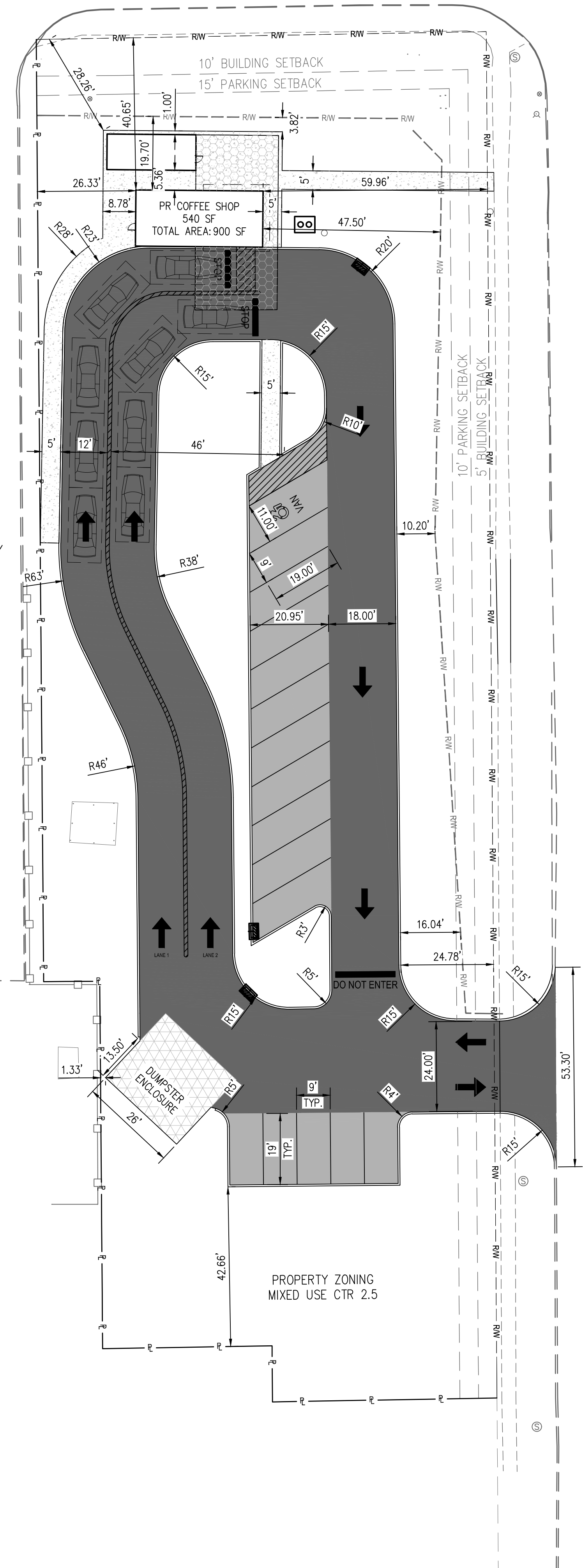
**BT-1**

DRAWING SCALE: 1"=20'  
 SURVEY FILE: D24035-01  
 WSA PROJECT NO. 24035



ELEVATIONS BASED ON NAVD83 AS ESTABLISHED BY RTK GNSS OBSERVATIONS UTILIZING THE NYSNET NYSNET GNSS NETWORK

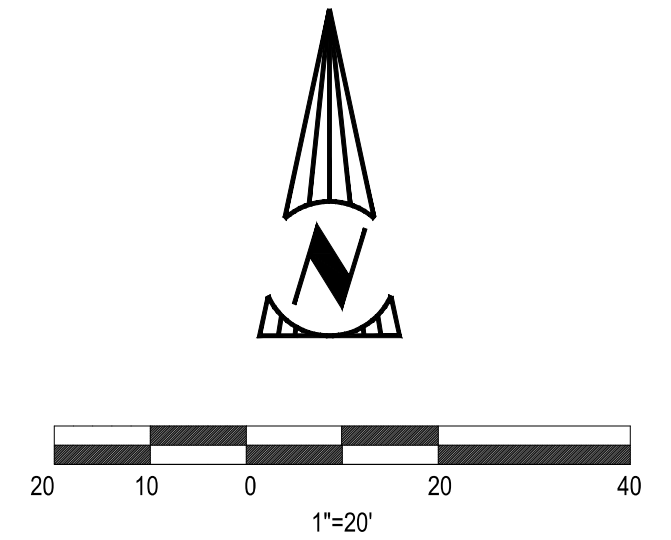
ADJACENT PROPERTY  
ZONING MIXED USE  
CTR-2.5



ADJACENT PROPERTY  
ZONING MIXED USE  
CTR-5

BAILEY ROAD  
66' RIGHT-OF-WAY

ADJACENT PROPERTY  
ZONING SHOPPING  
CENTER DISTRICT SC-3



**PROPOSED SITE LAYOUT LEGEND**

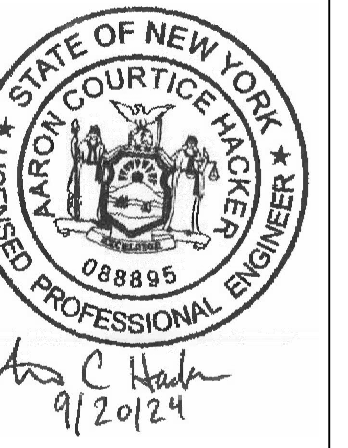
- STANDARD DUTY ASPHALT PAVEMENT PER DETAIL
- HEAVY DUTY ASPHALT PAVEMENT PER DETAIL
- HEAVY DUTY CONCRETE PAVEMENT PER DETAIL
- BUILDING CANOPY
- CONCRETE SIDEWALK PER DETAIL
- GRAVEL SURFACE PER DETAIL
- CHAIN LINK FENCE
- WOOD FENCE
- GUARDRAIL
- PROPOSED ROW FROM FUTURE ROAD WIDENING
- SIGN
- BOLLARD
- POLE MOUNTED SITE LIGHT
- HANDI-CAP PARKING SYMBOL
- DIRECTIONAL ARROW PAVMT. MARKING
- PROPOSED PARKING SPACES
- SITE LAYOUT CODED NOTE

**GENERAL NOTES:**

1. ALL PAVEMENT DIMENSIONS ARE TO THE EDGE OF PAVEMENT/FACE OF CURB UNLESS NOTED OTHERWISE.
2. LANDSCAPE ISLAND WITH DIMENSIONS REPRESENT BACK OF CURB TO BACK OF CURB.
3. ALL DIMENSIONS SHOWN ARE PERPENDICULAR TO ITEMS BEING DIMENSIONED.
4. THE ENTRANCE DRIVES AND BUILDING ARE PARALLEL AND PERPENDICULAR TO THE RIGHT OF WAY. THE PARKING LOT IS PARALLEL AND PERPENDICULAR TO THE NORTHERN PROPERTY LINE.
5. CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY ONSITE AND OFFSITE ITEMS DAMAGED DURING CONSTRUCTION IN THE SAME OR BETTER CONDITION THAN THEY WERE PRIOR TO CONSTRUCTION.

OFFICIAL TOWN USE ONLY

NO.	DATE	BY	DESCRIPTION
1	09/20/2024	ACH	MAJOR SITE REVIEW APPLICATION



20800 CHAGRIN BLVD  
SUITE 500, SHAKER  
HEIGHTS, OH 44122  
TEL: 216.378.1490  
FAX: 216.378.1497  
PROJECT DATE: 08/12/2024  
PROJECT NO.: 24001014  
DRAWN BY: PTS  
CHECKED BY: ACH

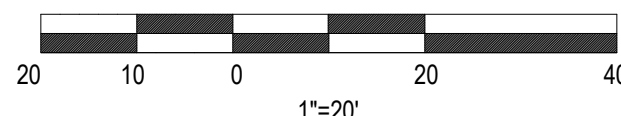
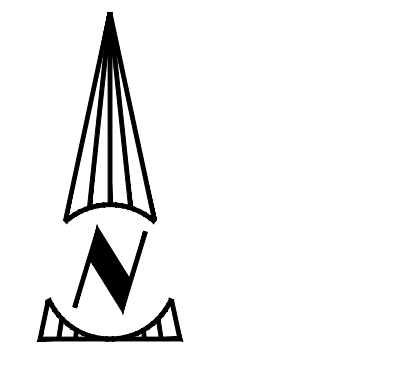
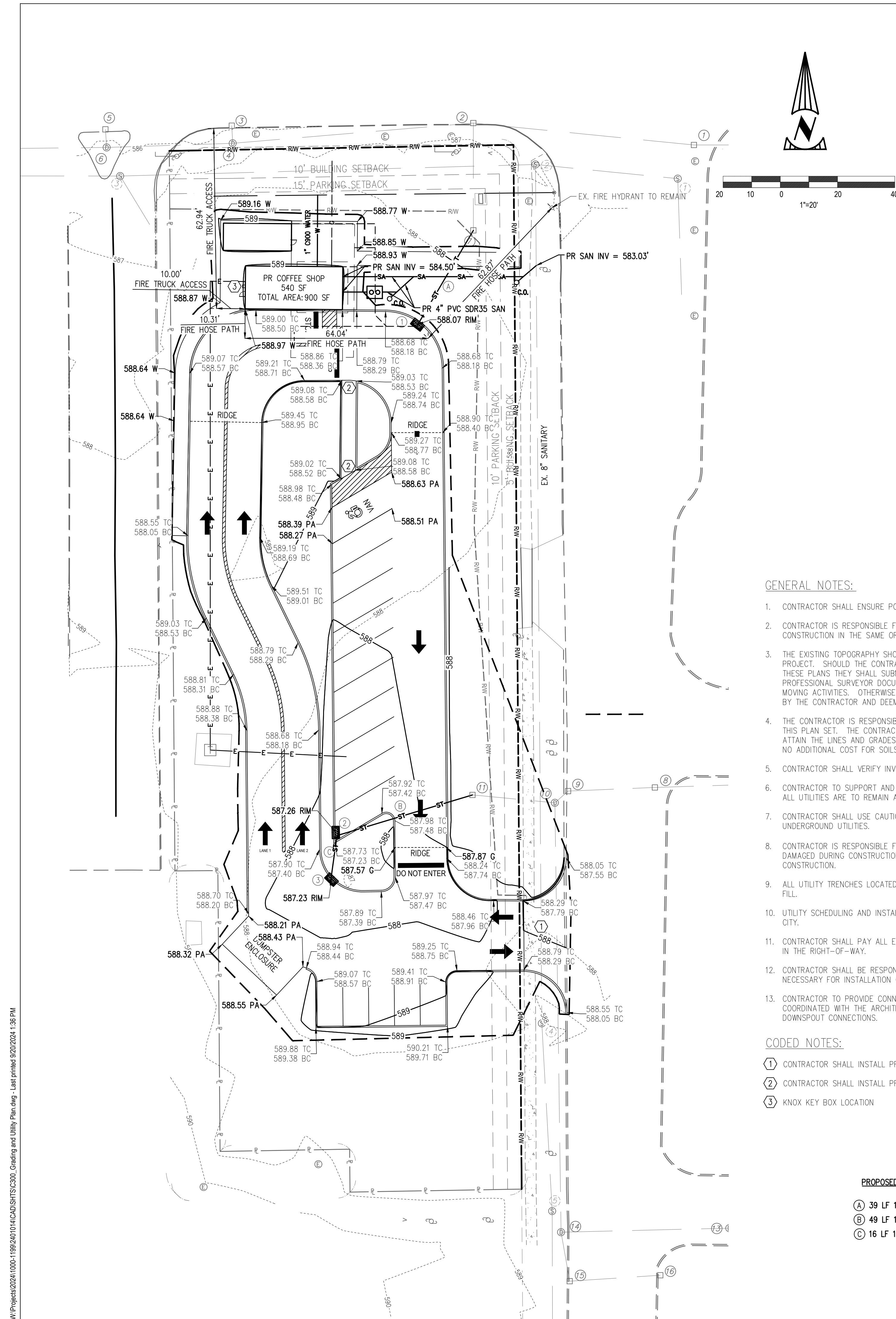
TRILON SERVICES, NY, INC  
AND  
**Mannik Smith GROUP**  
www.MannikSmithGroup.com

PREPARED FOR:  
**BREWTOPIA  
BUFFALO, LCC**  
34050 SOLON ROAD, SUITE 105  
SOLON, OH 44139

**7BREW AMHERST**  
3999 MAPLE ROAD,  
AMHERST, NY 14226

**SITE PLAN**

C200



**GENERAL NOTES:**

- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY ONSITE AND OFFSITE ITEMS DAMAGED DURING CONSTRUCTION IN THE SAME OR BETTER CONDITION THAN THEY WERE PRIOR TO CONSTRUCTION.
- THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS THE SURVEY OF RECORD FOR THIS PROJECT. SHOULD THE CONTRACTOR TAKE EXCEPTION TO THE EXISTING TOPOGRAPHY AS SHOWN IN THESE PLANS THEY SHALL SUBMIT A TOPOGRAPHIC SURVEY PREPARED BY A REGISTERED PROFESSIONAL SURVEYOR DOCUMENTING THEIR EXCEPTION PRIOR TO INITIATION OF ANY EARTH MOVING ACTIVITIES. OTHERWISE THE TOPOGRAPHY CONTAINED WITHIN THESE PLANS IS ACCEPTED BY THE CONTRACTOR AND DEEMED ACCURATE FOR ALL GRADING AND SOILS MANAGEMENT ISSUES.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE LINES AND GRADES ILLUSTRATED WITHIN THIS PLAN SET. THE CONTRACTOR IS TO INCLUDE ALL SOILS IMPORT OR EXPORT NECESSARY TO ATTAIN THE LINES AND GRADES ILLUSTRATED HEREIN WITHIN THE BASE BID OF THIS PROJECT WITH NO ADDITIONAL COST FOR SOILS IMPORT OR EXPORT.
- CONTRACTOR SHALL VERIFY INVERT OF EXISTING STRUCTURES PRIOR TO ORDERING STRUCTURES.
- CONTRACTOR TO SUPPORT AND PROTECT EXISTING UTILITIES THROUGHOUT DURATION OF CONTRACT. ALL UTILITIES ARE TO REMAIN ACTIVE.
- CONTRACTOR SHALL USE CAUTION WHILE WORKING AROUND ALL EXISTING ABOVEGROUND AND UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY ONSITE AND OFFSITE ITEMS (INCLUDING TREES) DAMAGED DURING CONSTRUCTION IN THE SAME OR BETTER CONDITION THAN THEY WERE PRIOR TO CONSTRUCTION.
- ALL UTILITY TRENCHES LOCATED UNDER FUTURE PAVEMENT SHALL BE BACKFILLED WITH PREMIUM FILL.
- UTILITY SCHEDULING AND INSTALLATION WITHIN THE RIGHT-OF-WAY SHALL BE COORDINATED WITH CITY.
- CONTRACTOR SHALL PAY ALL ENGINEERING INSPECTION AND CONNECTION PRIOR TO START OF WORK IN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BENDS, TEES, FITTINGS, AND ALL APPURTENANCES NECESSARY FOR INSTALLATION OF UTILITIES.
- CONTRACTOR TO PROVIDE CONNECTION FROM DOWNSPOUTS TO STORM HEADER PIPE LATERALS AS COORDINATED WITH THE ARCHITECTURAL PLANS AND WILL INCLUDE ALL PIPE NECESSARY FOR DOWNSPOUT CONNECTIONS.

**CODED NOTES:**

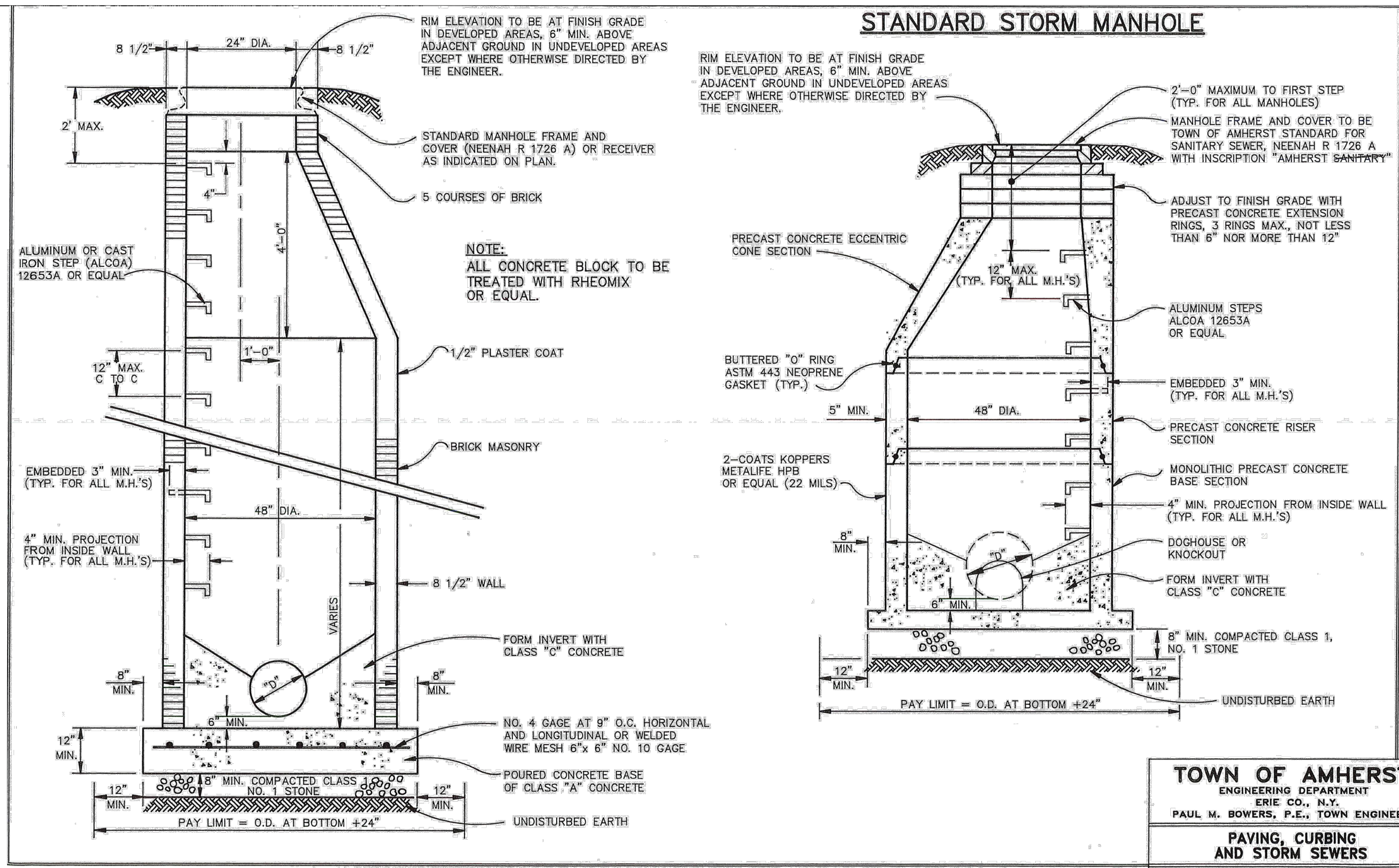
- CONTRACTOR SHALL INSTALL PROPOSED PAVEMENT FLUSH WITH EXISTING PAVEMENT TO REMAIN.
- CONTRACTOR SHALL INSTALL PROPOSED WALK FLUSH WITH PROPOSED PAVEMENT.
- KNOX KEY BOX LOCATION

**PROPOSED STORM PIPE TABLE**

- (A) 39 LF 12" HDPE STM @ 0.37%
- (B) 49 LF 15" HDPE STM @ 0.36%
- (C) 16 LF 12" HDPE STM @ 0.37%

**PROPOSED STORM STRUCTURE TABLE**

- 1 CURB INLET  
RIM = 587.98  
N: 1089716.31  
E: 1086297.76  
FL 582.25 ~ 12' NE
- 2 CURB INLET  
RIM = 588.01  
N: 1089539.78  
E: 1086297.76  
FL 582.31 ~ 15' W  
582.90 ~ 12' S
- 3 CURB INLET  
RIM = 587.96  
N: 1089523.60  
E: 1086295.51  
FL 582.96 ~ 12' N



**TOWN OF AMHERST**  
ENGINEERING DEPARTMENT  
ERIE CO., N.Y.  
PAUL M. BOWERS, P.E., TOWN ENGINEER

**PAVING, CURBING AND STORM SEWERS**

APPROVED: P. BOWERS JOB NO. 94-17  
DATE: JAN. 1996 DWG. NO. 8.03

**LEGEND**

- 99 PROP. INTERMEDIATE CONTOUR
- 100 PROP. INDEX CONTOUR
- 99 - - - EXISTING INTERMEDIATE CONTOURS
- 100 - - - EXISTING INDEX CONTOURS
- RIDGE
- VALLEY
- GRADING LIMITS
- 000.00 PROPOSED SPOT ELEVATION
- ME MEET EXISTING
- PA PAVEMENT
- W WALK
- BC BACK OF CURB
- TC TOP OF CURB
- P PAVEMENT
- G GROUND
- RIM STRUCTURE RIM
- FF FINISH FLOOR
- SA SANITARY LINE
- W WATER LINE
- G GAS LINE
- E ELECTRIC LINE
- ST STORM LINE
- STORM LATERAL FOR ROOF DRAINAGE
- PROPOSED ROW FROM FUTURE ROAD WIDENING
- 24 CURB INLET, 24 INCH
- C.O. SANITARY CLEAN OUT
- 500 GALLON GREASE INTERCEPTOR
- T EXISTING TRANSFORMER
- # CODED NOTE

**EXISTING SAN STRUCTURES**

- 1 SAN MH RIM=585.58 INV=582.99 8" INV=582.93 6" W
- 2 SAN MH RIM=587.10 INV=582.90 8" INV=582.80 8" W
- 3 SAN MH RIM=585.30 INV=582.10 6" INV=582.05 12" W
- 4 SAN MH RIM=585.08 INV=584.08 8" INV=584.03 6" W
- 5 SAN MH RIM=585.58 INV=584.23 8" INV=584.23 6" W

**EXISTING STORM STRUCTURES**

- 1 CB RIM=586.51 INV=584.01 24" SUMP=582.91
- 2 CB RIM=586.33 (FILLED SUMP)
- 3 CB RIM=585.88 INV=582.83 12" S
- 4 STM MH RIM=586.44 INV=582.44 12" W INV=582.24 24" W INV=582.19 24" W
- 5 CB RIM=585.53 INV=583.03 12" S
- 6 STM MH RIM=586.26 INV=582.66 12" W INV=582.01 24" E INV=582.01 24" W
- 7 CB (DROP INLET) RIM=587.10 INV=585.45 4" W
- 8 CB RIM=587.17 INV=585.19 8" W INV=585.17 8" E
- 9 CB RIM=587.31 INV=584.96 8" E INV=584.91 10" SW
- 10 STM MH RIM=587.60 INV=585.00 6" W INV=584.80 10" NE INV=584.80 10" S
- 11 CB RIM=587.13 INV=585.53 6" E INV=585.38 6" SW
- 12 STM MH RIM=586.60 INV=585.80 15" W
- 13 STM MH RIM=586.54 INV=585.43 10" SE INV=584.04 15" W SUMP=583.84
- 14 CB RIM=586.18 INV=585.48 10" E INV=585.48 10" W
- 15 CB RIM=588.22 (FILLED SUMP)
- 16 CB RIM=588.22 (FILLED SUMP)

**OFFICIAL TOWN USE ONLY**

NO. DATE BY 1 09/20/2024 ACH MAJOR SITE REVIEW APPLICATION

20800 CHAGRIN BLVD  
SUITE 600, SHAKER  
HEIGHTS, OH 44122  
TEL: 216.378.1490  
FAX: 216.378.1497

PROJECT DATE: 09/12/2024  
PROJECT NO.: 2401014  
DRAWN BY: PITS  
CHECKED BY: ACH

**STATE OF NEW YORK**  
SEAL OF PROFESSIONAL ENGINEER  
PAUL M. BOWERS, P.E.  
9/20/24

TRILON SERVICES, NY, INC  
AND  
Mannik Smith GROUP  
www.MannikSmithGroup.com

PREPARED FOR:  
BREWTOPIA  
BUFFALO, LCC  
34650 SOLON ROAD, SUITE 105  
SOLON, OH 44139

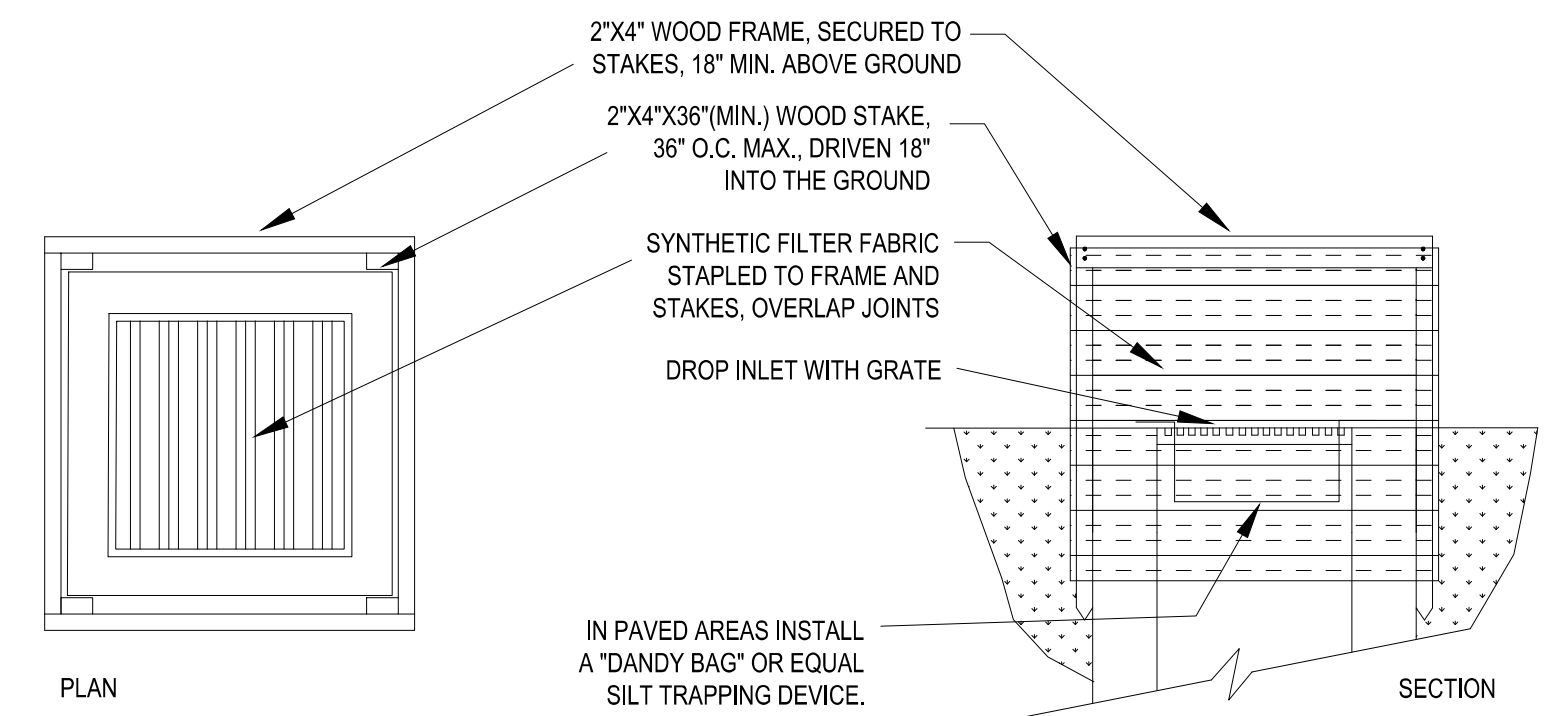
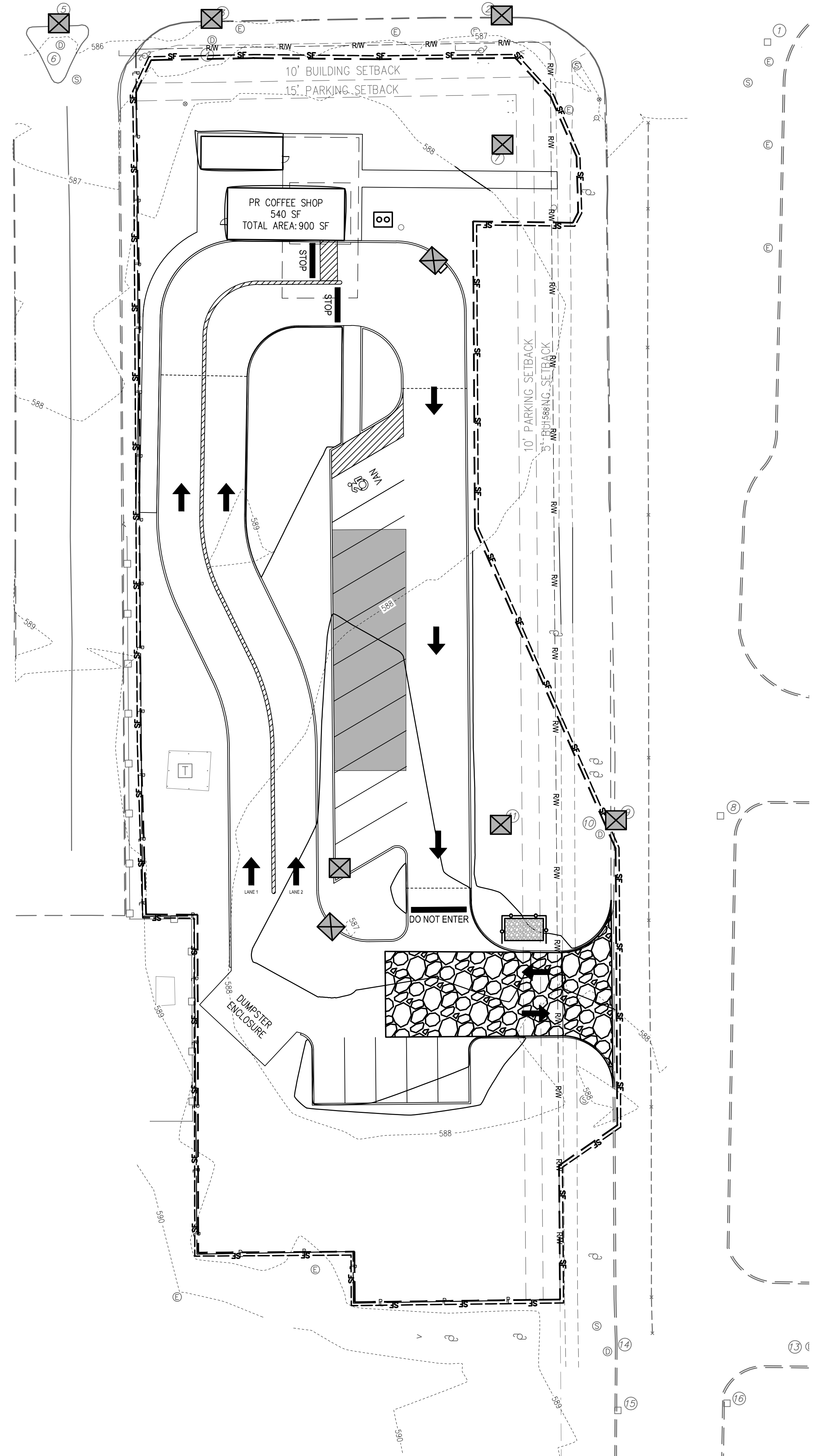
**7 BREW AMHERST**  
3989 MAPLE ROAD,  
AMHERST, NY 14226

**GRADING AND UTILITY PLAN**

C300

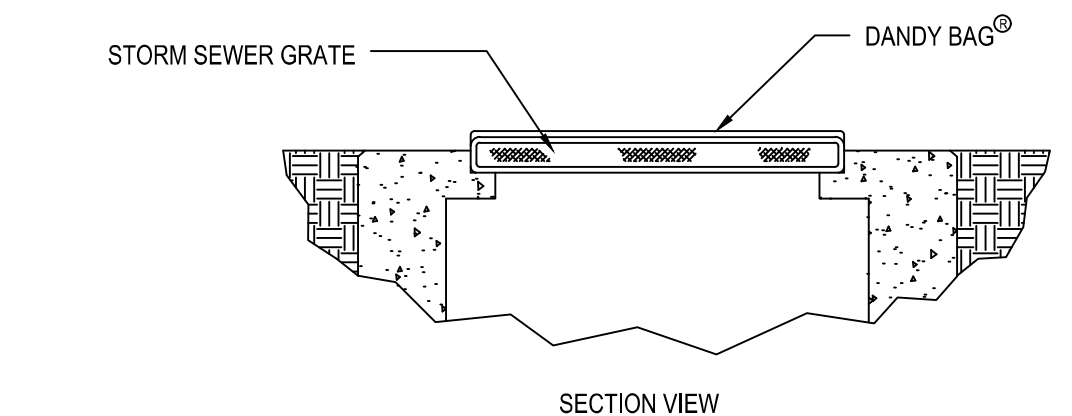
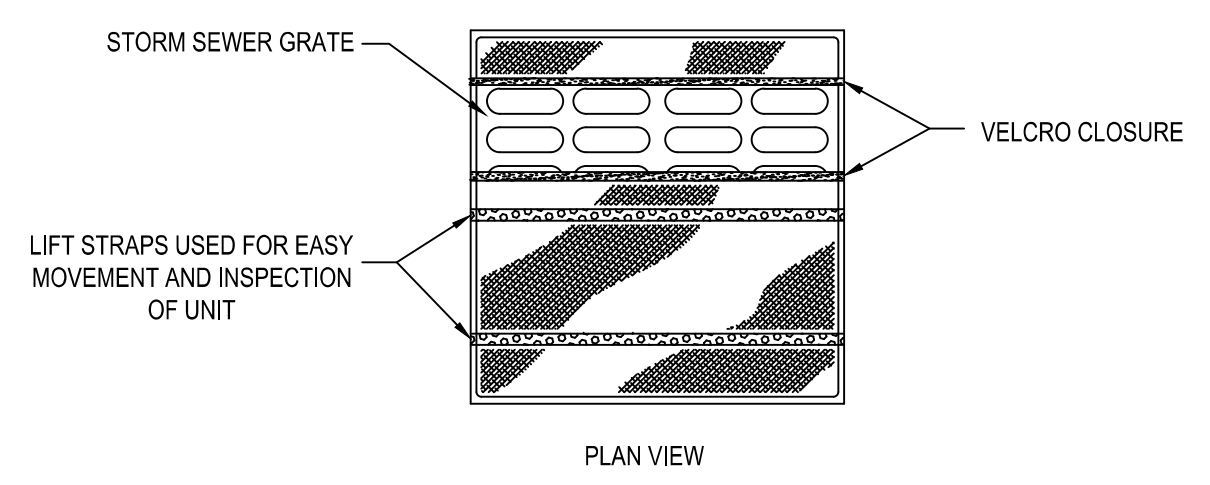


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- NOTES:
1. INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE INLET BECOMES FUNCTIONAL.
  2. THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
  3. THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-INCH BY 4-INCH CONSTRUCTION GRADE LUMBER. THE 2-INCH BY 4-INCH POSTS SHALL BE DRIVEN ONE (1) FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-INCH BY 4-INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WILL POSE A SAFETY HAZARD TO TRAFFIC.
  4. WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
  5. GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
  6. BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6-INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
  7. A COMPACTED EARTH DIKE OR CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION. THE TOP OF THE DIKE SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.
  8. ALL STORM SEWER INLETS SHALL BE PROTECTED BY SEDIMENT TRAPS (INLET PROTECTION), WHICH WILL BE MAINTAINED AND MODIFIED AS REQUIRED AS CONSTRUCTION PROGRESSES.
  9. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAINFALL AND REPAIRS MADE AS NEEDED.
  10. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF (1/2) THE DESIGN OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.
  11. ANY SEDIMENT BLOCKING DRAINAGE AT INLETS THAT CREATES STANDING WATER ON ROADWAYS AND/OR DRIVEWAYS SHALL BE REMOVED IMMEDIATELY.
  12. INLET PROTECTION STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

**GEOTEXTILE INLET PROTECTION FOR INLETS OUTSIDE OF PAVEMENT**  
SCALE: N.T.S.



DANDY BAG<sup>®</sup> SPECIFICATIONS

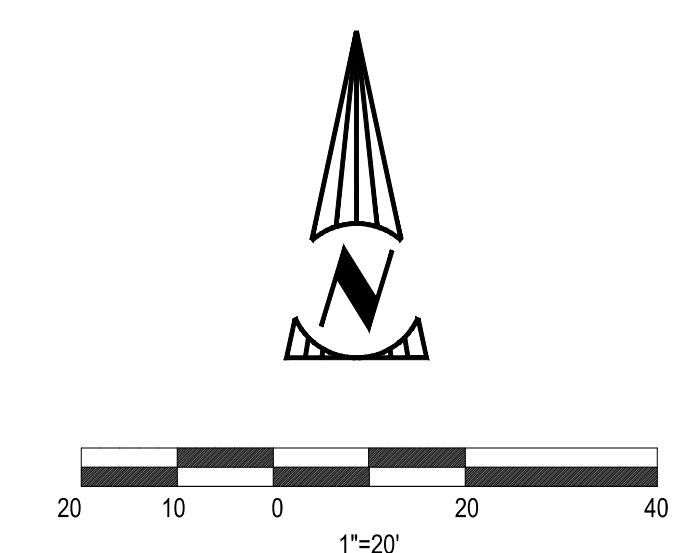
NOTE: THE DANDY BAG<sup>®</sup> WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

HI-FLOW DANDY BAG<sup>®</sup> (SAFETY ORANGE)

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4832	KN (LBS)	1.62 (365) X 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4832	%	24 X 10
PUNCTURE STRENGTH	ASTM D 4833	KN (LBS)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	KPA (PSI)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	KN (LBS)	0.51 (115) X 0.33 (75)
UV RESISTENCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	MM (US STD SIEVE)	0.425 (40)
FLOW RATE	ASTM D 4491	1/MIN/2 (GAL/MIN/FT <sup>2</sup> )	5907 (145)
PERMITTIVITY	ASTM D 4491	SEC -1	2.1

\*NOTE: ALL DANDY BAGS<sup>®</sup> CAN BE ORDERED WITH OUR OPTIONAL OIL ABSORBENT PILLOWS

**DANDY BAG<sup>®</sup> INLET PROTECTION**  
SCALE: N.T.S.

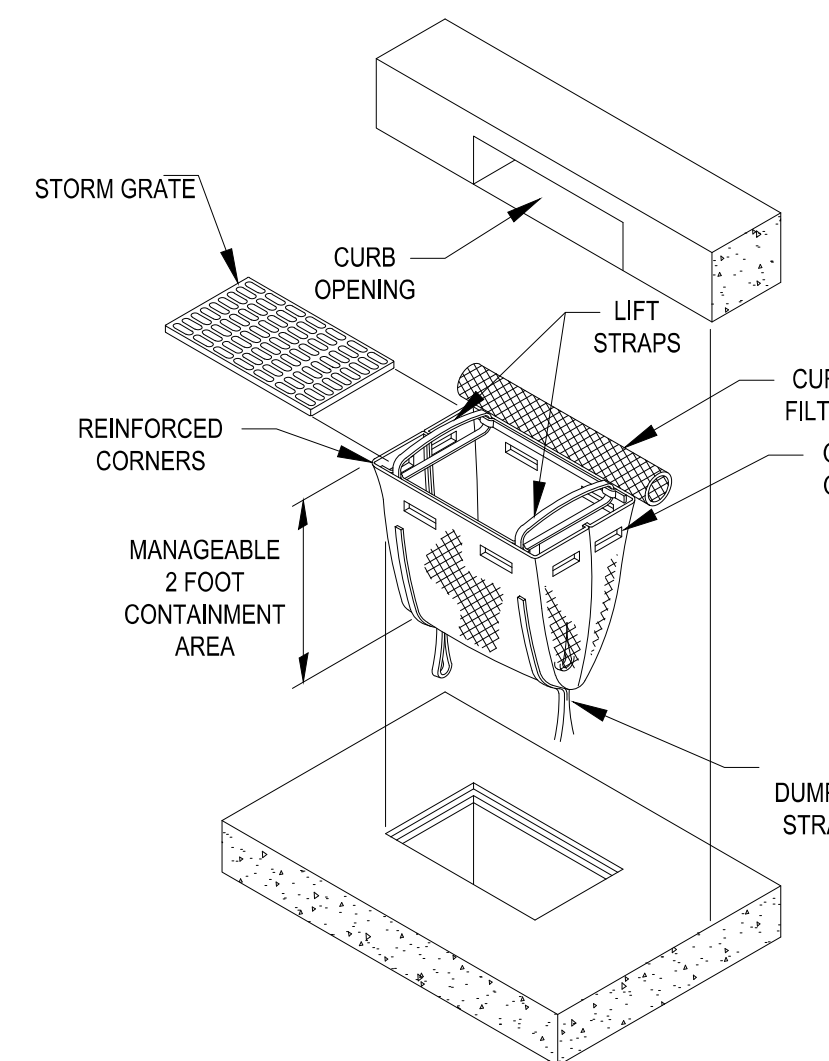


**SWPPP ELEMENTS LEGEND**

- GEOTEXTILE INLET PROTECTION. FOR INLET PROTECTION IN PAVED AREAS USE DANDY BAG INLET PROTECTION OR APPROVED EQUAL.
- CONCRETE WASHOUT PIT
- CONSTRUCTION ENTRANCE
- PROPOSED SILT FENCE
- DISTURBED LIMITS
- TEMPORARY STAGING AREA FOR FUELING, EQUIPMENT, AND DISPOSAL/STORAGE OF SOLID/SANITARY TOXIC WASTES

**GENERAL NOTES:**

1. CONTRACTOR SHALL BE ADDED AS A CO-PERMITTEE TO THE NOI PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL KEEP ADJACENT PRIVATE PROPERTY AND ADJACENT RIGHT OF WAYS CLEAN THROUGHOUT CONSTRUCTION.
3. ALL DISTURBED AREAS TO REMAIN UNPAVED SHALL REQUIRE TEMPORARY AND PERMANENT SEEDING PER SPECIFICATIONS.



DANDY MATERIALS SPECIFICATION TABLE

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	KN (LBS)	1.62 (365) X 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 X 10
PUNCTURE STRENGTH	ASTM D 4833	KN (LBS)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	KPA (PSI)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	KN (LBS)	0.51 (115) X 0.33 (75)
UV RESISTENCE	ASTM D 4355	%	90
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FLOW RATE	ASTM D 4491	1/MIN/2 (GAL/MIN/FT <sup>2</sup> )	5907 (145)
PERMITTIVITY	ASTM D 4491	SEC -1	2.1

\*NOTE: ALL DANDY BAGS CAN BE ORDERED WITH OUR OPTIONAL OIL ABSORBENT PILLOWS

**DANDY CURB SACK INLET PROTECTION IN PAVEMENT**  
SCALE: N.T.S.

OFFICIAL TOWN USE ONLY

NO. 1 DATE 09/20/2024 ACH	DESCRIPTION MAJOR SITE REVIEW APPLICATION		20800 CHAGRIN BLVD SUITE 500, SHAKER HEIGHTS, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497 PROJECT DATE: 09/12/2024 PROJECT NO.: 24001014 DRAWN BY: CHECKED BY:	TRILON SERVICES, NY, INC AND <b>Mannik Smith GROUP</b> www.MannikSmithGroup.com BREWTOPIA BUFFALO, LCC 34050 SOLON ROAD, SUITE 105 SOLON, OH 44139	PREPARED FOR: BREWTOPIA BUFFALO, LCC 34050 SOLON ROAD, SUITE 105 SOLON, OH 44139	7BREW AMHERST 3999 MAPLE ROAD, AMHERST, NY 14226	SWPPP PLAN C400
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SEDIMENT AND EROSION CONTROL NOTES:

- 1. ALL EROSION CONTROL PRACTICES SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY PERMIT NO. GP-0-010-001 REQUIREMENTS.
- 2. THE STORM WATER POLLUTION PREVENTION PLAN AND DETAILS SHALL BE AVAILABLE FOR INSPECTION ON SITE DURING WORKING HOURS.
- 3. CONTRACTOR SHALL MAINTAIN A LOG DOCUMENTING GRADING AND STABILIZATION ACTIVITIES AS WELL AS AMENDMENTS TO THE STORM WATER POLLUTION PLAN, WHICH OCCUR AFTER CONSTRUCTION ACTIVITIES COMMENCE.
- 4. MINIMIZE TRACKING OF SEDIMENTS BY VEHICLES BY UTILIZING THE CONSTRUCTION ENTRANCE AS THE ONLY ENTRANCE FOR VEHICLES. MAINTAIN THIS ENTRANCE WITH STONE AS NEEDED TO PREVENT DIRT AND MUD FROM TRACKING ONTO THE ROADWAY. REGULAR SWEEPING OF THE ROADWAY MAY BE NECESSARY TO ENSURE ROADWAY DOES NOT BUILD UP WITH SEDIMENTS.
- 5. OTHER EROSION AND SEDIMENT CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS AND MAY BE REQUIRED AT THE DISCRETION OF THE TOWN AND/OR COUNTY SOIL AND WATER CONSERVATION DISTRICT OR ITS REPRESENTATIVES.
- 6. EROSION AND SEDIMENT CONTROLS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN 7 DAYS FROM THE START OF GRUBBING. ALL EROSION AND SEDIMENT CONTROLS SHALL CONTINUE TO FUNCTION UNTIL DISTURBED AREAS ARE RE-STABILIZED.
- 7. NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF. (THIS INCLUDES WASHING OUT OF CEMENT TRUCKS.) DESIGNATED WASH PIT AREAS ARE SHOWN ON THE PLANS AND ARE PRESET FOR THIS PURPOSE AWAY FROM AREAS OF STORM WATER RUNOFF.
- 8. SITE STABILIZATION EITHER PERMANENT OR TEMPORARY MUST FOLLOW THE APPLICABLE FOLLOWING REQUIREMENTS:
  - 8.1. PERMANENT STABILIZATION:
    - 8.1.1. ANY AREA THAT WILL LIE DORMANT FOR ONE YEAR OR MORE MUST BE STABILIZED WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE.
    - 8.1.2. ANY AREA WITHIN 50 FEET OF A WATERCOURSE AND AT FINAL GRADE, MUST BE STABILIZED WITHIN 2 DAYS OF REACHING FINAL GRADE.
    - 8.1.3. ANY AREA AT FINAL GRADE, MUST BE STABILIZED WITHIN 7 DAYS OF REACHING FINAL GRADE WITHIN THAT AREA.
  - 8.2. TEMPORARY STABILIZATION:
    - 8.2.1. ANY DISTURBED AREA WITHIN 50 FEET OF A WATERCOURSE AND NOT AT FINAL GRADE MUST BE STABILIZED WITHIN 2 DAYS OF THE MOST RECENT DISTURBANCE, IF THAT AREA WILL REMAIN IDELE FOR MORE THAN 7 DAYS.
    - 8.2.2. FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREA, INCLUDING SOIL STOCKPILES, THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A WATERCOURSE MUST BE STABILIZED WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA.
    - 8.2.3. DISTURBED AREAS THAT WILL BE IDLE OVER THE WINTER MUST BE STABILIZED BEFORE NOVEMBER 1.
    - 8.2.4. IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS BEEN TEMPORARILY OR PERMANENTLY CEASED, TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE INSTALLED AND/OR IMPLEMENTED WITHIN SEVEN (7) DAYS FROM THE SOIL DISTURBANCE ACTIVITY CEASE. THE SOIL STABILIZATION MEASURES SHALL BE IN CONFORMANCE WITH THE MOST CURRENT VERSION OF THE TECHNICAL STANDARD, NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENTATION CONTROL.
  - 8.3. WHERE VEGETATIVE STABILIZATION TECHNIQUES MAY CAUSE STRUCTURAL INSTABILITY OR ARE OTHERWISE UNOBTAINABLE, ALTERNATIVE STABILIZATION TECHNIQUES MUST BE EMPLOYED. THESE TECHNIQUES MAY INCLUDE MULCHING, EROSION MATTING, OR PLACEMENT OF STONE.
- 9. THE CONTRACTOR SHALL LIMIT THE SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY EXCAVATION, BORROW, AND FILL OPERATIONS AND PROVIDE IMMEDIATE PERMANENT OR TEMPORARY CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT STREAMS OR OTHER WATER COURSES, LAKES, PONDS, OR OTHER AREAS OF WATER IMPOUNDMENT.
- 10. THIS WORK SHALL CONSIST OF TEMPORARY CONTROL MEASURES AS DETAILED IN THE PLANS OR ORDERED BY THE ENGINEER DURING THE LIFE OF THE CONTRACT TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGH USE OF BEST MANAGEMENT PRACTICES AS DETAILED IN THE BLUE BOOK.
- 11. TEMPORARY EROSION AND SEDIMENT CONTROL ITEMS, THE LOCATION AND SIZE OF WHICH ARE DETAILED IN THE PLANS, SHALL BE INSTALLED BY THE CONTRACTOR UPON COMMENCEMENT OF ANY CLEARING OR EARTHWORK OPERATIONS. TEMPORARY CONTROL MEASURES WILL BE USED WHEN AND AS DIRECTED BY THE ENGINEER TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT WERE NOT FORESEEN DURING THE DESIGN STAGE; THAT ARE NEEDED PRIOR TO INSTALLATION OF PERMANENT CONTROL FEATURES; OR THAT ARE NEEDED TEMPORARILY TO CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- 12. EXISTING VEGETATIVE GROWTH SHALL REMAIN UNDISTURBED AS LONG AS POSSIBLE. THE CONTRACTOR SHALL SEED AND MULCH ALL AREAS DISTURBED.
- 13. TEMPORARY EROSION CONTROL FEATURES SHALL BE ACCEPTABLY MAINTAINED AND SHALL SUBSEQUENTLY BE REMOVED OR REPLACED WHEN DIRECTED BY THE ENGINEER. TEMPORARY AND PERMANENT EROSION CONTROL FEATURES SHALL BE CHECKED AFTER EACH MEASURABLE RAINFALL AND RE-ESTABLISHED AS NECESSARY. REMOVED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE SITE.
- 14. IF PROPER CONTROL OF SOIL EROSION AND SEDIMENTATION IS NOT BEING PROVIDED BY THE CONTRACTOR, THE ENGINEER MAY WITHHOLD PROGRESS ESTIMATES UNTIL PROPER CONTROL IS ACHIEVED.
- 15. IN THE EVENT THAT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE REQUIRED DUE TO THE CONTRACTOR'S NEGLIGENCE, CARELESSNESS, OR FAILURE TO INSTALL PERMANENT CONTROLS AS A PART OF THE WORK AS SCHEDULED, AND ARE ORDERED BY THE ENGINEER, SUCH TEMPORARY WORK SHALL BE PERFORMED BY THE CONTRACTOR AT HIS EXPENSE.
- 16. INSTALL SILT FENCE OR COMBINATION BARRIERS AT LOCATIONS SO INDICATED ON THE STORMWATER POLLUTION PREVENTION PLAN (SEE DETAIL).
- 17. INSTALL GRAVEL AND WIRE SEDIMENT FILTERS ON ALL ROAD INLETS (SEE DETAIL).
- 18. INSTALL TEMPORARY AGGREGATE PAD AT POINT OF INGRESS AND EGRESS FROM PROJECT TO PREVENT VEHICULAR TRACKING OFF-SITE (SEE DETAIL). THE PAD SHALL BE CLEANED AND REPLENISHED, AS NECESSARY, DURING THE CONSTRUCTION PERIOD.
- 19. TOPSOIL STOCKPILES SHALL RECEIVE TEMPORARY SEEDING AND MULCHING AS SOON AS STOCKPILING OPERATIONS ARE COMPLETED OR A SILT FENCE SHALL BE INSTALLED ALONG AND 20 FEET FROM THE TOE OF THE STOCKPILE. TOPSOIL SHALL BE REPLACED AS QUICKLY AS CONSTRUCTION PERMITS.
- 20. ADDITIONAL EROSION CONTROLS MAY BE MANDATED BY THOSE AGENCIES HAVING JURISDICTION.
- 21. ROUTINE INSPECTION WILL BE CONDUCTED ON ALL EROSION CONTROL PRACTICES FOR THIS PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ALL DEFICIENCIES REVEALED BY THE INSPECTIONS.

CONSTRUCTION SPECIFICATIONS

- 22. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- 23. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- 24. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- 25. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- 26. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF SIX INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- 27. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- 28. ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS
- 29. EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- 30. FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- 31. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.

- 32. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF CONSTRUCTION
- 33. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- 34. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- 35. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.

EQUIPMENT FUELING AND MAINTENANCE

- 36. THE GENERAL LOCATION OF THE STAGING AREA IS SHOWN. THE STAGING AREA SHALL BE ESTABLISHED EITHER ON EXISTING PAVEMENT OR ON 12" OF GRANULAR AGGREGATE BASE. IF AN AGGREGATE BASE COURSE IS USED, THEN THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE STONE SUCH THAT IT IS REPLENISHED WHEN THE DEPTH IS LESS THAN 6" OR REMOVED AND REPLACED IF THE STONE BECOMES LADEN WITH MUD.
- 37. A SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPOC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE GROUND STORAGE TANK (AST) OF 660 GALLONS OR MORE, TOTAL ABOVE GROUND TANK STORAGE OF 1330 GALLONS, OR BELOW GROUND STORAGE OF 42,000 GALLONS OF FUEL.

WASTE DISPOSAL

- 38. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A MINIMUM OF ONE SOLID WASTE DISPOSAL RECEPTACLE AND HAVE THIS RECEPTACLE EMPLOYED BY A CONTRACT TRASH DISPOSAL SERVICE AND HAULED AWAY FROM THE SITE AS NECESSARY. NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORM WATER. ALL SOLID WASTE, INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE MAJOR CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN THESE RECEPTACLES. THE LOCATION IS TO BE DETERMINED IN THE FIELD. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF.

SPILL REQUIREMENTS

- 39. SHOULD AN ACCIDENTAL SPILL OCCUR, IMMEDIATE ACTION WILL BE UNDERTAKEN BY THE GENERAL CONTRACTOR TO CONTAIN AND REMOVE THE SPILLED MATERIAL IMMEDIATELY AND BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY LOCAL, STATE, AND FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS, AS SOON AS POSSIBLE. ALL SPILLS >25 GALLONS SHALL BE REPORTED TO THE APPROPRIATE STATE AND LOCAL AGENCIES. THIS SHALL INCLUDE THE NEW YORK DEPARTMENT OF ENVIRONMENTAL CONSERVATION, THE LOCAL FIRE DEPARTMENT, AND THE NATIONAL RESPONSE CENTER AT 800-424-8802.
- 40. ALL CONTAMINATED SOILS MUST BE TREATED AND/OR DISPOSED IN AN NEW YORK STATE DEC APPROVED SOLID WASTE MANAGEMENT FACILITIES OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFs).

NON-SEDIMENT POLLUTION CONTROLS

- 41. THE CONTRACTOR IS RESPONSIBLE FOR ALL NON-SEDIMENT POLLUTION CONTROLS AT THIS SITE, WHICH PROHIBIT NON-SEDIMENT POLLUTANTS FROM DISCHARGING INTO RUNOFF OR INTO THE GROUND AND MUST DISPOSE OF THEM IN A PROPER MANNER IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATORY AUTHORITIES. IT IS PROHIBITED TO BURN, BURY, OR POUR OUT ONTO THE GROUND, DITCH OR INTO A STORM SEWER- SOLVENTS, PAINTS, STAINS, GASOLINE, DIESEL FUEL, USED MOTOR OIL, HYDRAULIC FLUID, ANTIFREEZE, CEMENT, CURING COMPOUND AND OTHER SUCH TOXIC OR HAZARDOUS WASTE. STORAGE TANKS SHALL BE LOCATED IN DIKED AREAS AWAY FROM DRAINAGE CHANNELS AND THE DIKED AREA SHOULD HOLD A VOLUME OF 110% OF THE LARGEST TRUCK OR TANK, SHOULD THE CONTRACTOR FAIL TO PREVENT NON-SEDIMENT POLLUTION AT THIS SITE, HE MUST IMMEDIATELY REMEDIATE THE SITE TO LOCAL, STATE AND FEDERAL REGULATORY AUTHORITIES APPROVAL AT HIS OWN EXPENSE.
- 42. CONTRACTOR MAY NOT USE OIL AS A DUST SUPPRESSANT.

CONSTRUCTION FILL, DEMOLITION DEBRIS & CHEMICAL COMPOUNDS

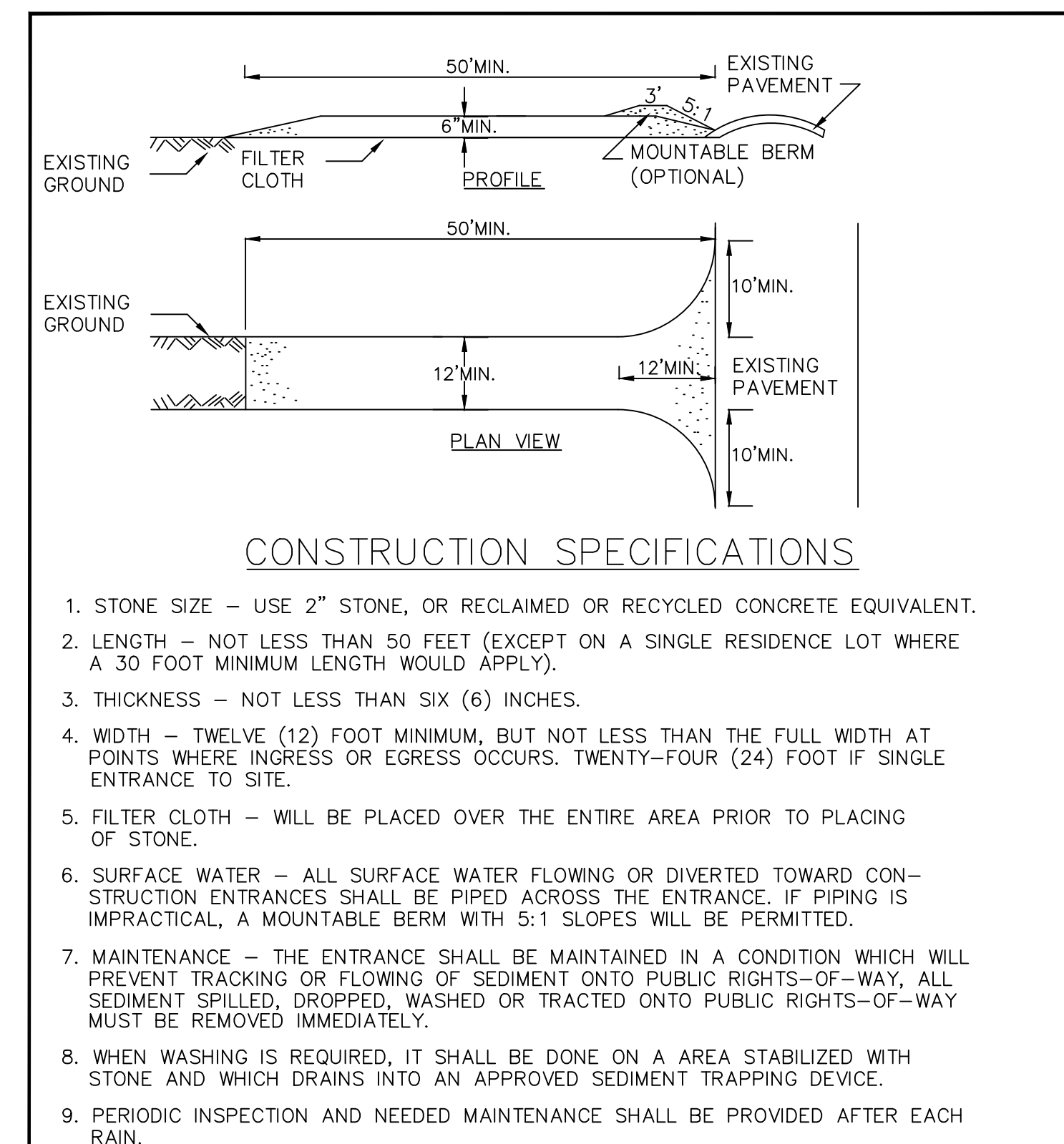
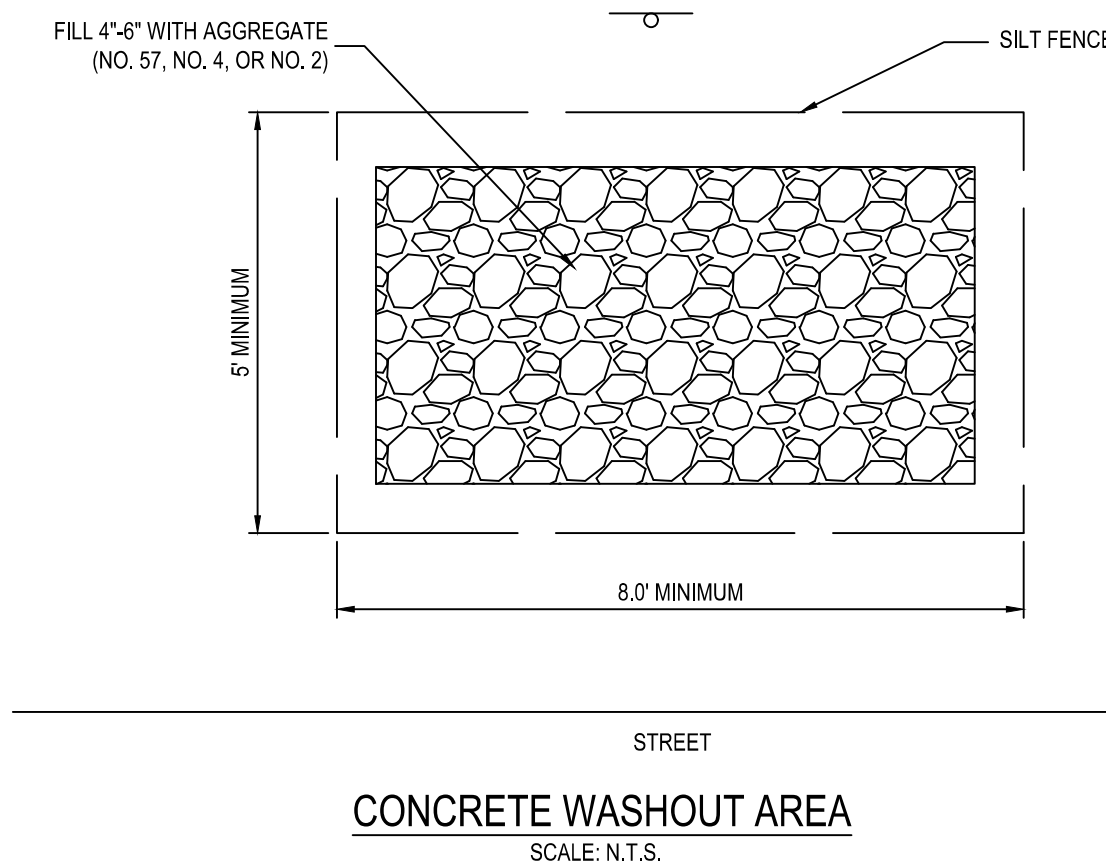
- 43. THE CONTRACTOR IS RESPONSIBLE TO PREVENT DISCHARGE OF WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS FROM MIXING WITH RUN-OFF AND LEAVING THE SITE. THE CONTRACTOR SHALL SIZE THE CONCRETE WASHOUT PIT TO HANDLE HIS PROPOSED CONCRETE OPERATIONS AND SHALL MAINTAIN THE PIT SUCH THAT ALL CONCRETE TRUCKS CAN USE IT TO WASHOUT. ALL CURED RESIDUE FROM THE PIT SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. A GENERAL LOCATION FOR THE WASHOUT PIT IS SHOWN ON THE PLAN AND MAY BE MOVED TO BETTER FIT THE CONTRACTOR'S METHODS.
- 44. ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&D) WASTE WILL BE DISPOSED OF IN A NEW YORK DEC APPROVED C&D LANDFILL. MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS.

SEDIMENT AND EROSION CONTROL NARRATIVE

PLAN DESIGNER: TRILON SERVICES, NY, INC. AND THE MANNIK & SMITH GROUP, INC. 20600 CHAGRIN BLVD., SUITE 500 SHAKER HEIGHTS, OH 44122 (216) 378-1490

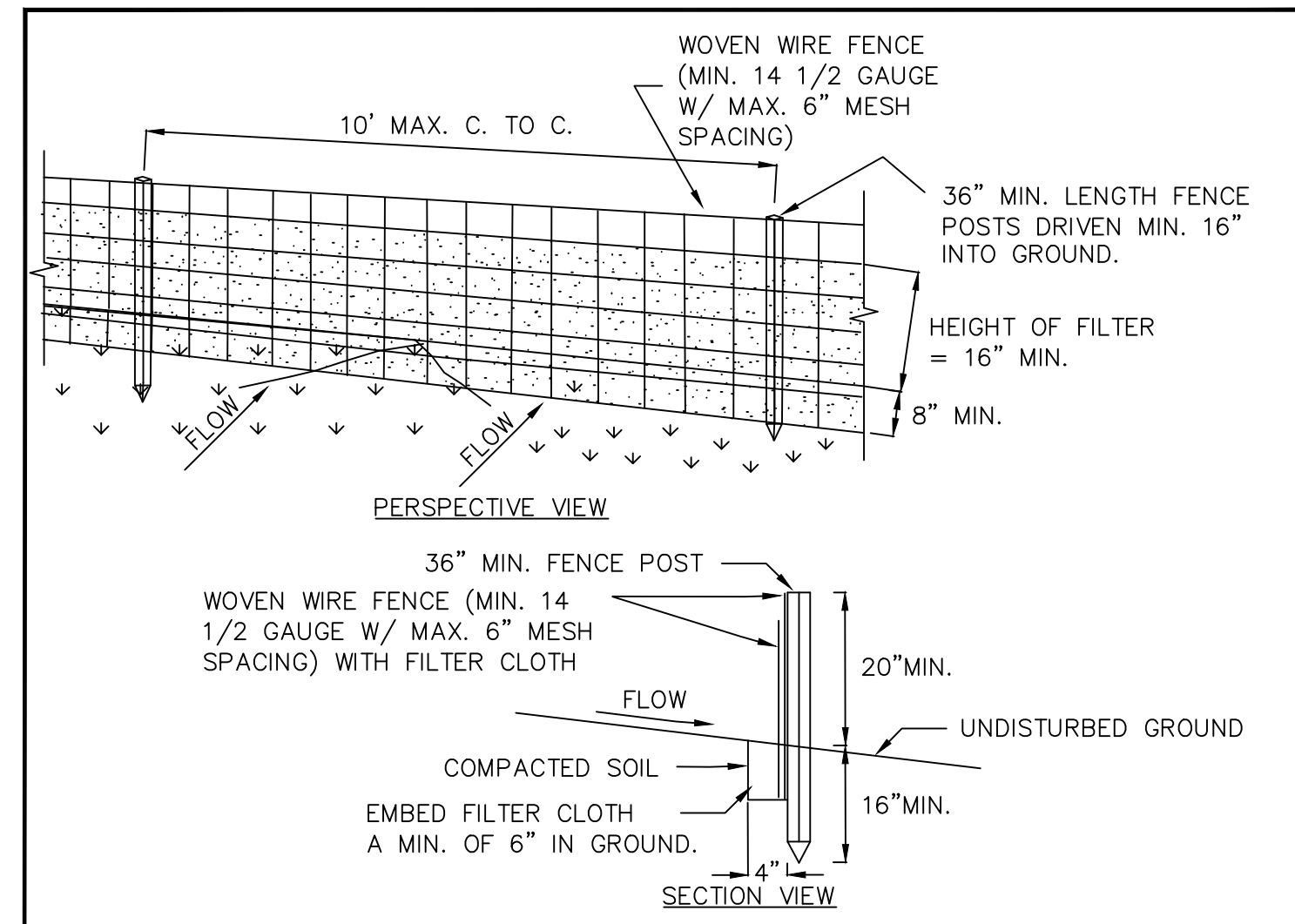
OWNER: BREWTOPIA BUFFALO, LLC 34050 SOLON ROAD, SUITE 105 SOLON, OH 44139

- 1. PROJECT DESCRIPTION: THE PROPOSED PROJECT CONSISTS OF THE PLACEMENT OF A 900 SOFT BUILDING, QUEUING AISLES, ASSOCIATED DRIVES, AND MINOR UTILITY IMPROVEMENTS.
- 2. SITE DESCRIPTION: THE EXISTING SITE IS A CORNER LOT AT THE INTERSECTION OF MAPLE ROAD AND BAILEY AVENUE. THE SITE IS COMPOSED OF AN EXISTING PARKING LOT AND DEMOLISHED BUILDING.
- 3. ADJACENT AREAS: THE SITE IS BORDERED ON THE NORTH BY MAPLE ROAD, ON THE EAST BY BAILEY AVENUE, TO THE SOUTH BY A LANDSCAPED AREA, AND ON THE WEST BY A DEVELOPED LOT WITH AN EXISTING OLIVE GARDEN RESTAURANT.
- 4. RECEIVING STREAM: THE SITE IS TRIBUTARY TO ELLIOT CREEK, WHICH IN TURN IS TRIBUTARY TO THE NIAGARA RIVER/LAKE ERIE WATERSHED.
- 5. CRITICAL AREAS: ADJACENT COMMERCIAL LOTS, AND ALL PUBLIC ROADWAYS ARE TO REMAIN CLEAR OF SEDIMENT AND DEBRIS FROM THE IMPROVEMENT PROJECT AT ALL TIMES. THE CONTRACTOR IS TO BE RESPONSIBLE TO CLEAR WHEELS OF DEBRIS AND SEDIMENT TO LIMIT THE DEPOSIT OF SEDIMENT ON THE ROADWAYS.
- 6. EROSION & SEDIMENT CONTROL MEASURES: THE PROPOSED CONSTRUCTION WILL REQUIRE EROSION AND SEDIMENT RUNOFF PROTECTION BY USE OF SILT FENCE, CONSTRUCTION ENTRANCE, INLET PROTECTION, AND TEMPORARY SEEDING. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL DEVICES UNTIL SITE VEGETATION IS ESTABLISHED.
- 7. MAINTENANCE: MAINTENANCE OF THE EROSION & SEDIMENT CONTROL ITEMS SHALL BE IN ACCORDANCE WITH ALL ITEMS OF THE EROSION AND SEDIMENT CONTROL PLAN.
- 8. SITE ACREAGE SUMMARY:
  - 8.1. IMPERVIOUS AREA CREATED WITH THIS PROJECT: 0.00 ACRES
  - 8.2. GREENSPACE CREATED WITH THIS PROJECT: 0.5 ACRES
  - 8.3. AREA DISTURBED BY THIS PROJECT: 0.96 ACRES
  - 8.4. TOTAL SITE AREA: 0.95 ACRES
  - 8.5. PERCENTAGE OF SITE DISTURBED: 100.00%



U.S. DEPARTMENT OF AGRICULTURE  
NATURAL RESOURCES CONSERVATION SERVICE  
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

STABILIZED CONSTRUCTION ENTRANCE



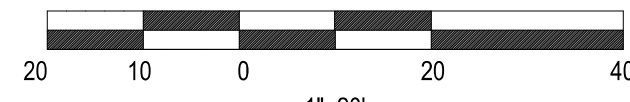
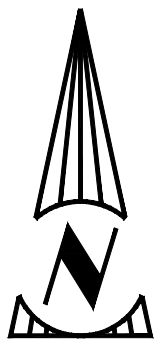
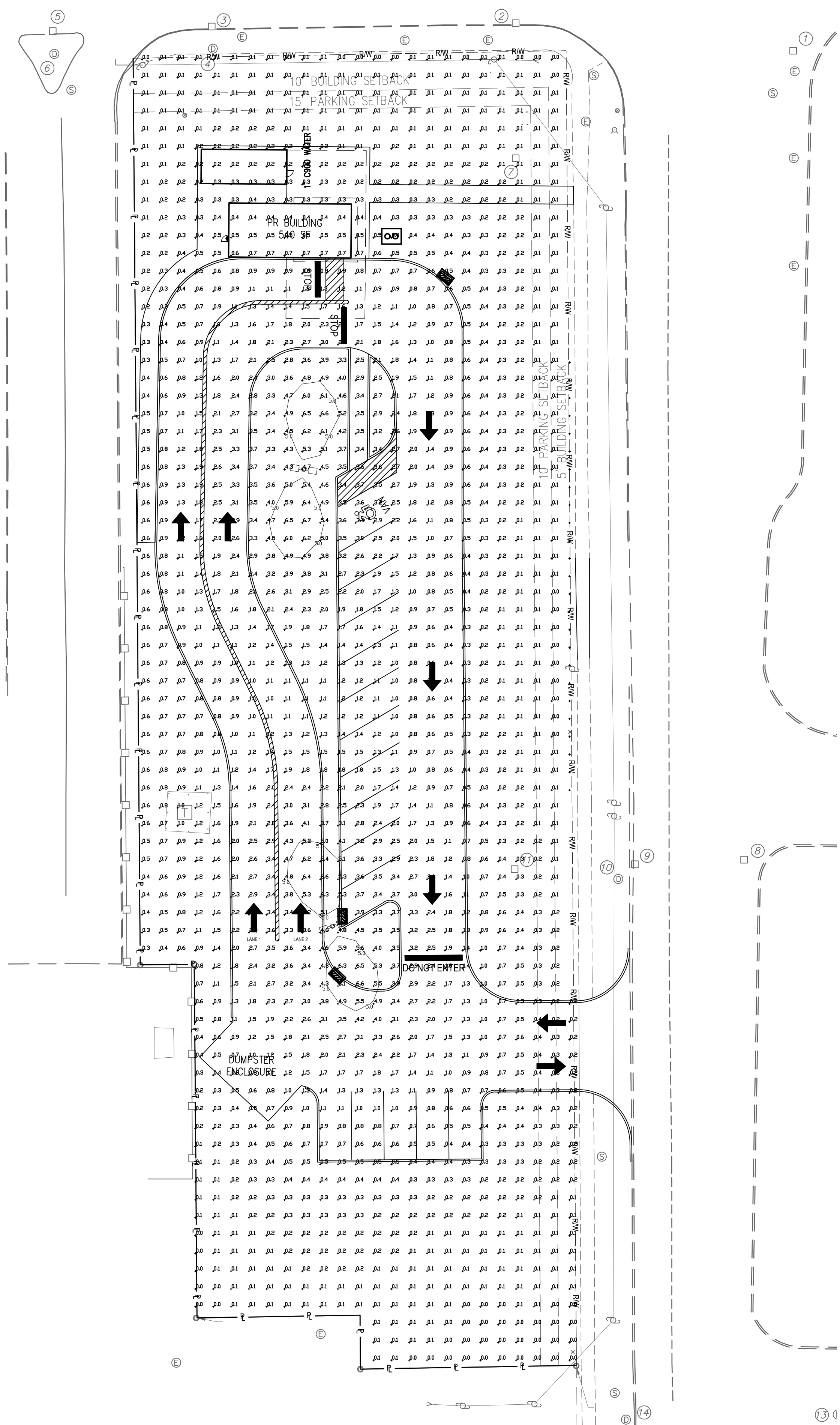
- 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- 4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

U.S. DEPARTMENT OF AGRICULTURE  
NATURAL RESOURCES CONSERVATION SERVICE  
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

SILT FENCE

OFFICIAL TOWN USE ONLY

DESCRIPTION	MAJOR SITE REVIEW APPLICATION
NO.	1
DATE	09/20/2024 ACH
BY	
PROJECT NO.	
PROJECT DATE	09/12/2024
DRAWN BY	2401014
CHECKED BY	
20600 CHAGRIN BLVD SUITE 500, SHAKER HEIGHTS, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497	
PROJECT NO.: 2401014	
DRAWN BY: 2401014	
CHECKED BY: ACH	
PITS	
PTS	
ACH	
STATE OF NEW YORK SEAL OF THE STATE ENGINEERING BOARD PROFESSIONAL ENGINEER No. C. Hahn 9/20/24	
TRILON SERVICES, NY, INC AND Mannik & Smith GROUP www.MannikSmithGroup.com	
PREPARED FOR: BREWTOPIA BUFFALO, LLC 34050 SOLON ROAD, SUITE 105 SOLON, OH 44139	
7 BREW AMHERST 3909 MAPLE ROAD, AMHERST, NY 14226	
SWPPP NOTES AND DETAILS	
C401	

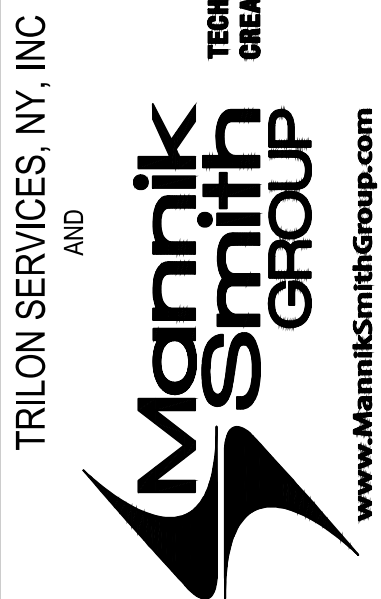


STATISTICS	
DESCRIPTION	AVG
PROPERTY LIMITS	1.30 fc
PAVEMENT LIMITS	1.95 fc
PARKING LIMITS	1.30 fc

NO.	DATE	BY	DESCRIPTION	
			MAJOR SITE REVIEW APPLICATION	
1	09/20/2024	ACH		

20800 CHAGRIN BLVD  
SUITE 500, SHAKER  
HEIGHTS, OH 44122  
TEL: 216.378.1490  
FAX: 216.378.1497

PROJECT DATE: 08/19/2024  
PROJECT NO.: 24001014  
DRAWN BY: PLS  
CHECKED BY: ACH

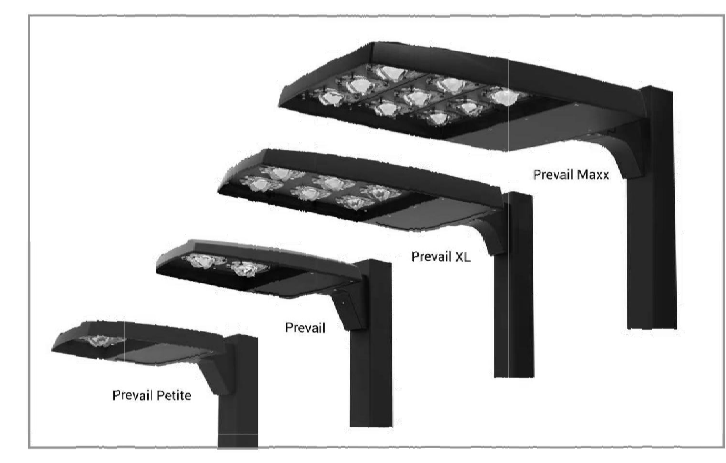


TRILON SERVICES, INC.  
AND  
Mannik  
Smith  
GROUP  
www.MannikSmithGroup.com

PREPARED FOR:  
BREWSTER  
BUFFALO, LCC  
34650 SOLON ROAD, SUITE 105  
OLON, OH 44139

PHOTOMETRIC PLAN

Project	Catalog #	Type
Prepared by	Notes	Date



### Lumark Preval LED

Area / Site Luminaire

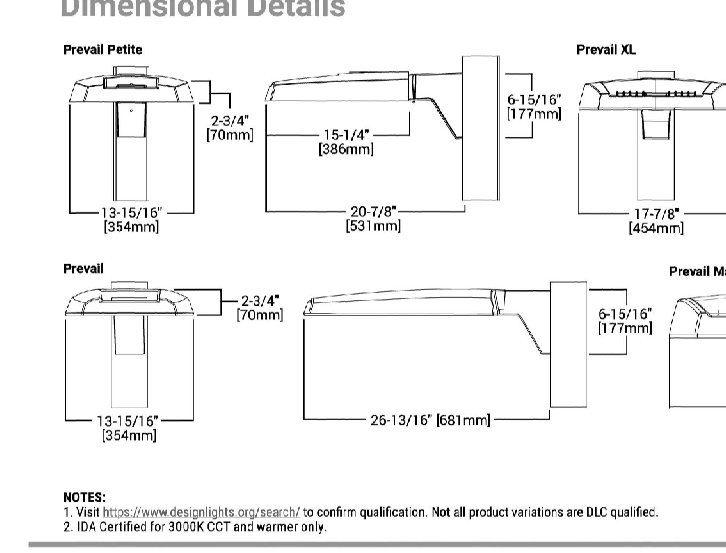


- Interactive Menu**
- Ordering Information page 2
  - Mounting Details page 3, 4
  - Optical Configurations page 5
  - Product Specifications page 6
  - Energy and Performance Data page 6, 7
  - Control Options page 8



- Quick Facts**
- Lumen packages range from 4,800 - 84,000 lumens (35W - 588W)
  - Replaces 70W up to 1,000W HID equivalents
  - Efficacies up to 160 lumens per watt
  - Energy and maintenance savings up to 85% versus HID solutions
  - Standard universal quick mount arm with universal drill pattern

- Product Certifications**
- WaveLinx PRO Wireless
  - WaveLinx LITE Wireless



**COOPER** Lighting Solutions

### Lumark Preval LED

Product Family 1	Light Engine 1	Color Temperature	Driver	Voltage	Distribution	Mounting	Color
PRV-P-Preval Petite AAA-PRV-P-Preval Petite BAA Compliant 1 TAA-PRV-P-Preval Petite TAA Compliant 1	C16-(1 LED) 4,800 Nominal Lumens C18-(1 LED) 8,400 Nominal Lumens C25-(1 LED) 16,800 Nominal Lumens	740-700K, 4000K 2700-7000, 2000K 3000, 5000K 5400-6000, 4000K	0-10V (90V)	UNW-Universal (120-277V) High Voltage, 347-480V 141-200V 9-347V 9W-347V (277-480V) 1,4	T2-Type I T4-Type IV T5-Type IV	SA-CM Standard V-Adjustable MA-CM Mount Arm WM-CM Wall Mount WM-CM Wall Mount ADJA-Adjustable Arm- Pole Mount 1 ADJA-Adjustable Arm- Wall Mount 1 ADJA-Adjustable Arm- Pole Mount 1 ADJA-Adjustable Arm- Wall Mount 1 ADJA-Adjustable Arm- Pole Mount 1 ADJA-Adjustable Arm- Wall Mount 1	BZ-Bronze BR-Black CP-Dark Platinum CM-Charcoal MDD-Medieval WH-White
PRV-PL-Preval XL AAA-PRV-PL-Preval XL BAA Compliant 1 TAA-PRV-PL-Preval XL TAA Compliant 1	C16-(1 LED) 7,100 Nominal Lumens C18-(1 LED) 13,100 Nominal Lumens C25-(1 LED) 26,200 Nominal Lumens	740-700K, 4000K 2700-7000, 2000K 3000, 5000K 5400-6000, 4000K	0-10V (90V)	UNW-Universal (120-277V) High Voltage, 347-480V 141-200V 9-347V 9W-347V (277-480V) 1,4	T2-Type I T4-Type IV T5-Type IV	SA-CM Standard V-Adjustable MA-CM Mount Arm WM-CM Wall Mount ADJA-Adjustable Arm- Pole Mount 1 ADJA-Adjustable Arm- Wall Mount 1 ADJA-Adjustable Arm- Pole Mount 1 ADJA-Adjustable Arm- Wall Mount 1 ADJA-Adjustable Arm- Pole Mount 1 ADJA-Adjustable Arm- Wall Mount 1	BZ-Bronze BR-Black CP-Dark Platinum CM-Charcoal MDD-Medieval WH-White
PRV-M-Preval Max AAA-PRV-M-Preval Max BAA Compliant 1 TAA-PRV-M-Preval Max TAA Compliant 1	C28-(9 LED) 16,800 Nominal Lumens C28-(9 LED) 30,240 Nominal Lumens C275-(9 LED) 60,480 Nominal Lumens	740-700K, 4000K 2700-7000, 2000K 3000, 5000K 5400-6000, 4000K	0-10V (90V)	UNW-Universal (120-277V) High Voltage, 347-480V 141-200V 9-347V 9W-347V (277-480V) 1,4	T2-Type I T4-Type IV T5-Type IV	SA-CM Standard V-Adjustable MA-CM Mount Arm WM-CM Wall Mount ADJA-Adjustable Arm- Pole Mount 1 ADJA-Adjustable Arm- Wall Mount 1 ADJA-Adjustable Arm- Pole Mount 1 ADJA-Adjustable Arm- Wall Mount 1 ADJA-Adjustable Arm- Pole Mount 1 ADJA-Adjustable Arm- Wall Mount 1	BZ-Bronze BR-Black CP-Dark Platinum CM-Charcoal MDD-Medieval WH-White

**Lumark Integrated Network Security Camera Technology Options (Add as Suffix)**

Product Family	Camera Type	Data Backhaul
L-Lumark M-Milmo Camera, High Res Z-Zoeme Camera, Remote PTZ	C-Cellular, Customer Installed SIM Card A-Cellular, Factory Installed AT&T SIM Card	V-Cellular, Factory Installed Verizon SIM Card @-Cellular, Factory Installed Sprint SIM Card

**Stock Ordering Information**

Product Family 1	Light Engine 1	Voltage	Distribution
PRV-P-Preval C16-(1 LED) 7,100 Nominal Lumens C18-(1 LED) 13,100 Nominal Lumens C25-(1 LED) 26,200 Nominal Lumens	UNW-Universal (120-277V) 347-347V 1	T3-Type II T4-Type IV	
PRV-PL-Preval XL C16-(1 LED) 7,100 Nominal Lumens C18-(1 LED) 13,100 Nominal Lumens C25-(1 LED) 26,200 Nominal Lumens	UNW-Universal (120-277V) 347-347V 1	T3-Type II T4-Type IV	

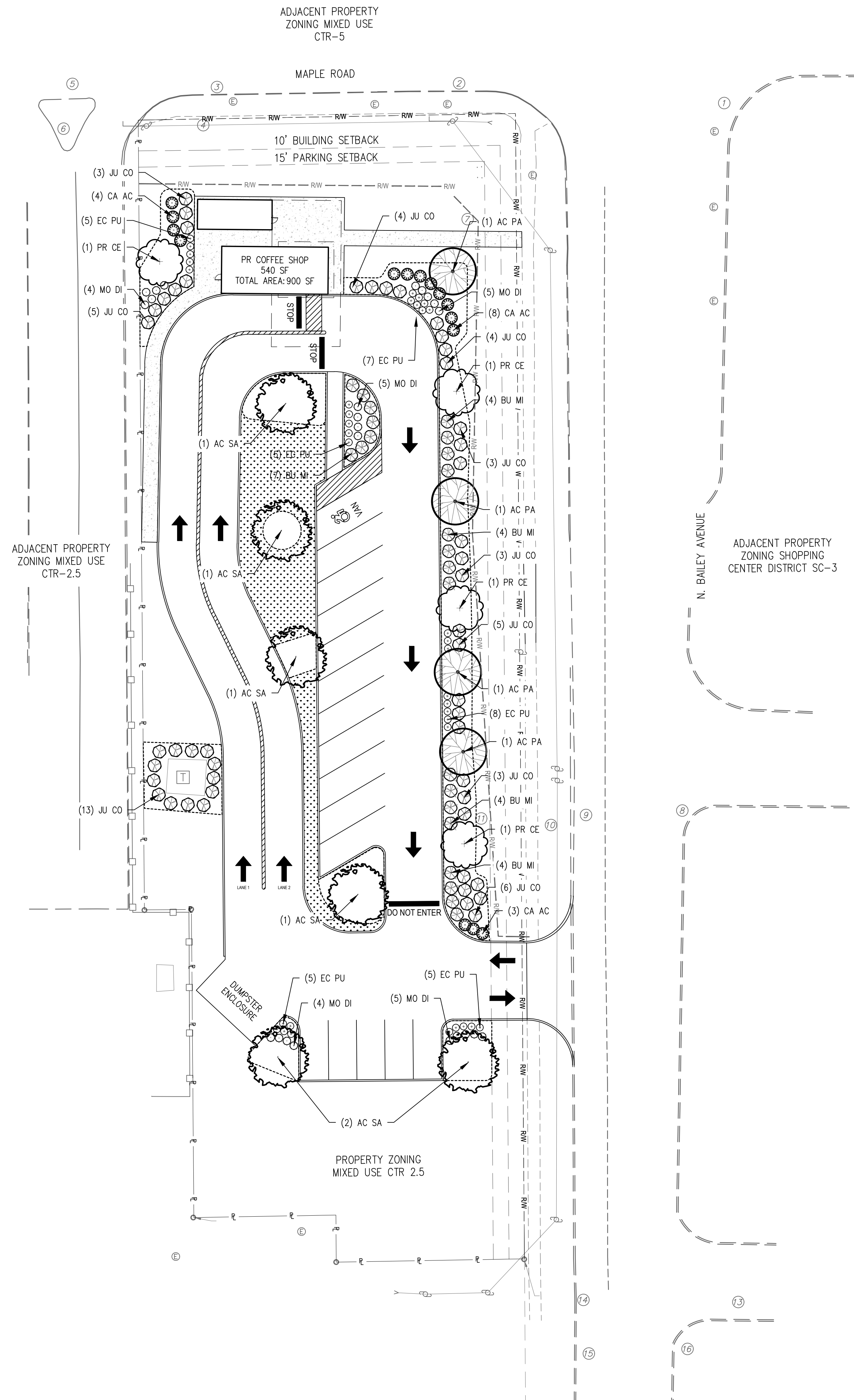
### LUMINAIRE SCHEDULE

SYMBOL	CATEGORY	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LUMENS PER LAMP	FINISH	HEIGHT
☐	AREA LIGHT	2	COOPER LIGHTING SOLUTIONS	PRV-C25-D-UNV-T3-SA-BZ-HSS-OARR1014	LUMARK PREVAL LED POLE AREA LIGHT FIXTURE WITH TYPE III ASYMMETRIC WIDE DISTRIBUTION, ZERO UPLIGHT AND REAR SHIELDING	ABSOLUTE	BRONZE	20'
◩	WALL/BLDG PACK	1	VWP	VWP H - L30740 - T3 - DBZ - SDGL - EM4W/PC - DIM - UNV	VWP DIMMABLE LED VOLTAIRE ARCHITECTURAL HORIZONTAL WALL PACK WITH TYPE III ASYMMETRIC WIDE DISTRIBUTION, ZERO UPLIGHT, REAR SHIELDING, AND TEMPERED GLASS LENS	ABSOLUTE	DARK BRONZE	NA

- ### GENERAL NOTES:
- CONTRACTOR SHALL BE RESPONSIBLE FOR LIGHT POLE FOUNDATIONS AND INSTALLATION, ALL ASSOCIATED CIRCUITING, AND CONDUIT INSTALLATION.
  - REFER TO ARCHITECTURAL PLANS FOR LIGHTING AND WIRING OF FLAGPOLE AND FRONT SIGN.
  - ALL CANOPY LIGHTING WILL BE DETAILED IN MEP AND ARCHITECTURAL PLANS. BUILDING LIGHT ("WALL PACK") IS SHOWN FOR INTENT ONLY AND NOT INCLUDED IN FOOT CANDLE CALCULATIONS.
  - EXISTING LIGHT POLES SHOWN FOR LOCATION ONLY AND NOT INCLUDED IN FOOT CANDLE CALCULATIONS.

**COOPER** Lighting Solutions

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June 3, 2024 10:20 AM

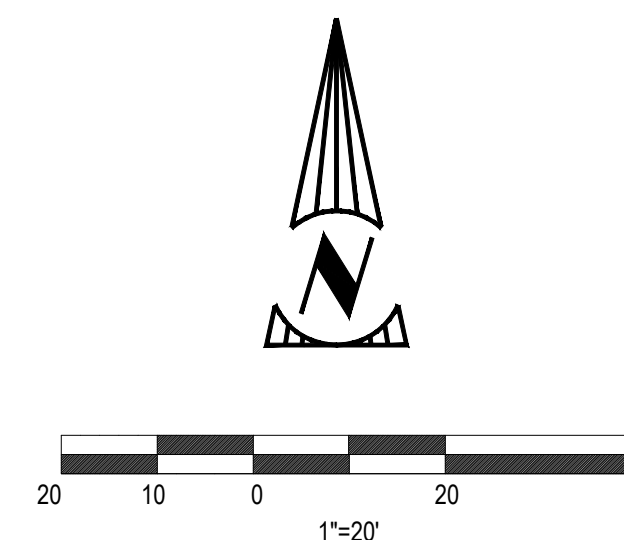


**LANDSCAPE CODE REQUIREMENTS**

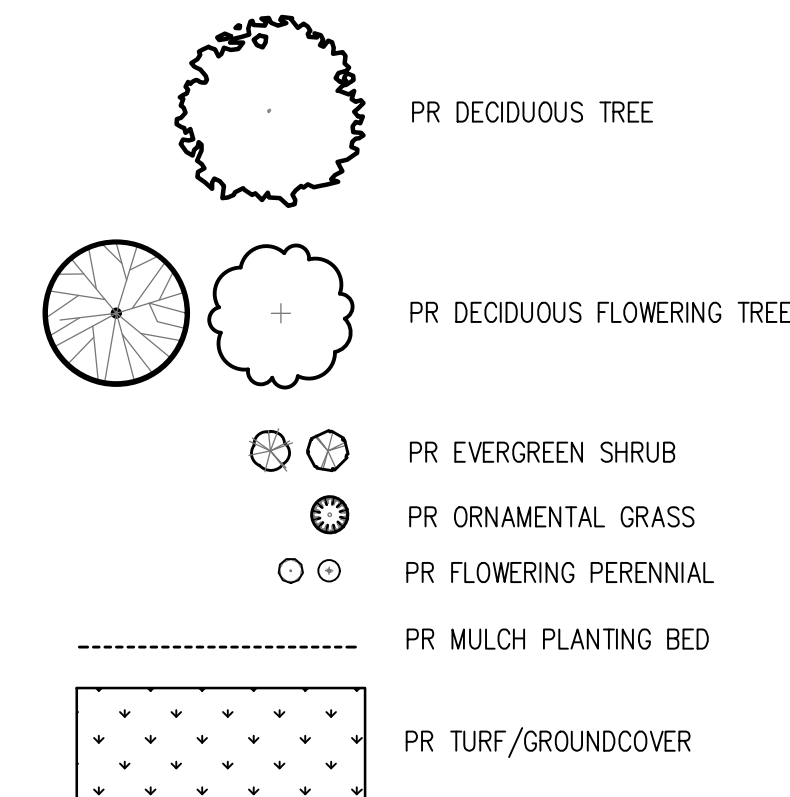
REQUIRED:	PROVIDED:
CHAPTER 203. ZONING, 7-2-3 LANDSCAPE REGULATIONS:	
A. 2. A LANDSCAPED AREA WITH A MINIMUM AVERAGE WIDTH OF THREE FEET SHALL BE PROVIDED BETWEEN EACH AND EVERY SIDE OF THE PROPOSED PRINCIPAL USE BUILDING AND ANY OFF-STREET PARKING OR INTERNAL ACCESS ROAD WITH THE EXCEPTION OF BUILDING ENTRANCES/EXITS, DRIVE-THROUGHS, LOADING DOCKS AND COVERED PEDESTRIAN WALKWAYS. A MINIMUM OF 50 PERCENT OF THIS LANDSCAPED AREA SHALL BE PLANTED WITH SMALL TREES, SHRUBS, PERENNIALS OR COMBINATIONS THEREOF.	17' WIDE LANDSCAPED AREA PROVIDED BETWEEN PRINCIPAL BUILDING AND ACCESS DRIVE/ADJACENT PROPERTY TO THE WEST. LANDSCAPED AREA CONSISTS OF FLOWERING DECIDUOUS TREES, EVERGREEN SHRUBS AND FLOWERING PERENNIALS.
A. 1. G. ALL LARGE AND SMALL DECIDUOUS TREES PLANTED SHALL HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES, MEASURED SIX INCHES ABOVE THE GROUND. ALL LARGE DECIDUOUS TREES PLANTED IN MULTI-STEM FORM SHALL HAVE A MINIMUM HEIGHT OF 12 FEET ABOVE THE FINISHED GRADE. ALL SMALL DECIDUOUS TREES PLANTED IN MULTI-STEM FORM SHALL HAVE A MINIMUM HEIGHT OF 10 FEET ABOVE THE FINISHED GRADE. ALL CONIFEROUS TREES PLANTED SHALL HAVE A MINIMUM HEIGHT OF FIVE FEET ABOVE THE FINISHED GRADE. ALL ORNAMENTAL TREES PLANTED SHALL HAVE A MINIMUM CALIPER OF ONE AND THREE-QUARTERS INCHES MEASURED SIX INCHES ABOVE THE GROUND. ALL ORNAMENTAL TREES PLANTED IN MULTI-STEM FORM SHALL HAVE A MINIMUM HEIGHT OF EIGHT FEET ABOVE THE FINISHED GRADE. ALL SHRUBS PLANTED SHALL HAVE A MINIMUM HEIGHT OF 24 INCHES ABOVE THE GROUND EXCEPT WHEN BEING USED AS A GROUND COVER. ALL EVERGREEN SHRUBS USED FOR SCREENING SHALL HAVE A MINIMUM HEIGHT OF 48 INCHES (4 FEET) ABOVE THE FINISHED GRADE.	PROPOSED TREES HAVE A 2.5" CALIPER. REQUIRED PLANT SIZES SPECIFIED IN PLANT LIST.
A. 3. B AN INTERIOR LANDSCAPED ISLAND SHALL BE PROVIDED FOR EVERY 15 SPACES. EACH ISLAND SHALL HAVE A MINIMUM WIDTH OF EIGHT FEET INSIDE THE CURB AND A MINIMUM LENGTH OF 16 FEET FOR A SINGLE ROW AND 32 FEET FOR A DOUBLE ROW. INTERIOR ISLANDS MAY BE CONSOLIDATED OR INTERVALS MAY BE EXPANDED IN ORDER TO PRESERVE EXISTING TREES OR FACILITATE SNOW PLOWING IF APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR, AS APPLICABLE.	17 SPACES PROPOSED, 4 LARGE DECIDUOUS TREES AND A COMBINATION OF SHRUBS AND FLOWERING PERENNIALS PROVIDED IN INTERIOR LANDSCAPED ISLAND
A. 3. F. A MINIMUM OF ONE LARGE DECIDUOUS SHADE TREE SHALL BE PLANTED FOR EVERY 200 SQUARE FEET OF LANDSCAPED AREA WITHIN ANY DIVIDER MEDIAN, PLANTED INDIVIDUALLY OR IN GROUPS SEPARATED BY A MAXIMUM OF 40 FEET.	6 LARGER DECIDUOUS TREES PROVIDED PLANTED INDIVIDUALLY 40' APART.
A. 3. J. ALL INTERIOR LANDSCAPED AREAS SHALL HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL. ALL ISLANDS AND MEDIANS SHALL HAVE SIX INCH HIGH CONCRETE CURBING AS A MINIMUM TO PROTECT PLANT MATERIALS FROM DAMAGE.	PLANTING DEPTH AND CURB HEIGHT REQUIREMENTS SPECIFIED IN CONTRACTORS NOTES
CHAPTER 203. ZONING, 7-2-4 BUFFERS AND SCREENING:	
A. 2. VEHICLE USE AREAS (VIAS) LOCATED ADJACENT TO A PUBLIC STREET SHALL BE SCREENED FROM THE STREET WITH TREE AND SHRUB PLANTINGS, EARTHEN BERMS, WALLS OR A COMBINATION OF THESE METHODS SO AS TO ESTABLISH AN EFFECTIVE VISUAL SCREEN WHICH IS NOT LESS THAN 36 INCHES ABOVE THE GRADE AT THE ADJACENT VUA WITHIN TWO YEARS OF INSTALLATION. A MINIMUM OF ONE LARGE DECIDUOUS TREE, TWO SMALL DECIDUOUS/ORNAMENTAL TREES OR THREE EVERGREEN TREES OR ANY COMBINATION THEREOF SHALL BE PLANTED WITHIN THE REQUIRED YARD AREA FOR EACH 40 LINEAR FEET OF FRONTAGE ALONG A STREET.	LANDSCAPE SCREENING CONSISTING OF 7 FLOWERING DECIDUOUS TREES, AND A COMBINATION OF EVERGREEN SHRUBS, AND PERENNIALS PROVIDED FOR VEHICULAR USE AREA ADJACENT TO N. BAILEY AVENUE

**LANDSCAPE PLANT LIST**

ABRV.	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	TYPE
AC SA	6	ACER SACCHARUM	AMUR MAPLE	2.5" CALIPER	B&B	DECIDUOUS TREE
AC PA	4	ACER PALMATUM	JAPANESE MAPLE	2.5" CALIPER	B&B	DECIDUOUS TREE
PR CE	4	PRUNUS CERASIFERA	PURPLE LEAF PLUM	2.5" CALIPER	B&B	DECIDUOUS TREE
JU CO	49	JUNIPERUS COMMUNIS 'GOLD CONE'	MINIATURE COMMON JUNIPER	48" MINIMUM	CONTAINER	EVERGREEN SHRUB
BU MI	23	BUXUS MICROPHYLLA 'VAR. KOREANA'	GREEN MOUNTAIN BOXWOOD	48" MINIMUM	CONTAINER	EVERGREEN SHRUB
CA AC	15	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	'KARL FOERSTER' FEATHER REED GRASS	2 GALLON	CONTAINER	ORNAMENTAL GRASS
MO DI	23	MONARDA DIDYMA	BEE BALM	1 GALLON	CONTAINER	FLOWERING PERENNIAL
EC PU	35	ECHINACEA PURPUREA	PURPLE CONE FLOWER	1 GALLON	CONTAINER	FLOWERING PERENNIAL



**LEGEND**



NO. 1	DATE BY 09/20/2024 ACH	DESCRIPTION MAJOR SITE REVIEW APPLICATION
20800 CHAGRIN BLVD SUITE 500, SHAKER HEIGHTS, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497	PROJECT NO.: 24001014	PTS ACH
TRILON SERVICES, NY, INC AND <b>Mannik Smith Group</b> www.MannikSmithGroup.com		
PREPARED FOR: BREWTOPIA BUFFALO, LCC 34050 SOLON ROAD, SUITE 105 SOLON, OH 44139		
<b>LANDSCAPE PLAN</b>		
L100		

OFFICIAL TOWN USE ONLY

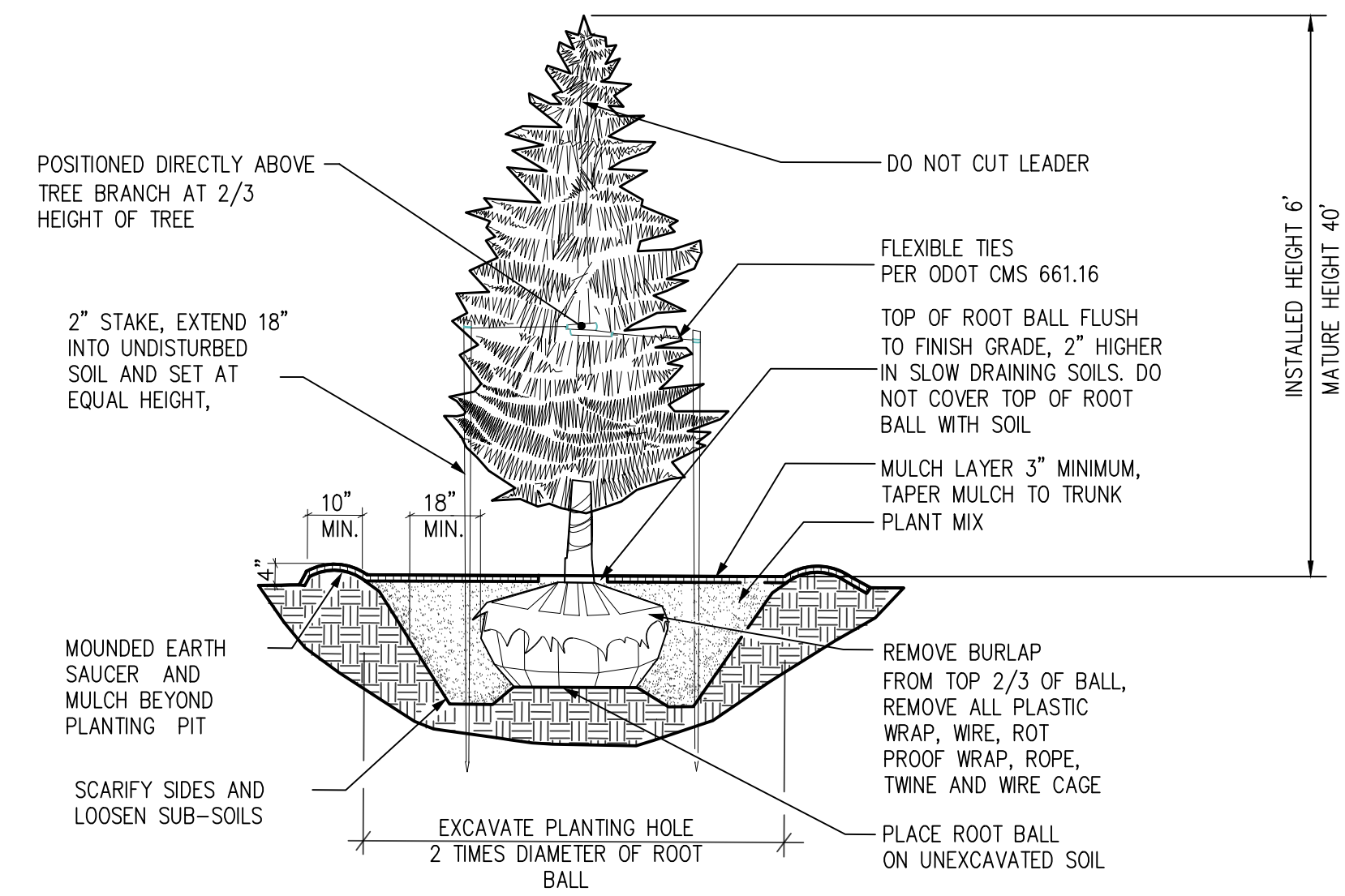
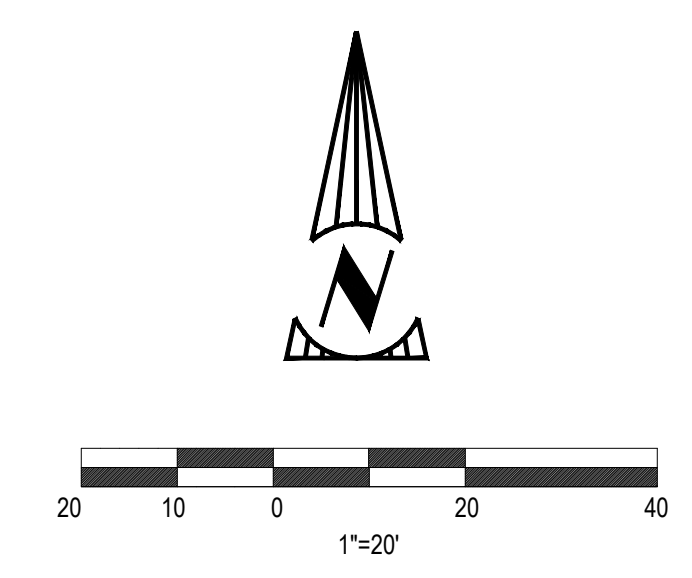
- THE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANTS AND VEGETATION PROPOSED ON THE LANDSCAPING PLAN. ANY TREES, SHRUBS, GROUND COVER OR OTHER VEGETATION PLANTED AS PART OF THIS PROJECT THAT DO NOT SURVIVE ONE YEAR FROM PLANTING SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES THREE WORKING DAYS IN ADVANCE OF ANY DIGGING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF ANY UTILITIES.
- REFER TO THE LANDSCAPE PLAN FOR ADDITIONAL NOTES. LANDSCAPE IMPROVEMENTS SHALL CONFORM TO THE LATEST EDITION OF NYSDOT CONSTRUCTION SPECIFICATIONS.
- ALL PLANTING MATERIALS SHALL BE PLANTED PER NYSDOT SPECIFICATIONS. EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE BROKEN, LOW HANGING AND OTHER UNDESIRABLE GROWTH TO ENSURE HEALTHY AND SYMMETRICAL NEW GROWTH.
- PLANTING BEDS. ONE MONTH BEFORE CULTIVATION AND AFTER DAYTIME TEMPERATURES HAVE WARMED TO 60° CONSISTENTLY, TREAT ALL PLANTING BEDS THAT ARE TO BE DEVELOPED IN AREAS OF EXISTING TURF WITH PRE-EMERGENT AND POST-EMERGENT TYPE HERBICIDES. USE A STATE-LICENSED PESTICIDE APPLICATOR TO APPLY THE HERBICIDE. REPEAT HERBICIDE APPLICATION TWO WEEKS LATER AND UNTIL ALL HERBACEOUS MATERIALS HAVE BEEN KILLED. BEFORE PLANTING, TOP DRESS ALL PLANTING BEDS WITH A MINIMUM OF 6 INCHES OF BACKFILL MIX, THEN CULTIVATE PLANTING AREA TO A DEPTH OF 6 INCHES USING A PLOW, DISC, OR ROTO-TILLER.
- BACKFILL MIX. FOR ALL PLANTINGS, USE BACKFILL MIX CONSISTING OF THE FOLLOWING:
  - ONE PART EXCAVATED SOIL.
  - ONE PART TOPSOIL.
  - ONE PART EPA RATED CLASS IV COMPOST.
  - A SLOW RELEASE COMMERCIAL FERTILIZER (0-20-20 OR EQUAL) ADDED AT A RATE OF 5 POUNDS PER CUBIC YARD TO THE BACKFILL MIX.
  - IF SOIL AREAS ARE OF HIGH PH (GREATER THAN 6.5), APPLY 1.25 POUNDS OF ELEMENTAL SULFUR PER CUBIC YARD OF BACKFILL MIX.
 NOTE: CONTRACTOR SHALL SUPPLY A DETAILED SOIL ANALYSIS PRIOR TO ALL PLANT BED PREPARATION. ANALYSIS SHALL INDICATE SOIL PH, TEXTURE, MAJOR NUTRIENTS, SALTS, ETC. SOIL ANALYSIS SHALL BE FROM A REPUTABLE, INDEPENDENT LAB. SOIL AMENDMENTS SHALL BE INCORPORATED INTO BACKFILL/PLANT MIX AS RECOMMENDED BY THE INDEPENDENT LAB.
- MULCH. SMOOTH AND SHAPE THE BACKFILL MIX TO FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PLANTING HOLE. MULCH ALL PLANTING AREAS WITH A LAYER OF FINELY SHREDDED HARDWOOD BARK OF UNIFORM TEXTURE & SIZE. PLANTS GROUPED IN MASSES SHALL HAVE THE ENTIRE CONTIGUOUS PLANTING BED OR ISLAND MULCHED. USE SHREDDED HARDWOOD BARK AGED MIN. ONE YEAR. RAKE AND SMOOTH THE ENTIRE AREA OF THE PLANTING BEDS, MULCH TO A DEPTH OF 3 INCHES. AFTER MULCHING AND BEFORE WATERING, ADD A SLOW RELEASE COMMERCIAL FERTILIZER (12-12-12 OR EQUAL), IN GRANULAR FORM, TO THE TOP OF THE MULCH AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET. DO NOT ALLOW FERTILIZER TO CONTACT THE STEMS, BRANCHES, ROOTS OR LEAVES.
- PERIOD OF ESTABLISHMENT. BEFORE FINAL INSPECTION, PLACE ALL PLANTS, SEED ALL LAWNS, AND CARE FOR THEM FOR A PERIOD OF ESTABLISHMENT. THE PERIOD OF ESTABLISHMENT BEGINS IMMEDIATELY UPON COMPLETION OF THE PLANTING OPERATIONS AND CONTINUES UNTIL OCTOBER 1. THE MINIMUM PERIOD OF ESTABLISHMENT IS ONE GROWING SEASON, JUNE 1 THROUGH OCTOBER 1. DURING THE PERIOD OF ESTABLISHMENT, FOLLOW STANDARD HORTICULTURAL PRACTICES TO ENSURE THE VIGOR AND GROWTH OF THE TRANSPLANTED MATERIAL. WATER, REMULCH, RESTAKE, GUY, AND CULTIVATE AS NECESSARY. PERFORM AT LEAST TWO WEEDING AND MOWING PROGRAMS (AROUND TREES, GUY STAKES, SHRUBS, AND BED EDGES) OF SUCH INTENSITY AS TO COMPLETELY RID THE PLANTED AND MULCHED AREAS OF WEEDS AND GRASSES. BEGIN THE FIRST PROGRAM ON OR ABOUT JUNE 15 AND THE SECOND APPROXIMATELY 8 WEEKS LATER. ON OR ABOUT AUGUST 15, THE ENGINEER WILL INSPECT THE PLANTING AND SUPPLY THE CONTRACTOR WITH A LIST OF MISSING AND DEAD PLANTS AND THOSE THAT HAVE DIED BACK BEYOND NORMAL PRUNING LINES. REPLANT AS REQUIRED ACCORDING TO THE SPECIFICATIONS OF THE ORIGINAL MATERIAL. REPLACEMENT PLANTS ARE SUBJECT TO A NEW PERIOD OF ESTABLISHMENT. IMMEDIATELY REPLACE PLANTS PLANTED INITIALLY IN THE FALL THAT HAVE DIED BEFORE THE SPRING PLANTING SEASON. CARE FOR THE REPLACEMENT PLANTS DURING THE NEW ESTABLISHMENT PERIOD.
- RESTORATION OF DISTURBED AREAS FOR NEW LAWN:
 

ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT OR LANDSCAPE PLANTING BEDS SHALL BE PREPARED FOR GRASS SEED AND SEEDING. LOOSEN RUTS AND WORK THE SOIL AREAS TO A MINIMUM OF 6" DEEP PRIOR TO FINE GRADING AND SEEDING WORK. AREAS TO RECEIVE GRASS SEED SHALL HAVE A MIN. 4" TOPSOIL PLACED, SEEDED AND A STRAW/MULCH BLANKET COVER PLACED OVER THE SEEDED AREAS PER NYSDOT SPECIFICATIONS. FERTILIZE WITH ONE POUND OF ACTUAL NITROGEN PER 1000 SQUARE FEET WITH A SLOW RELEASE COMMERCIAL STARTER FERTILIZER (LESCO 18-24-12 OR EQUAL).
- LANDSCAPE TREES, SHRUBS AND PERENNIAL WATERING:
 

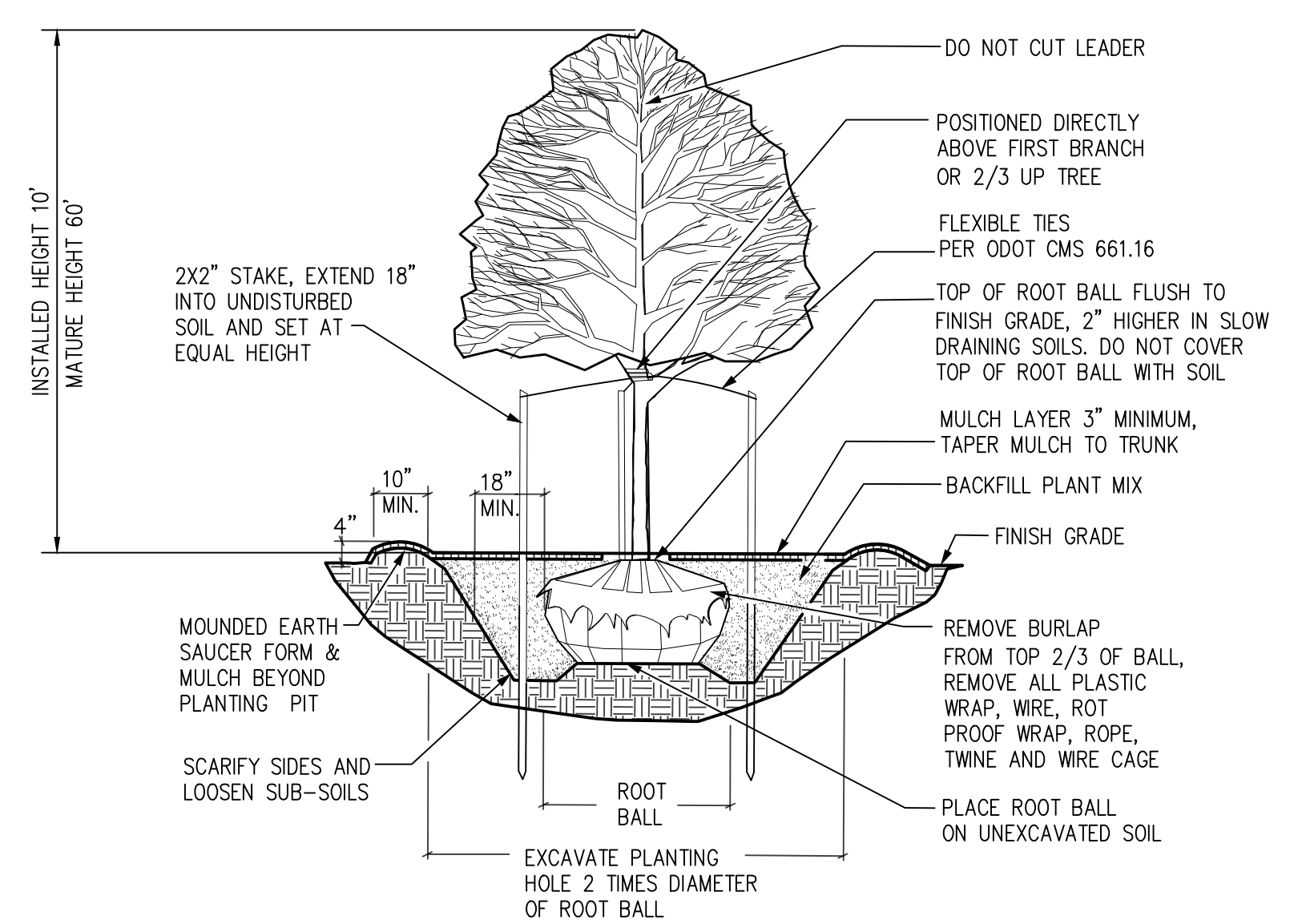
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, DELIVERING, APPLYING, MEASURING AND SCHEDULING A SUFFICIENT AMOUNT OF WATER NECESSARY TO KEEP EACH PLANT IN A HEALTHY GROWING CONDITION THROUGHOUT THE PERIOD OF ESTABLISHMENT. THE CONTRACTOR SHALL APPLY 1" OF WATER PER WEEK TO ALL NEW PLANTS. THE CONTRACTOR SHALL INSTALL & MAINTAIN SUPPLEMENTAL DRIP WATERING TREE BAGS (SUCH AS 20 GALLON TREE GATOR WATER BAG) TO PROVIDE ADEQUATE, SLOW RELEASE OF WATER. WATER BAGS SHALL BE REMOVED AT THE END OF THE SECOND GROWING SEASON.
- TURF GROUNDCOVER (SODDING, SEEDING AND SEED MULCHING):
 

ALL SEEDING INSTALLATION SHALL CONFORM TO NYSDOT SPECIFICATIONS AND NOTE 9 ABOVE. SEED AT 6 LBS/1000 SF WITH THE FOLLOWING SEED MIXTURE:

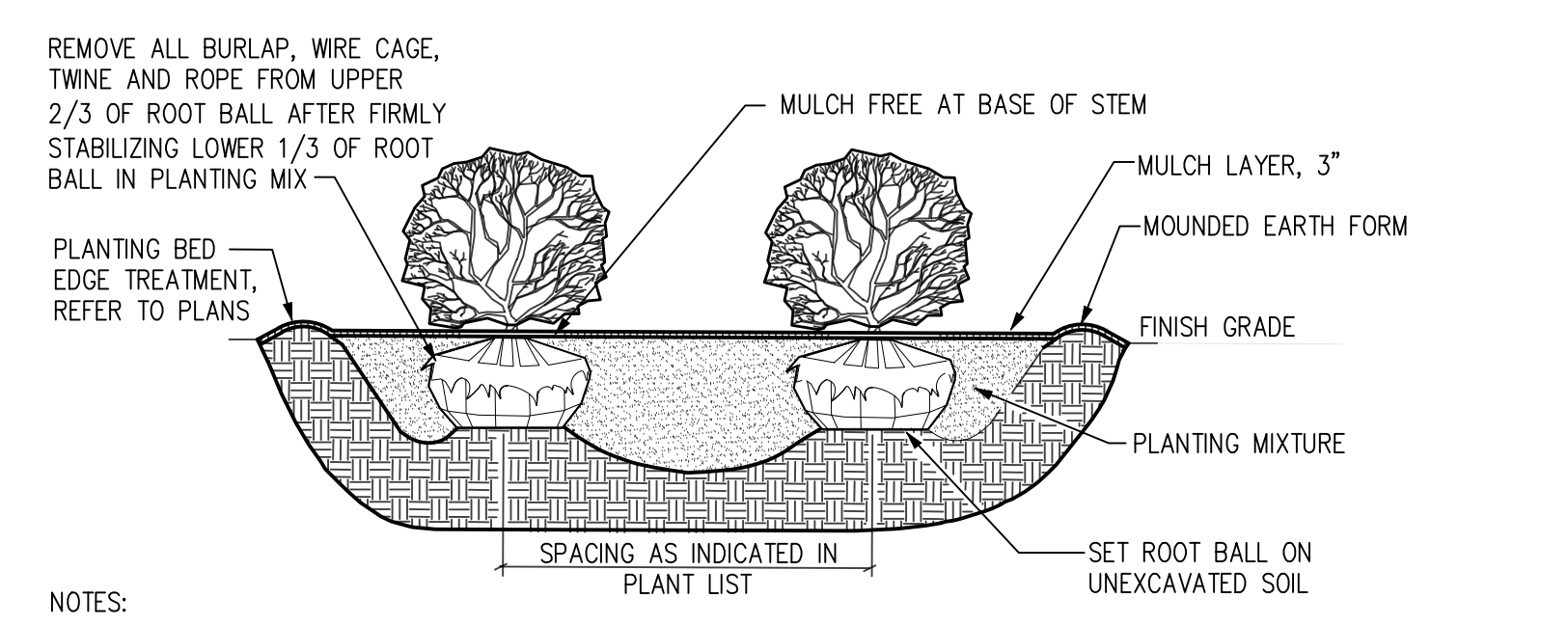
RED FESCUE	42%
PERENNIAL RYEGRASS	42%
KENTUCKY BLUEGRASS	16%
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL INTERIOR LANDSCAPED AREA PLANTING BEDS HAVE A MINIMUM PLANTING SOIL DEPTH OF THREE FEET AND BE FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS AND FOREIGN MATERIAL. ALL ISLANDS AND MEDIANS SHALL HAVE SIX INCH HIGH CONCRETE CURBING AS A MINIMUM TO PROTECT PLANT MATERIALS FROM DAMAGE.



**EVERGREEN TREE PLANTING DETAIL**  
NO SCALE

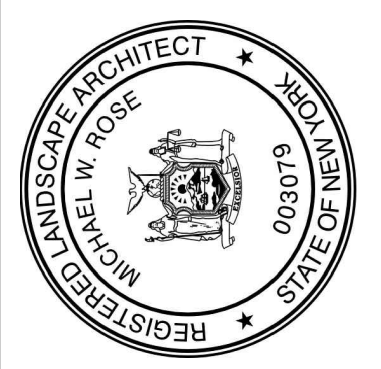


**DECIDUOUS TREE PLANTING DETAIL**  
NO SCALE



NOTES:  
ALL SHRUBS PLANTED IN ROWS OR MASSES SHALL BE MATCHED IN SIZE AND FORM.  
SHRUBS SHALL BEAR SAME RELATION TO FINISH GRADE AS THEY BORE TO EXISTING GRADE IN THE PREVIOUSLY PLANTED CONDITION.  
**MASS SHRUB PLANTING DETAIL (B&B OR CONTAINER)**  
NO SCALE

NO.	DATE	BY	DESCRIPTION
1	09/20/2024	ACH	MAJOR SITE REVIEW APPLICATION



20800 CHAGRIN BLVD  
SUITE 600, SHAKER  
HEIGHTS, OH 44122  
TEL: 216.378.1490  
FAX: 216.378.1497  
PROJECT DATE: 09/17/2024  
PROJECT NO.: 24001014  
DRAWN BY:  
CHECKED BY:

TRILON SERVICES, NY, INC  
AND  
**Mannik Smith GROUP**  
www.MannikSmithGroup.com

PREPARED FOR:  
**BREWTOPIA**  
BUFFALO, LCC  
34050 SOLON ROAD, SUITE 105  
SOLON, OH 44139

**7BREW AMHERST**  
3999 MAPLE ROAD,  
AMHERST, NY 14226

LANDSCAPE  
NOTES AND DETAILS

**INTERIM REVIEW ONLY**

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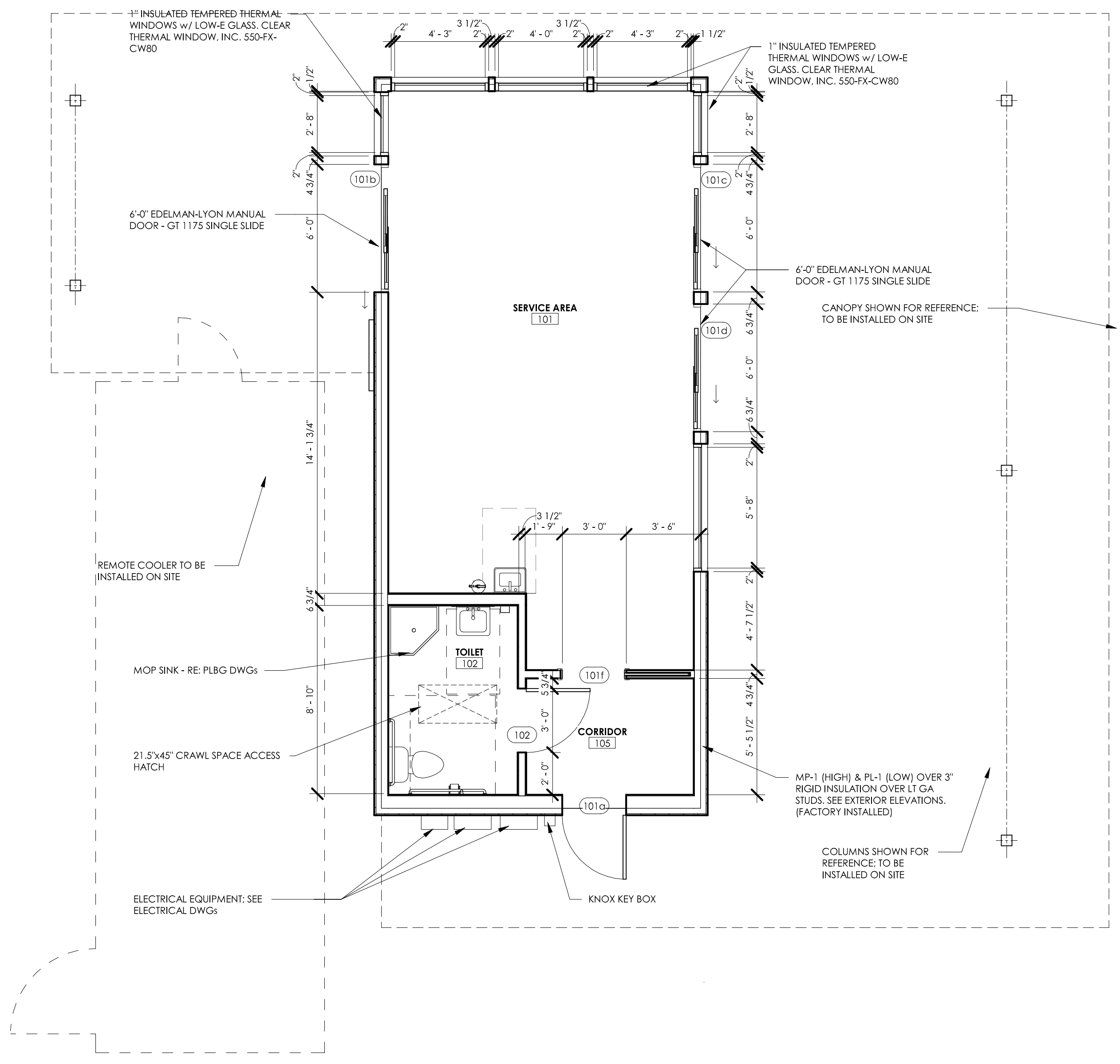
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 NAME: ADAM KREHER  
 LICENSE NO. 045180-01

**PROJECT NUMBER:** 24322-7BAN  
**REVISION:**

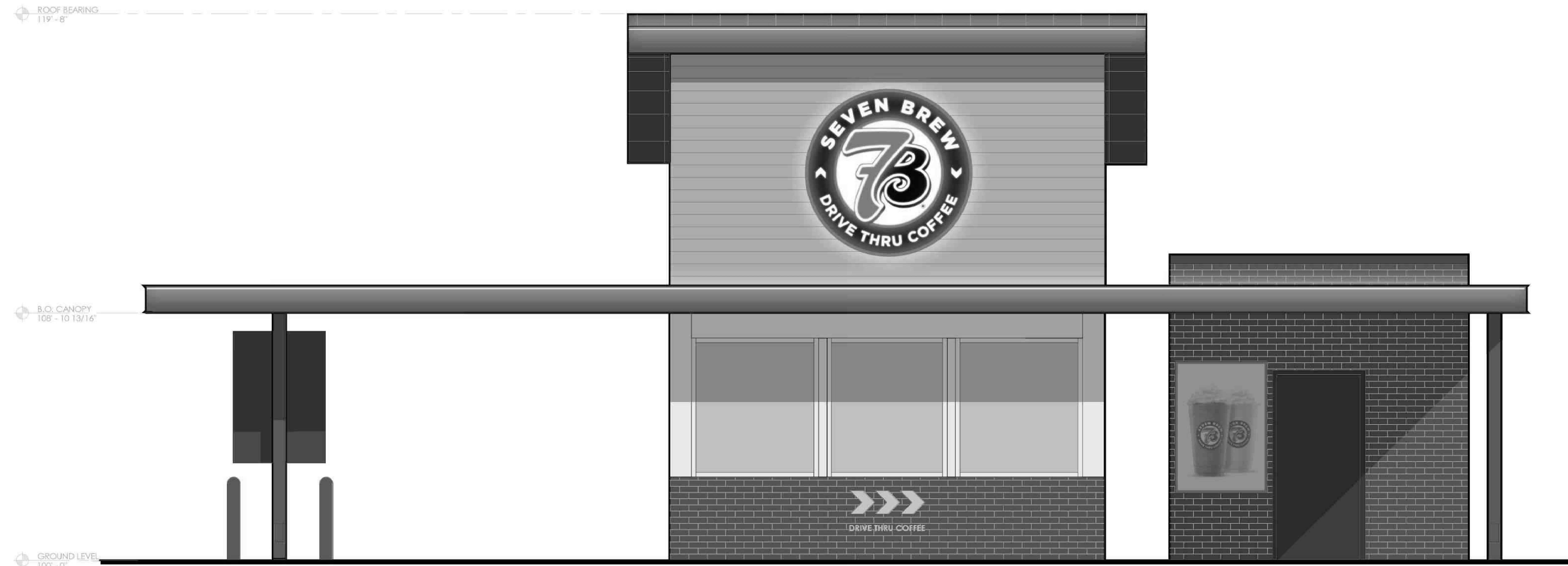
**7 BREW COFFEE  
 AMHERST, NY**

**EX-1**  
 FLOOR PLANS

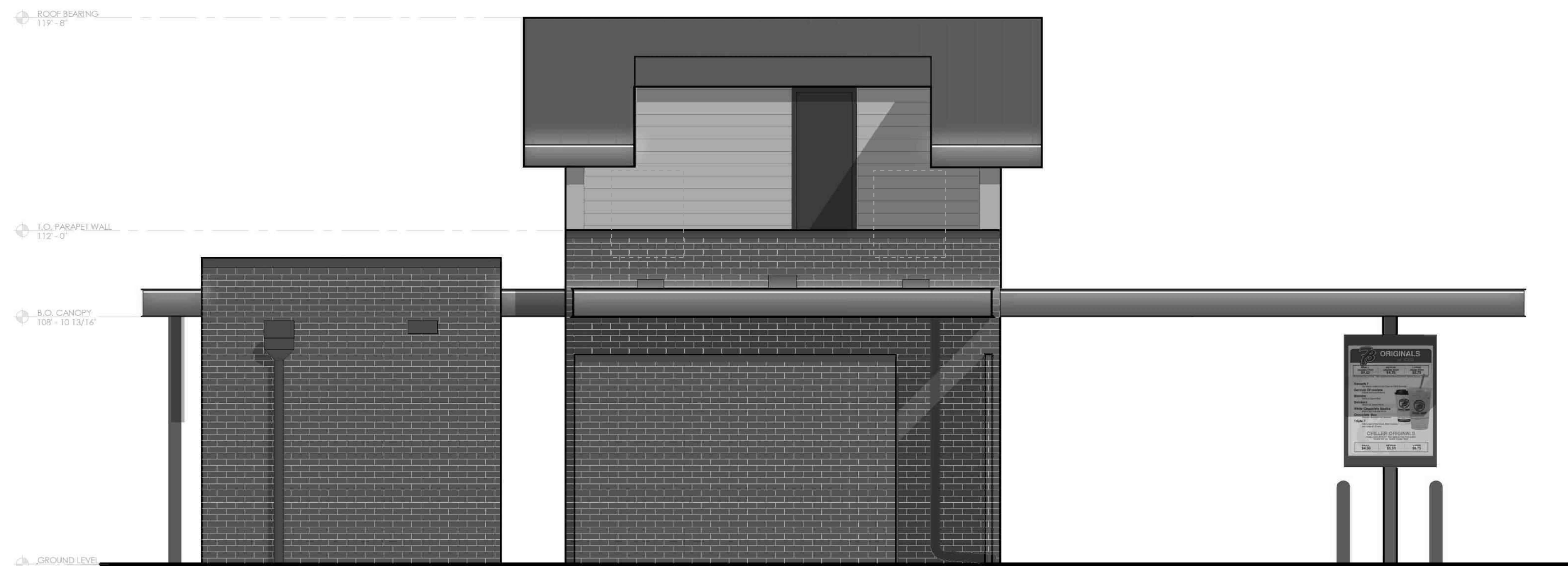
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**2** DIMENSIONED PLAN  
 1/4" = 1'-0"

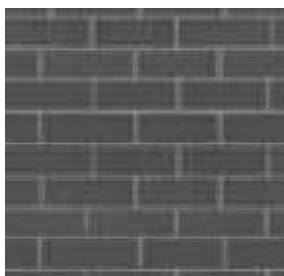


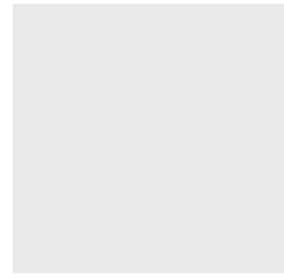

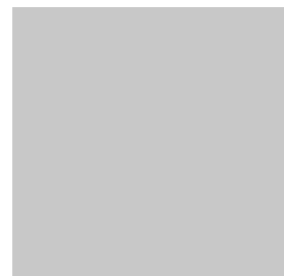



1 EXTERIOR ELEVATION - FRONT  
3/8" = 1'-0"



2 EXTERIOR ELEVATION - BACK  
3/8" = 1'-0"

EXTERIOR FINISH LEGEND

-  Brick  
Nichiha  
Modernbrick  
Midnight
-  Metal Wall Panel  
Pac-Cloud 16" Panel  
Cityscape
-  Brake Metal  
Pacific Blue  
Columns, Fascia,  
and Roof
-  White Metal  
Storefront and  
Windows
-  Coping Cap, Soffit  
Matte Black
-  Mech./ Elec.  
Equipment.
-  Doors  
Honorable Blue  
(SW6811)

FIRM LICENSE NO. AF0904

INTERIM REVIEW ONLY

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ARCHITECT OF RECORD:

NAME: ADAM KREHER

LICENSE NO. 8226

PROJECT NUMBER: 24128 78NL

REVISION:

7 BREW COFFEE

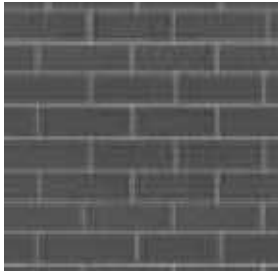

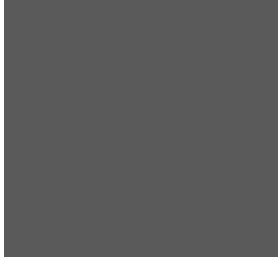
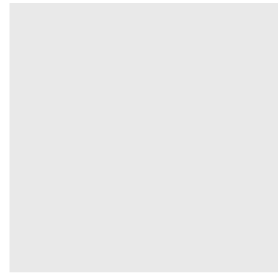


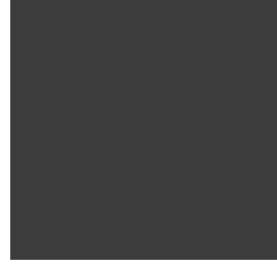


1 EXTERIOR ELEVATION - RIGHT SIDE  
3/8" = 1'-0"



2 EXTERIOR ELEVATION - LEFT SIDE  
3/8" = 1'-0"

EXTERIOR FINISH LEGEND

-  Brick  
Nichiha  
Modernbrick  
Midnight
-  Metal Wall Panel  
Pac-Cloud 16" Panel  
Cityscape
-  Brake Metal  
Pacific Blue  
Columns, Fascia,  
and Roof
-  White Metal  
Storefront and  
Windows
-  Coping Cap, Soffit  
Matte Black
-  Mech./ Elec.  
Equipment.
-  Doors  
Honorable Blue  
(SW6811)

FIRM LICENSE NO. AF0904

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ARCHITECT OF RECORD:

NAME: ADAM KREHER

LICENSE NO. 8226

PROJECT NUMBER: 24128 78NL

REVISION:

7 BREW COFFEE